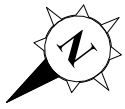


REVISED



OWNER TO PROVIDE BUILDER WITH FULL & CLEAR ACCESS TO BUILDING SITE, NO GATES LOCKED AT ANY TIME.

SITE RELATED WORKS

(Note: Refer to working drawings & addenda for full details)

EARTH WORKS:

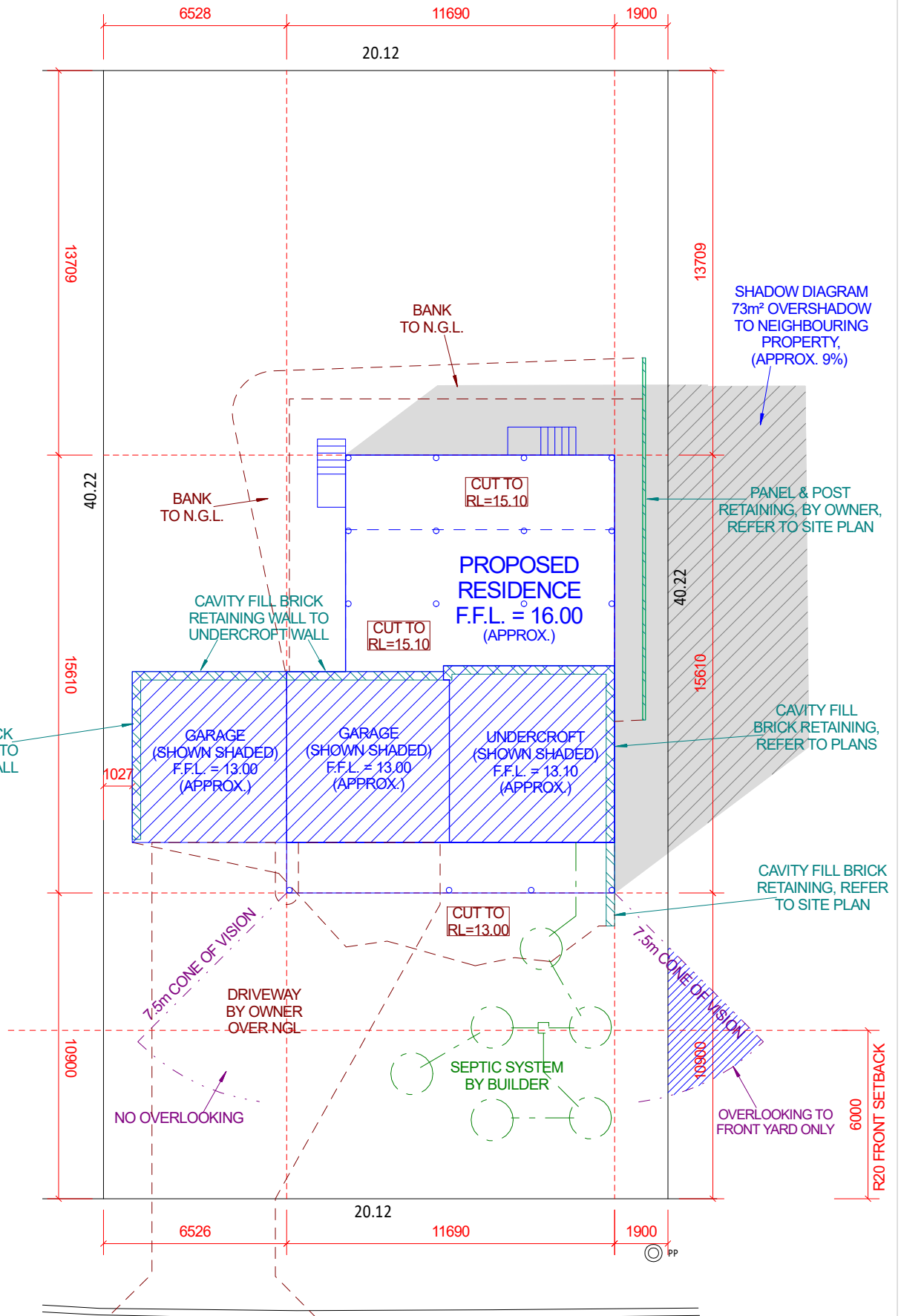
- 1. SAND PAD & ANY BUNDING REQUIRED TO FFL READY FOR SLAB WITH SUBSOIL DRAINAGE (IF REQ.) AND CLEARING OF VEGETATION / TREES WITHIN BUILDING FOOT PRINT TO 2m BEYOND PERIMETER OF HOME, ENGINEER'S SOIL REPORT AND BASE CUT INSPECTION (IF REQ.) - (NOTE: INCLUDING COMPACTION CERTIFICATE) TBA
- 2. HARDSTAND ALL WEATHER ROAD BASE ACCESS TRACK SUITABLE FOR HEAVY VEHICLES DURING / FOR CONSTRUCTION FROM BOUNDARY TO HOUSE POSITION - (NOTE: CROSSOVER APPLICATION BY OWNER DIRECT WITH COUNCIL) TBA
- 3. STORMWATER SOAKWELLS TO COUNCIL REQUIREMENTS - (NOTE: EXCLUDING CONNECTIONS) TBA
- 4. SEPTIC & LEACH DRAIN SYSTEM TO COUNCIL REQUIREMENTS - (NOTE: EXCLUDING CONNECTIONS) TBA
- 5. SERVICE TRENCH FOR POWER, WATER, AND/OR GAS (IF REQUIRED) - (NOTE: EXCLUDING ANY HARD DIGGING) TBA
- 6. ENGINEERED RETAINING WALLS (IF REQUIRED) - TBA

PLUMBING WORKS:

- 7. SEWER / SEPTIC CONNECTIONS TO COUNCIL REQUIREMENTS, INCLUDING APPLICATION FEE (IF REQUIRED) - (NOTE: INCLUDES SUBFLOOR DRAINAGE. NO HARD DIGGING OR DEEP SEWERAGE ALLOWED) TBA
- 8. WATER CONNECTION FROM HOME TO MAINS / METER / WATER TANK - (NOTE: WATER METER APPLICATION TO BE ARRANGED BY OWNER OR OWNER'S PLUMBER) TBA
- 9. NATURAL GAS / LPG GAS CONNECTION - (NOTE: GAS APPLICATION/ACCOUNT AND/OR BOTTLES BY OWNER) TBA
- 10. STORMWATER (90mm PVC) CONNECTIONS FROM HOMES DOWNPIPES TO SOAKWELLS - TBA

