

SUBJECT TO  
WAPC CONDITIONS.

SEE FINAL STRATA-PLAN OR DEPOSITED PLAN

all heights have been calculated from information supplied to me  
all measurements to be checked on site prior to commencing work

LOT 407

Rendered Brick & Colorbond House #5

High L'stone Wall on top of L'stone Ret. Wall

Semi-Rendered Brick & Galv. House #154  
Well Clear  
1.8m High Wood Fence in Average Condition

existing limestone retaining top of wall @25.61

proposed limestone retaining top of wall @23.40

existing limestone retaining top of wall @23.81

proposed limestone retaining top of wall @25.61

LOT 427

Brick & Tile House #156

Wire Mesh Fence in Good Condition

exist limestone retaining top of wall 24.56

LOT 432

PROPOSED LOT 3  
360m<sup>2</sup>

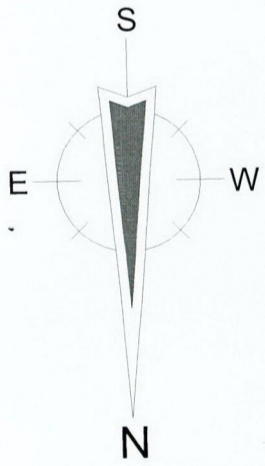
Double Storey Brick & Tile House #8

30.28 (top/gutter)

Shade Sails over Timber Decking

exist limestone retaining top of wall 21.29

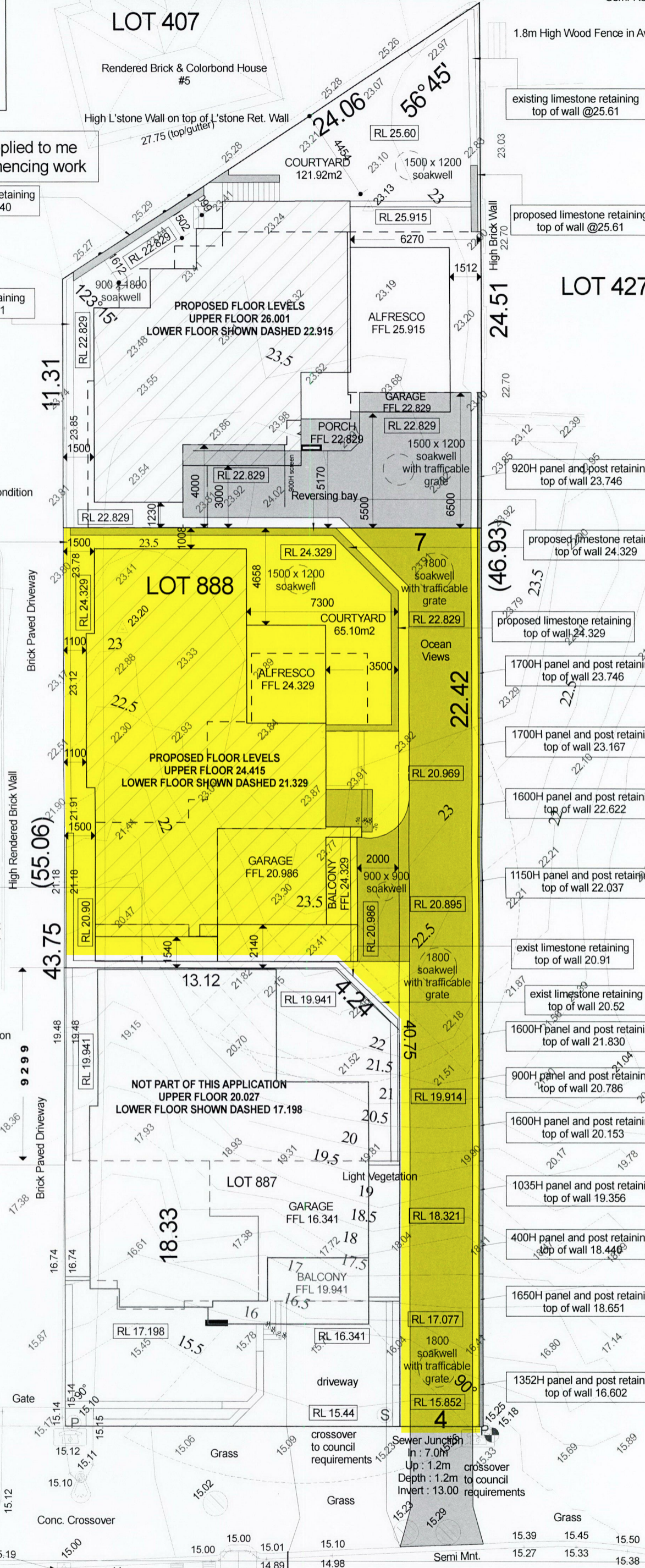
exist limestone retaining top of wall 21.68