ELECTRICAL WORKS:

- 11. **SINGLE PHASE** (MAINS) CONNECTION FROM BOUNDARY POLE METERBOX TO SUBBOARD AT HOME, INCLUDING TEMPORARY POWER SUPPLY - (NOTE: WESTERN POWER APPLICATION FOR GREEN DOME & ACCOUNT BY OWNER, IF 3 PHASE AVAILABLE, OWNER TO ADVISE BUILDER) TBA
- 12. WATER TANK POWER CONNECTION & CIRCUIT - (NOTE: PRESSURE PUMP TO BE SUPPLIED AND INSTALLED BY OWNER (TBA), BUILDER TO CONNECT) TBA
- 13. TELSTRA CONDUIT ONLY FROM PIT TO HOME - (NOTE: CONDUIT ONLY CONNECTION & APPLICATION BY OWNER) TBA
- 14. NBN CONDUIT ALLOWANCE ONLY, FOR OWNER'S FUTURE CONNECTION - (NOTE: CONNECTION & APPLICATION BY OWNER) TBA
- 15. ATU SEPTIC SYSTEMPOWER CONNECTION INCLUDING CIRCUIT TO METERBOX/SUBBOARD - TBA



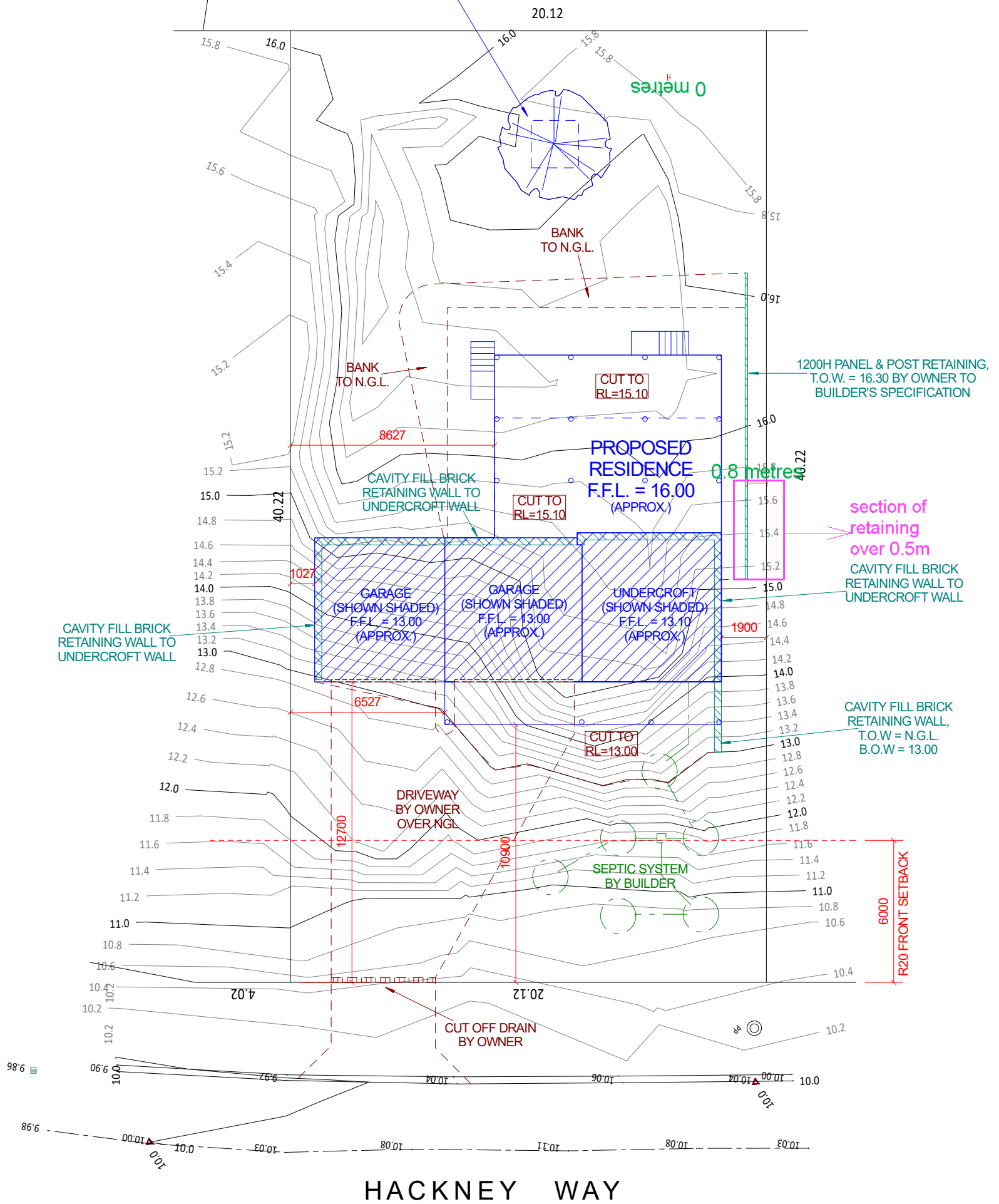
HACKNEY WAY

 W: www.totalhomeframes.com.au P: 1300 812 128 E: info@totalhomeframes.com.au Wangara WA	JOB No: THF2207	1. THESE PLANS ARE THE SOLE PROPERTY OF TOTAL HOME FRAMES AND MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. 2. CONTRACTORS SHALL CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION. ANY DISCREPANCIES TO BE BROUGHT TO THE SUPERVISORS ATTENTION. 3. DO NOT SCALE FROM DRAWINGS. 4. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTERBOARD AND SHOULD BE ALLOWED FOR. 5. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING OR SITE CONDITIONS. 6. NOTE: RETAINING WALLS, DEMOLITION, SEWER PILING, SUBSOIL DRAINS, BLASTING OR OTHER SITE WORKS ARE ALL AT THE OWNERS EXPENSE UNLESS SPECIFIED IN THE CONTRACT. 7. THE BUILDER HAS THE FULL POSSESSION OF THE SITE WHILST THE HOME IS UNDER CONSTRUCTION.	REV. VARIATION DETAILS	DATE	TITLE: LOCATION PLAN 01	PAGE: 01