Wire Mesh Fence in Good Condition

Brick & Galv. Garage

TBM nail and plate RL 15.00 AHD  
EST. from Water Corp  
Sewer AC # Y4652

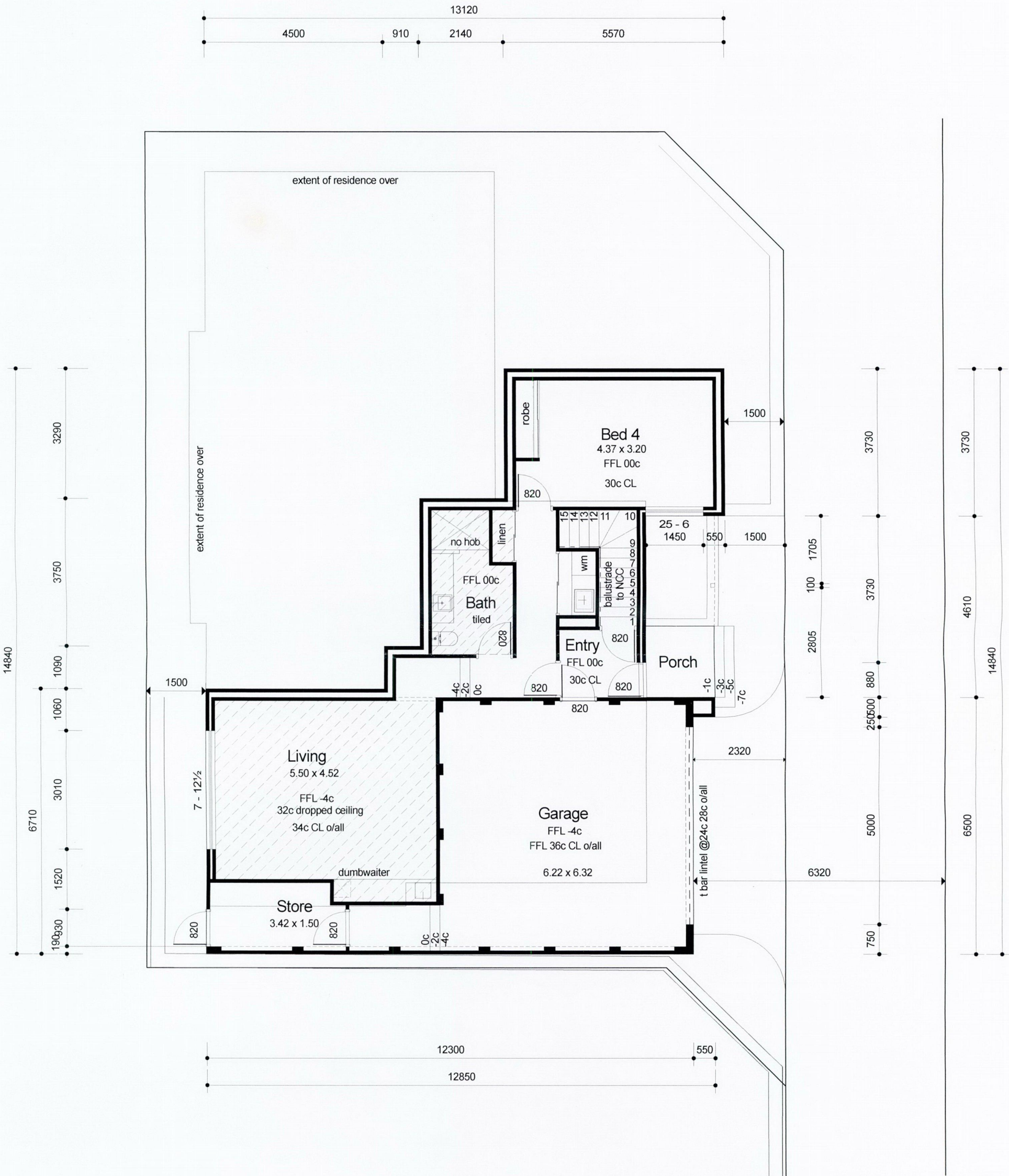


UNIT 2 LOT 888 COASTAL RISE,  
QUINNS ROCKS.  
retaining heights added 2.6.20  
window amends added 1.4.21  
AHLQUIST

DRAWN - Livia Hawker  
DATE - 19/09/19  
SCALE - 1:200  
SHEET 5 OF 5

© COPYRIGHT  
these drawings are copyright of the designer/builders  
and may not be reproduced in part or in whole  
without written consent.  
builders/owners are to check all drawings,  
levels and dimensions. Verify conditions, scope of work  
and access before commencing any work. Do not scale  
from this drawing. Figured dimensions only to be used.  
All dimensions to brickwork

COASTAL RISE



**LIVIA HAWKER**  
DESIGN & DRAFTING

**UNIT 2 LOT 888 COASTAL RISE,  
QUINNS ROCKS.**

**AHLQUIST**

builders amends 30/01/21  
builders amends 01/04/21

DRAWN - Livia Hawker  
DATE - 08/08/19  
SCALE - 1:100

SHEET 1 OF 5

© COPYRIGHT  
these drawings are copyright of the designer/builder and may not be reproduced in part or in whole without written consent.  