	SERIES: TWO STOREY		OWNER: _____	DATE: _____	DRAWN: A.Mayes	SCALE: 1 = 200
VERSION: EDGE 4 x 2.5	CLIENT: CARL & REBECCA DELANEY	OWNER: _____	I / WE THE OWNER/S AGREE TO THE CONTENTS OF THIS DOCUMENT & ALL INITIALLED SHEETS		152 Balcatta Road Balcatta WA 6021 PH: (08) 9240 2125 FAX: (08) 9240 2126 Built by our family for yours	
LOT / No: LOT 228 (No.19) STREET: HACKNEY WAY	SUBURB: YANCHEP COUNCIL: CITY OF WANNEROO	OWNER: _____	WITNESS: _____	WITNESS: _____		

REVISED



OWNER TO MAINTAIN A MINIMUM OF 1 TREE WITH A MINIMUM 2m x 2m TREE PLANTING AREA TO COMPLY WITH "S.P.P. 7.3 - 5.3.2", BY OWNER AFTER HANDOVER



HACKNEY WAY

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JOB No: **THF2207**
SERIES: **TWO STOREY**
VERSION: **EDGE 4 x 2.5**

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-	-	-
-	-	-
-	-	-

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OWNER:	DATE:
OWNER:	BUILDER:
WITNESS:	WITNESS:

TITLE: **SITE PLAN** PAGE: **02**

DRAWN: **A.Mayes** SCALE: **1 = 200** DATE: **13/04/22** REV: **-**

152 Balcatta Road
Balcatta WA 6021
PH: (08) 9240 2125
FAX: (08) 9240 2126

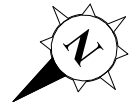
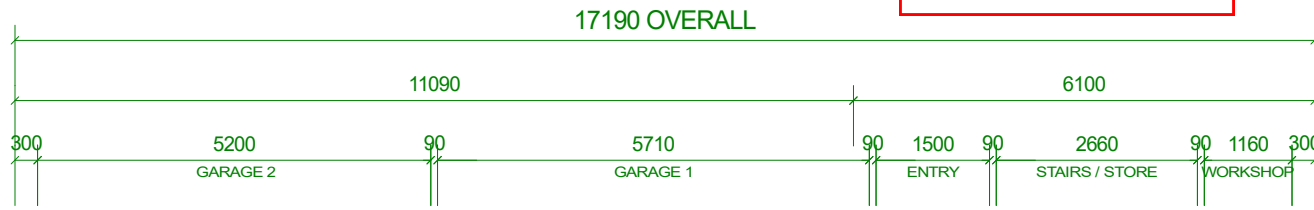
Cedar
HOMES
Built by our family for yours

CLIENT: **CARL & REBECCA DELANEY**

LOT / No: **LOT 228 (No.19)** STREET: **HACKNEY WAY**

SUBURB: **YANCHEP** COUNCIL: **CITY OF WANNEROO**

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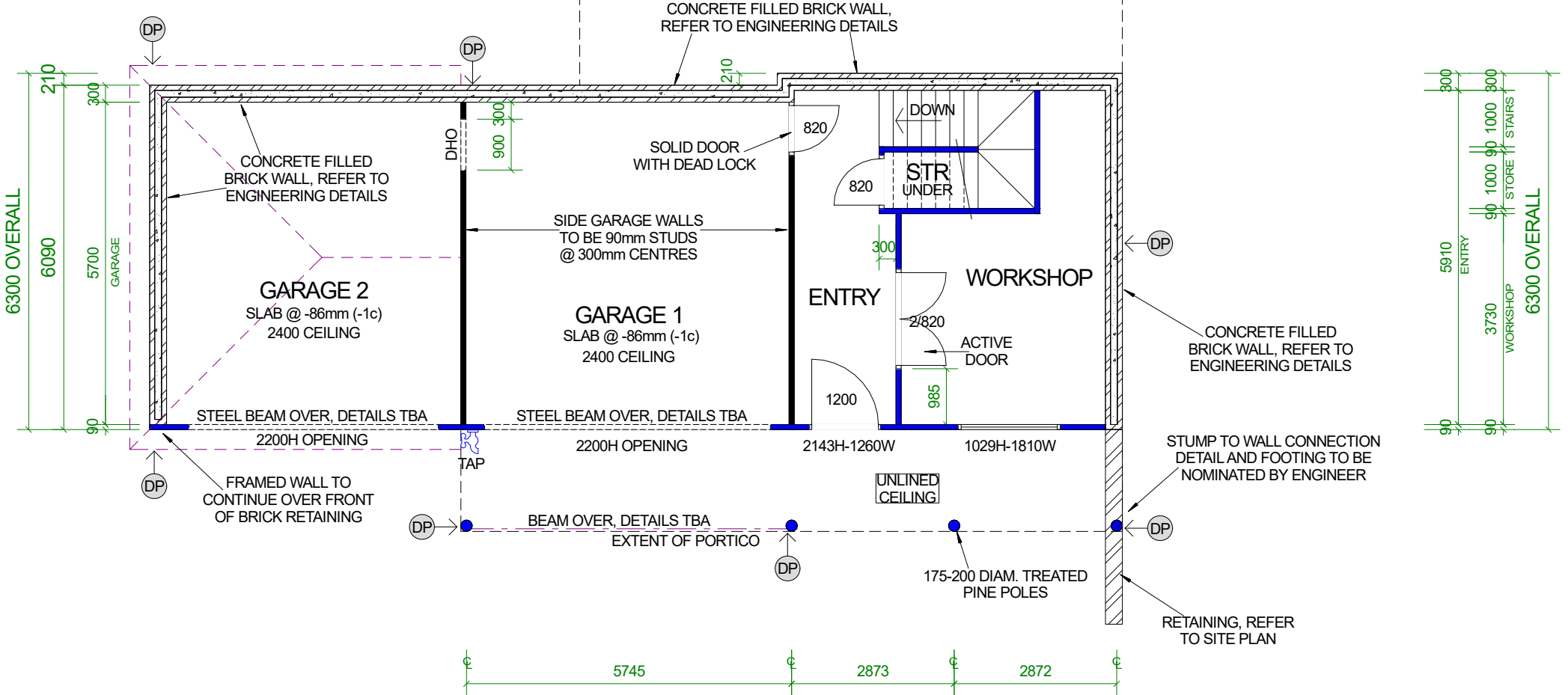
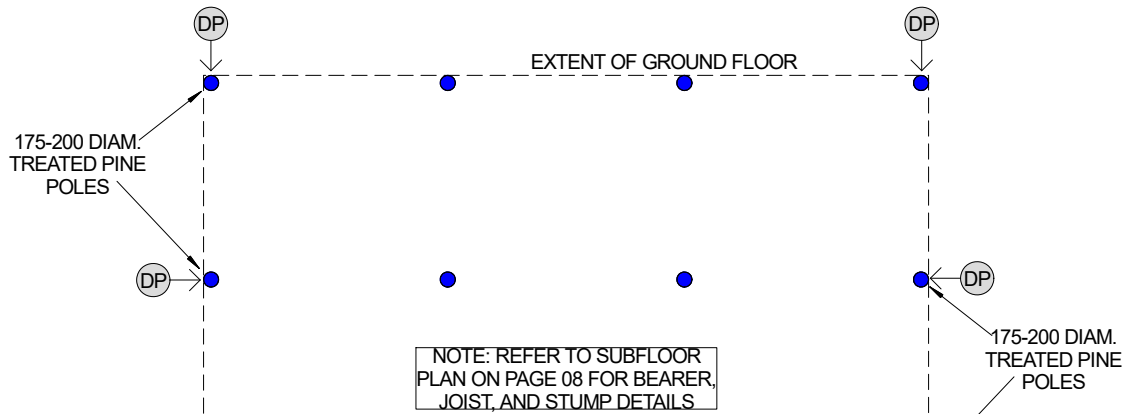
DECKING NOTE:
DECKING TO BE SETDOWN 50mm
FROM FFL. REFER TO ADDENDA
FOR DECKING SELECTION

DUE TO CLIENT DESIGN CHANGES, FURTHER ENERGY EFFICIENCY CHANGES AND/OR UPGRADES MAY BE NEEDED TO ACHIEVE 6 STARS, PENDING FINAL STAR RATING CERTIFICATION. IF CHANGES AND/OR UPGRADES ARE REQUIRED THEY WILL BE ADDED AS A VARIATION TO THE CONTRACT AND ADDITIONAL COSTS TO THE CLIENT MAY APPLY.

NOTE:
SMART GLASS TO BE INCLUDED TO ALL ALUMINIUM FRAMED WINDOWS & DOORS (EXCLUDING OBSCURE GLAZING)

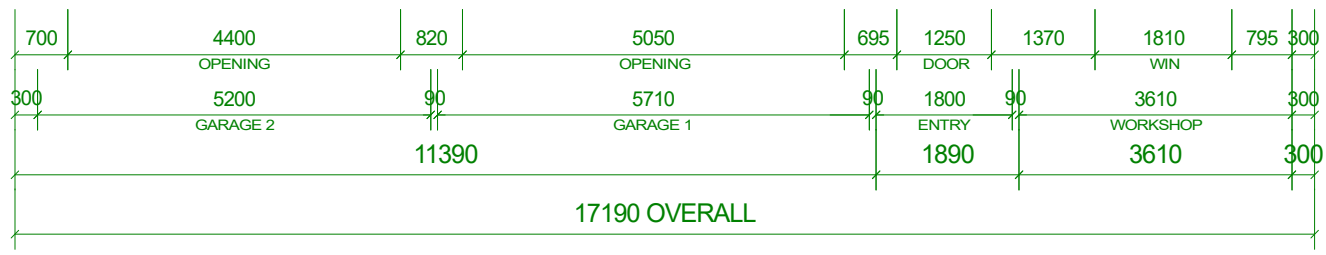
CARPENTER NOTE:
ADD ADDITIONAL STUD WORK / NOGGINS FOR MOUNTING TOILET ROLL HOLDERS & TOWEL RAILS. REFER TO INTERNAL DRAWINGS FOR POSITIONS OF THESE ITEMS

INSULATION DETAILS
- R4.0 CEILING INS.
- R2.5 EXTERNAL WALL INS.
- R1.5 INTERNAL WALL INS.
- R6.0 SUBFLOOR INS.
- CYCLONIC WALL WRAP TO EXTERNAL WALLS.
- R1.5 ANTICON / FOIL ROOF INS.
- R2 ACOUSTIC BATTS TO SUSPENDED FLOOR.



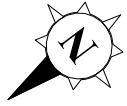
✘ DENOTES FLOOR WASTE.
ALL WET AREA WASTE LOCATIONS HAVE A MINIMUM FALL. IT IS IMPORTANT EXCESSIVE WATER VOLUMES FOR CLEANING, ETC. SHOULD NOT OCCUR.