builders/owners are to check all drawings, levels and dimensions. Verify conditions, scope of work and access before commencing any work. Do not scale from this drawing. Figured dimensions only to be used. All dimensions to brickwork

**AREAS**

Ground Floor	79.36m <sup>2</sup>
Upper Floor	174.24m <sup>2</sup>
Garage/Store	51.01m <sup>2</sup>
Porch	3.13m <sup>2</sup>
Balcony	6.3m <sup>2</sup>

TOTAL AREA 314.04m<sup>2</sup>

Site	: 341.32m <sup>2</sup>
Driveway	: 89.73m <sup>2</sup>
Site cover	: 201.525m <sup>2</sup>
Site Coverage	: 46.75%

**S SMOKE DETECTORS**

SMOKE DETECTOR HARDWIRED & INTERLINKED IN ACCORDANCE WITH THE BCA AND AS 3786

**PLUMBER NOTE**

RWP LOCATIONS ARE INDICATIVE ONLY NUMBER AND POSITION OF RWP'S AT THE DISCRETION OF PLUMBER.

**BUILDER NOTE**

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS WHERE THEY DIFFER ENGINEERS DRAWINGS MUST TAKE PRECEDENCE

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION

**GENERAL NOTES**

CEILING HEIGHTS AS SHOWN ON PLANS.

COLORBOND ROOF 25 DEGREE PITCH.

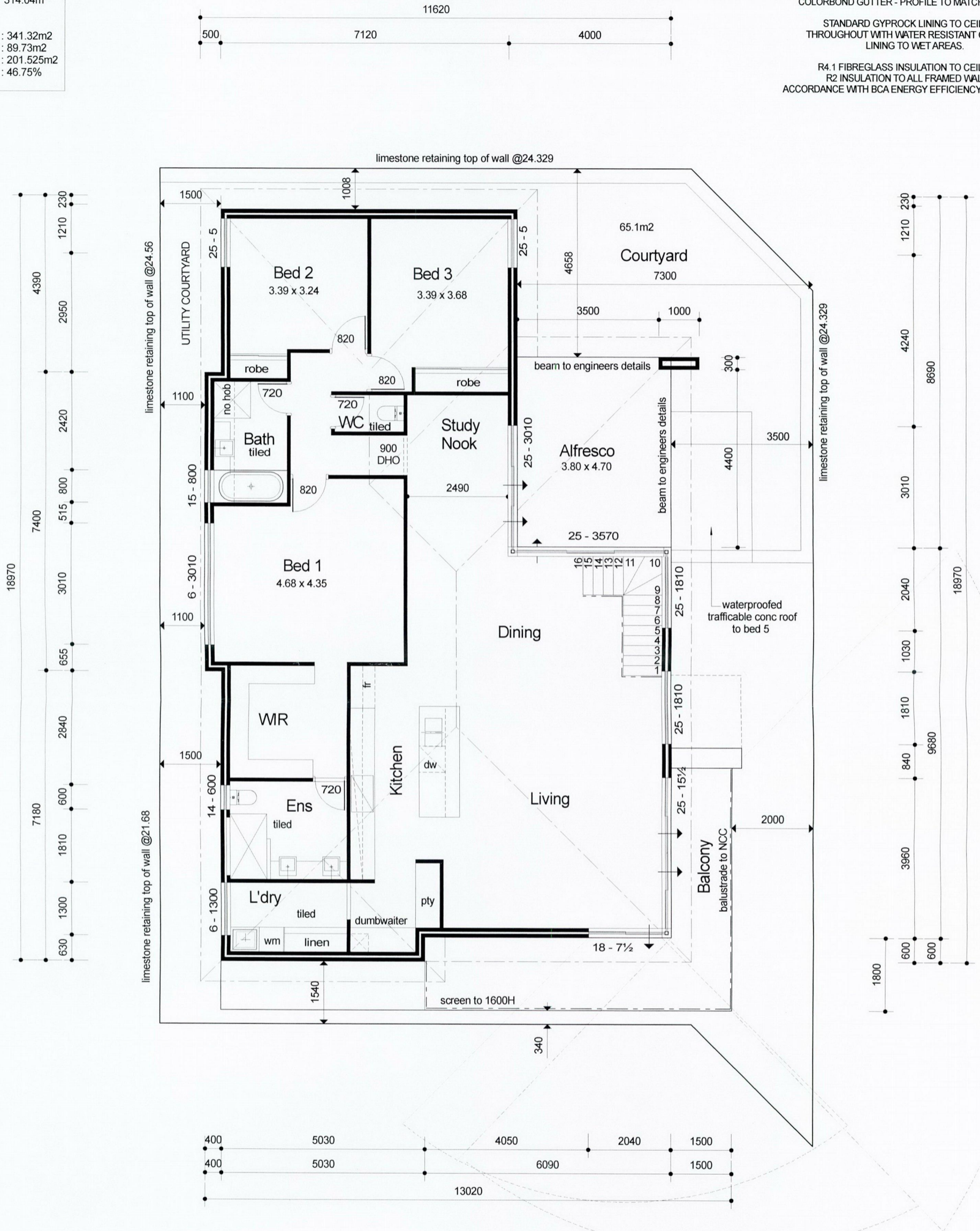
STANDARD CONCRETE FOOTINGS TO ENGINEERS DETAILS TO AS3600.