NOTE:
ALL DIMENSIONS ON DRAWINGS REFER TO FRAMING SIZES



AREA:	
UNDERCROFT:	37.21m ²
GARAGES:	68.75m ²
GROUND FLOOR:	145.23m ²
PORTICO:	21.04m ²
UPPER FLOOR:	119.72m ²
BALCONY:	21.04m ²
TOTAL:	412.99m ²

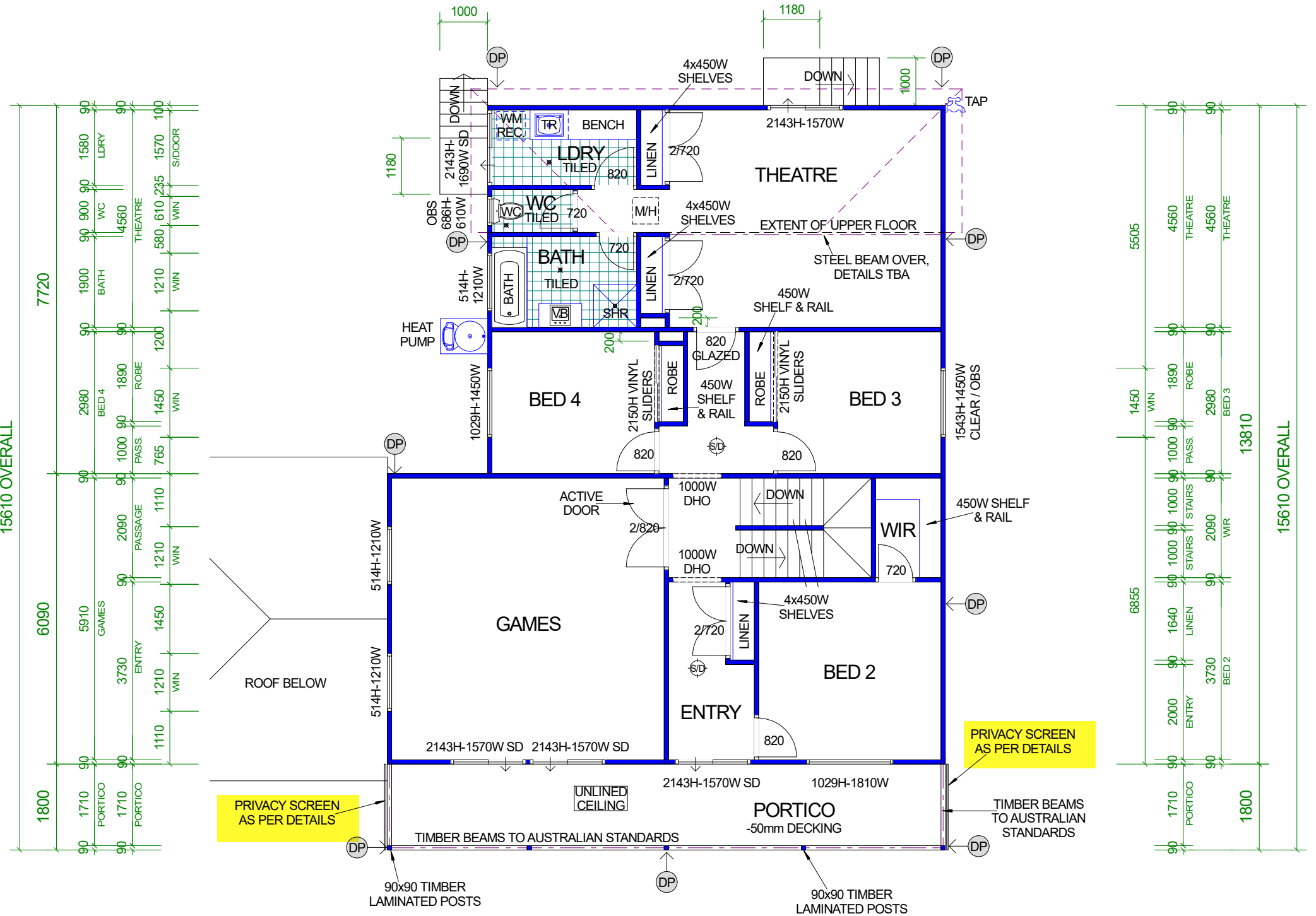
 W: www.totalhomeframes.com.au P: 1300 812 128 E: info@totalhomeframes.com.au Wangara WA	JOB No: THF2207 SERIES: TWO STOREY VERSION: EDGE 4 x 2.5	1. THESE PLANS ARE THE SOLE PROPERTY OF TOTAL HOME FRAMES AND MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. 2. CONTRACTORS SHALL CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION. ANY DISCREPANCIES TO BE BROUGHT TO THE SUPERVISORS ATTENTION. 3. DO NOT SCALE FROM DRAWINGS. 4. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTERBOARD AND SHOULD BE ALLOWED FOR. 5. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING OR SITE CONDITIONS. 6. NOTE: RETAINING WALLS, DEMOLITION, SEWER PILING, SUBSOIL DRAINS, BLASTING OR OTHER SITE WORKS ARE ALL AT THE OWNERS EXPENSE UNLESS SPECIFIED IN THE CONTRACT. 7. THE BUILDER HAS THE FULL POSSESSION OF THE SITE WHILST THE HOME IS UNDER CONSTRUCTION.	REV. VARIATION DETAILS DATE - - - - - - - - -	TITLE: UNDERCROFT PAGE: 03 DRAWN: A.Mayes SCALE: 1 = 100 DATE: 13/04/22 REV: -
	CLIENT: CARL & REBECCA DELANEY LOT / No: LOT 228 (No.19) STREET: HACKNEY WAY SUBURB: YANCHEP COUNCIL: CITY OF WANNEROO		I / WE THE OWNER'S AGREE TO THE CONTENTS OF THIS DOCUMENT & ALL INITIALLED SHEETS OWNER: DATE: OWNER: BUILDER: WITNESS: WITNESS:	152 Balcatta Road Balcatta WA 6021 PH: (08) 9240 2125 FAX: (08) 9240 2126



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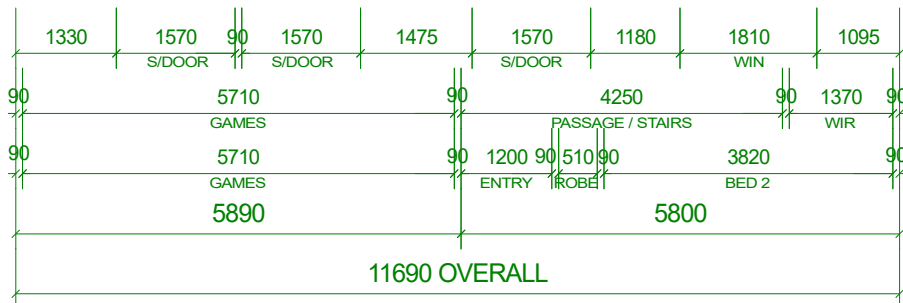
DECKING NOTE:
DECKING TO BE SETDOWN 50mm FROM FFL. REFER TO ADDENDA FOR DECKING SELECTION



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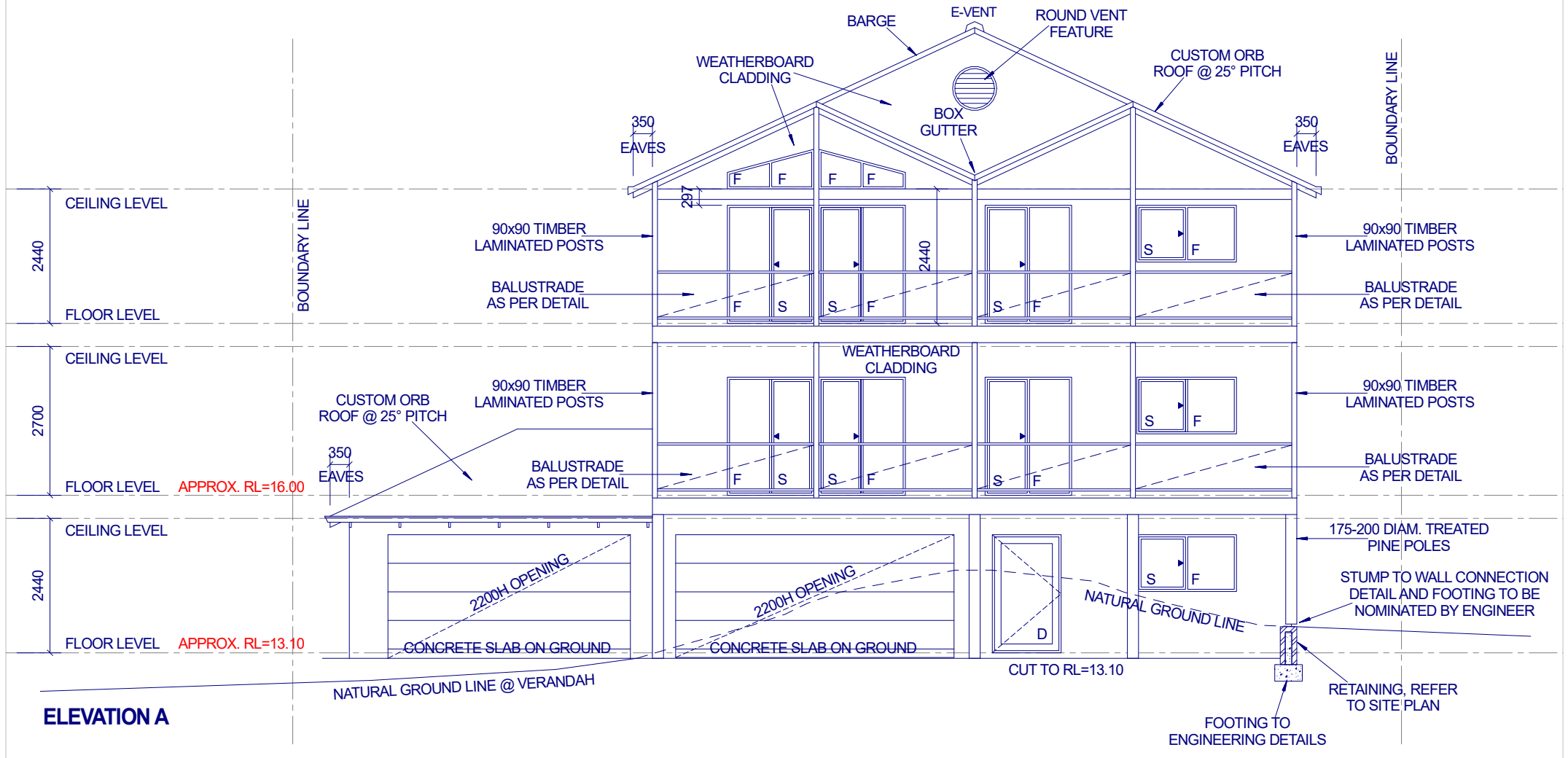
OWNER:	DATE:
OWNER:	BUILDER:
WITNESS:	WITNESS:

TITLE: **GROUND FLOOR 04**
DRAWN: **A.Mayes** SCALE: **1 = 100** DATE: **13/04/22** REV: **-**

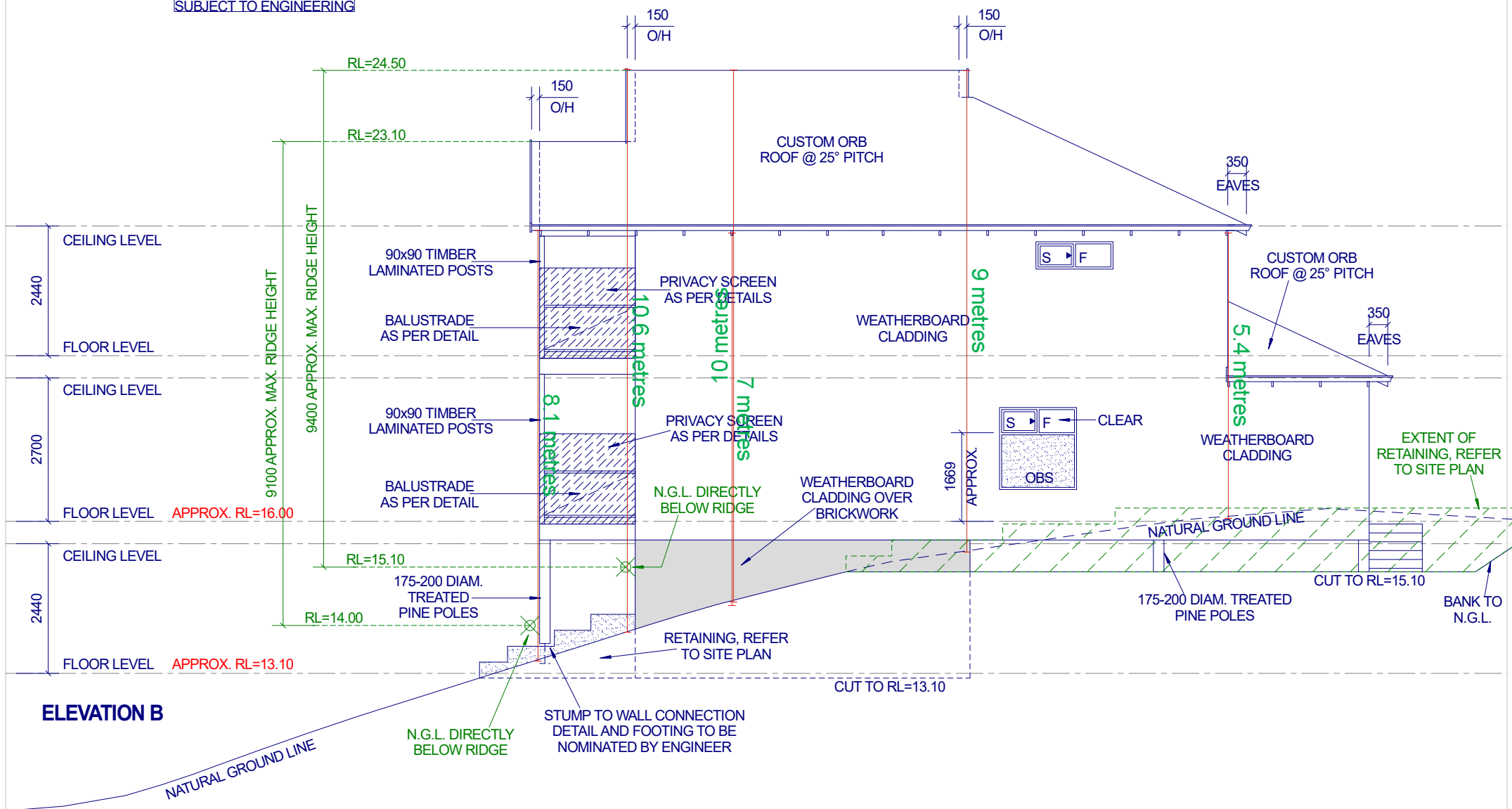
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CLIENT: **CARL & REBECCA DELANEY**
LOT / No: **LOT 228 (No.19)** STREET: **HACKNEY WAY**
SUBURB: **YANCHEP** COUNCIL: **CITY OF WANNEROO**

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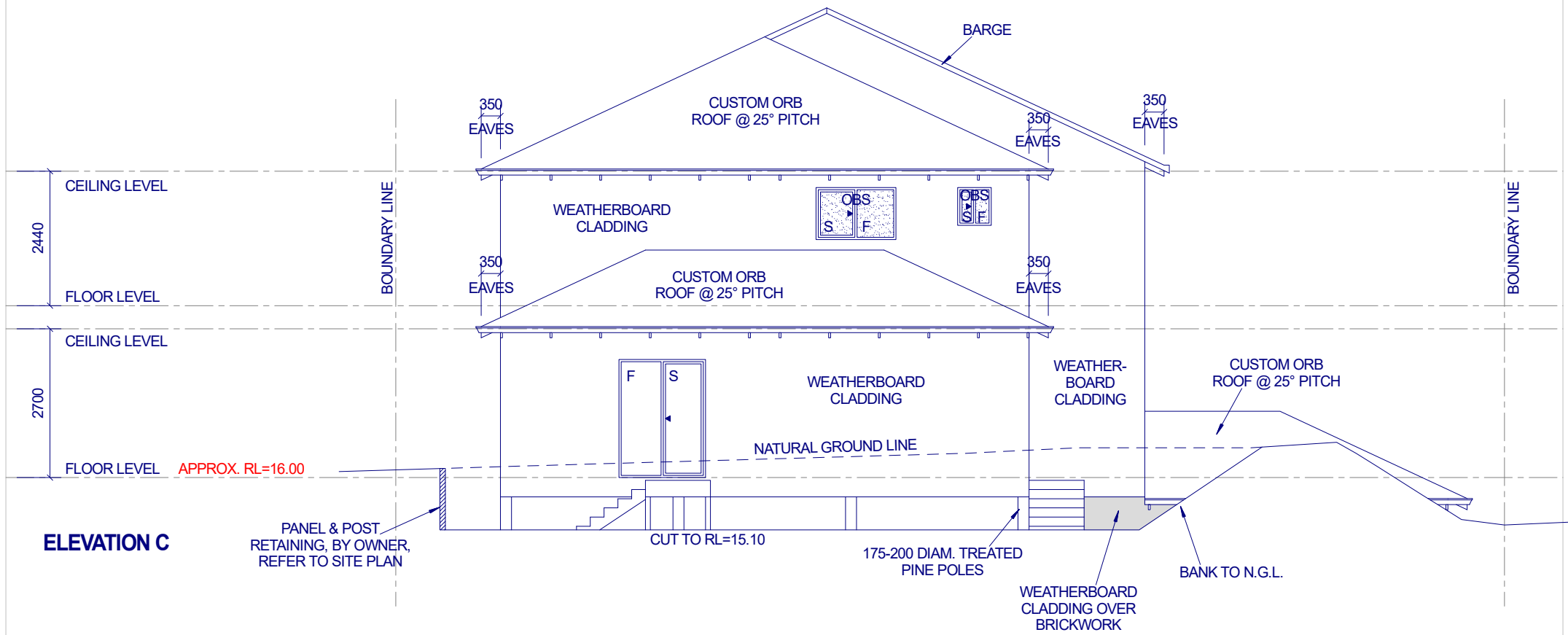