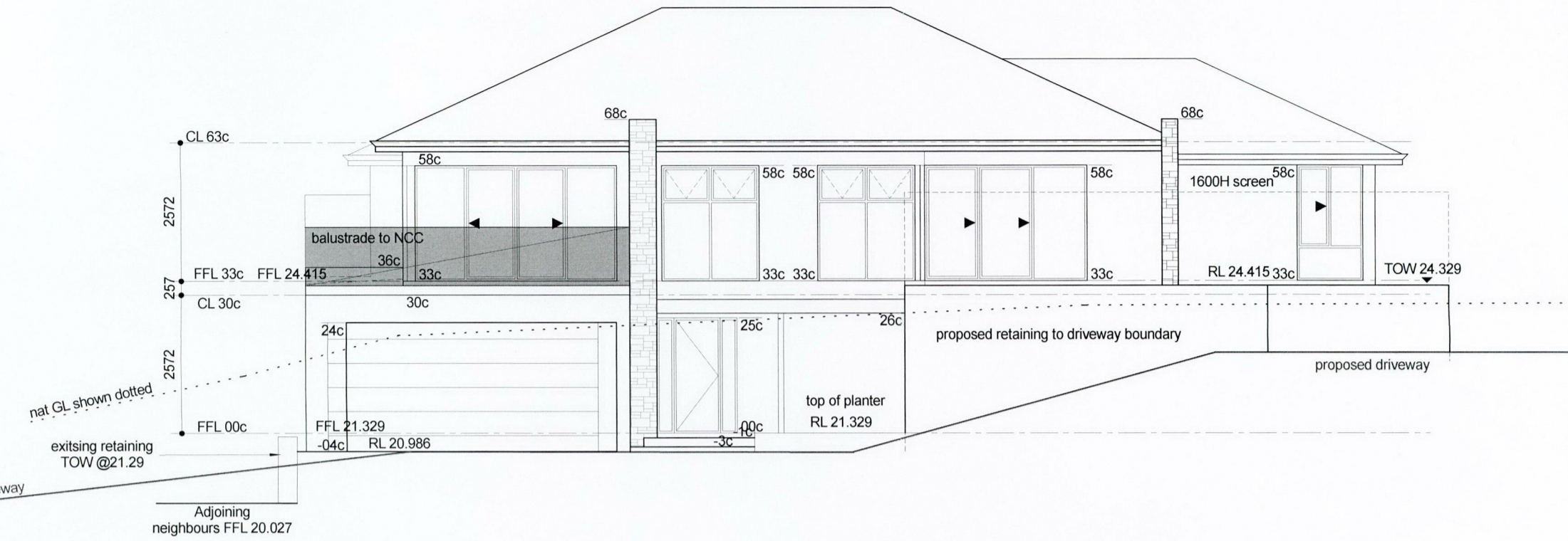
ROOF & WALL FRAMING MGP10 TO AS1684.2.

COLORBOND GUTTER - PROFILE TO MATCH EXISTING.

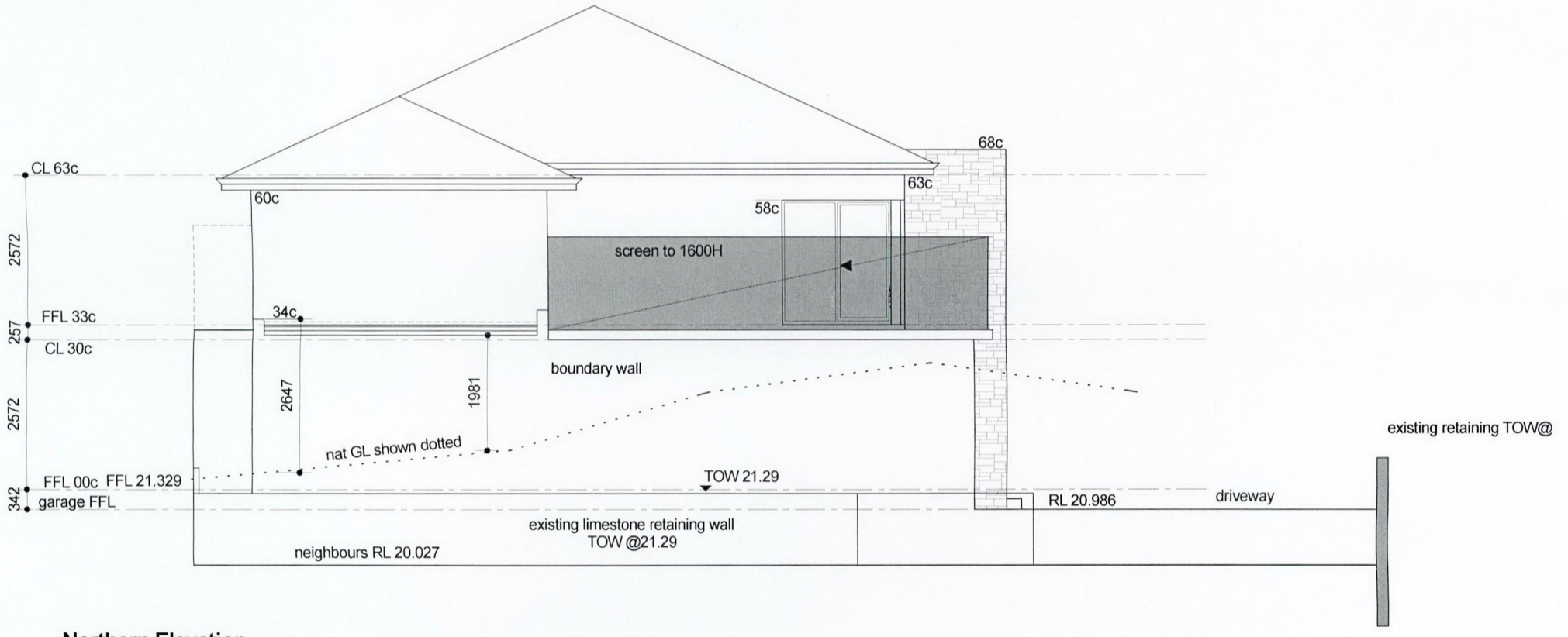
STANDARD GYPROCK LINING TO CEILINGS THROUGHOUT WITH WATER RESISTANT GYPROCK LINING TO WET AREAS.

R4.1 FIBREGLASS INSULATION TO CEILINGS & R2 INSULATION TO ALL FRAMED WALLS IN ACCORDANCE WITH BCA ENERGY EFFICIENCY REGULATIONS.

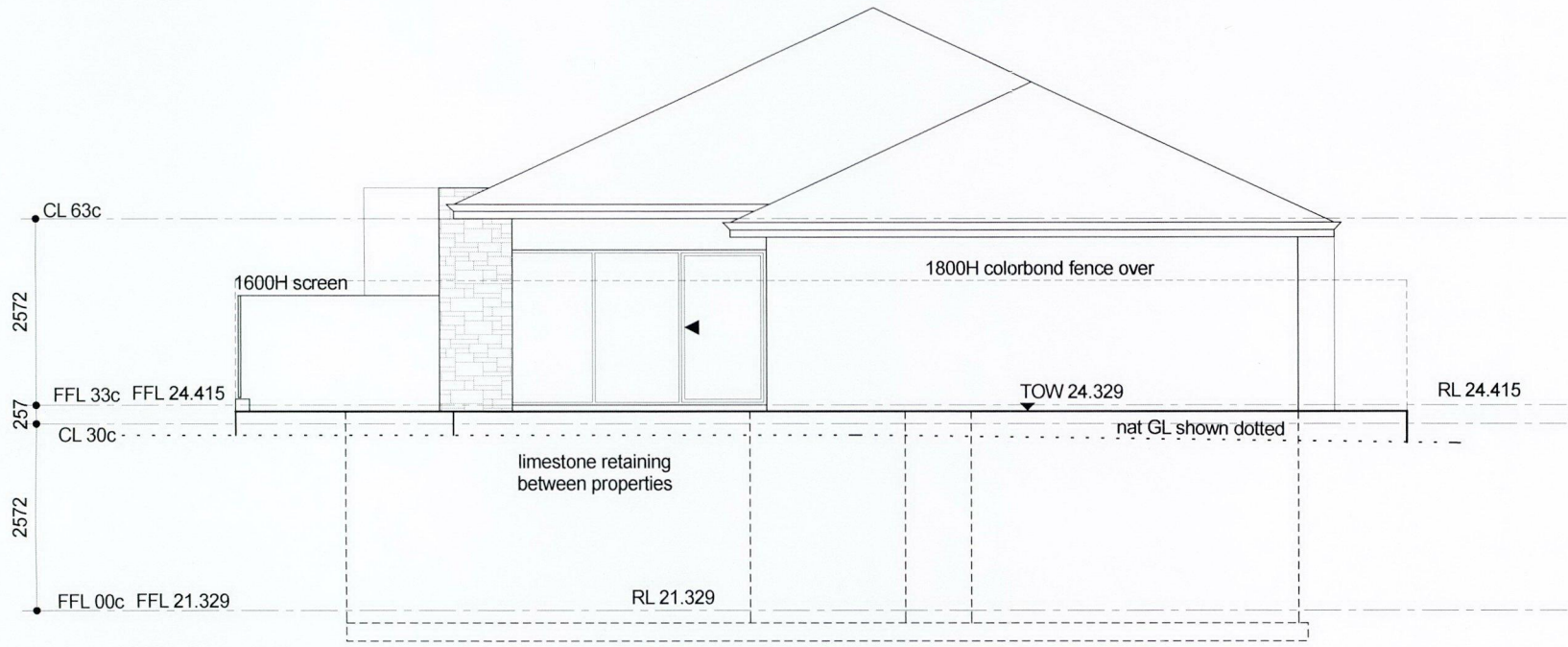




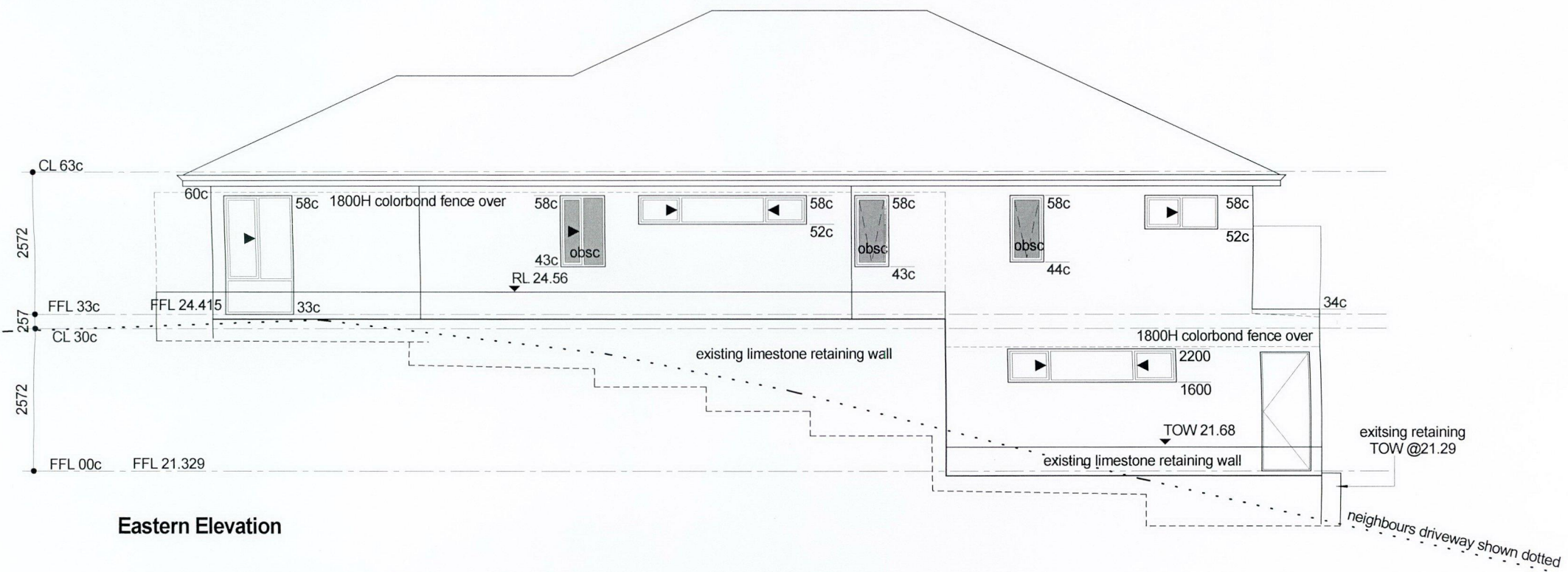
**Western Elevation**



**Northern Elevation**



**Southern Elevation**



**Eastern Elevation**