NOTE:
POSITION OF STUMPS
MAY VARY TO ELEVATIONS,
SUBJECT TO ENGINEERING

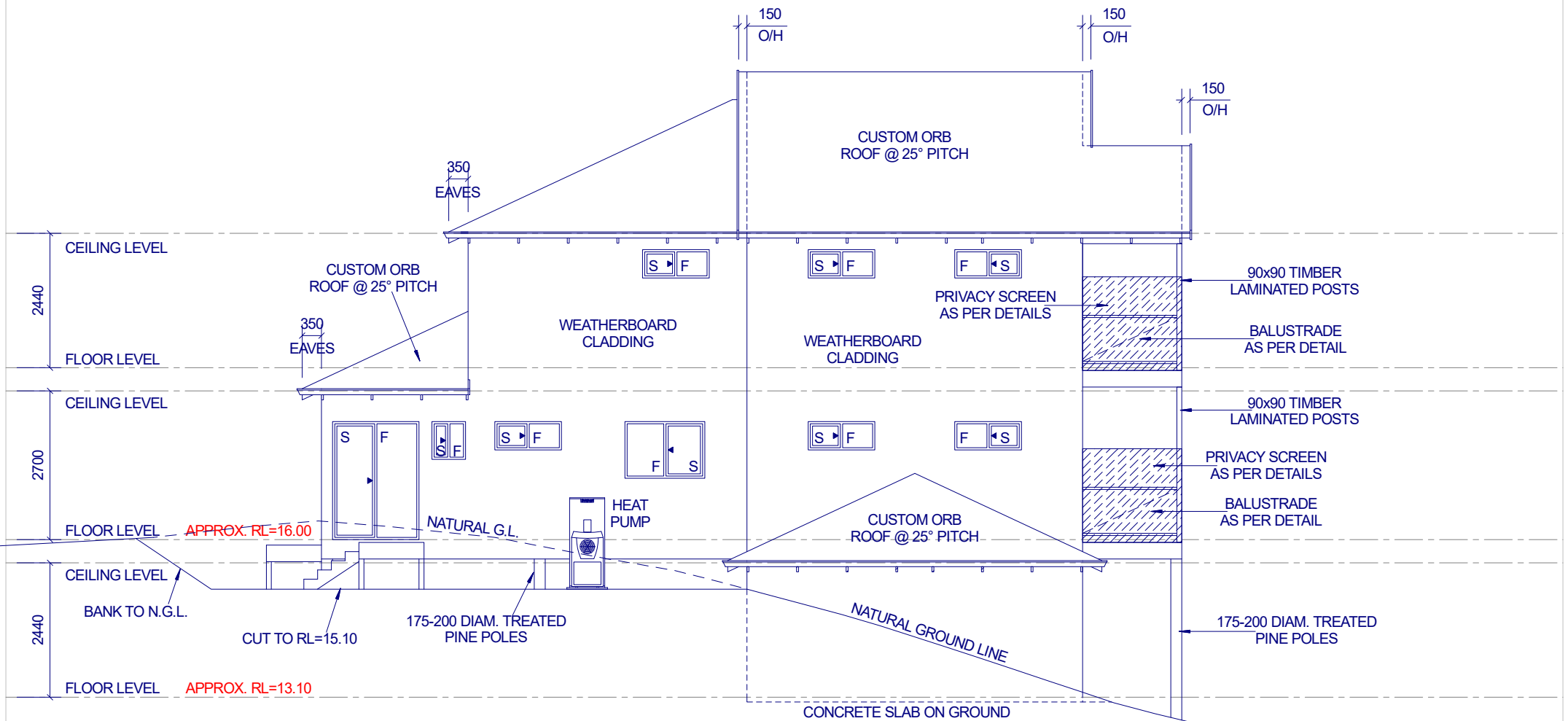


 W: www.totalhomeframes.com.au P: 1300 812 128 E: info@totalhomeframes.com.au Wangara WA	JOB No: THF2207 SERIES: TWO STOREY VERSION: EDGE 4 x 2.5	1. THESE PLANS ARE THE SOLE PROPERTY OF TOTAL HOME FRAMES AND MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. 2. CONTRACTORS SHALL CHECK ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION. ANY DISCREPANCIES TO BE BROUGHT TO THE SUPERVISORS ATTENTION. 3. DO NOT SCALE FROM DRAWINGS. 4. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTERBOARD AND SHOULD BE ALLOWED FOR. 5. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING OR SITE CONDITIONS. 6. NOTE : RETAINING WALLS, DEMOLITION, SEWER PILING, SUBSOIL DRAINS, BLASTING OR OTHER SITE WORKS ARE ALL AT THE OWNERS EXPENSE UNLESS SPECIFIED IN THE CONTRACT. 7. THE BUILDER HAS THE FULL POSSESSION OF THE SITE WHILST THE HOME IS UNDER CONSTRUCTION.	REV. VARIATION DETAILS DATE TITLE:	PAGE:
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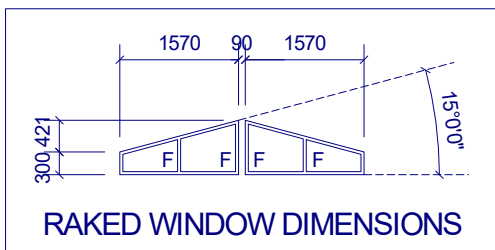
REVISED



ELEVATION C



ELEVATION D

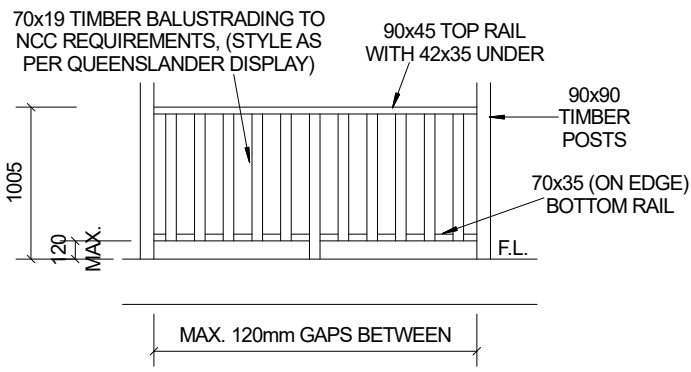


NOTE:
ALL BRACING & TRUSSING ETC TO ENGINEERS DETAILS. ALL TIMBERS TO AUSTRALIAN STANDARD 1684.2-2010. FOR N2 WIND LOADS UNLESS UPGRADE BY ENGINEER IS REQUIRED

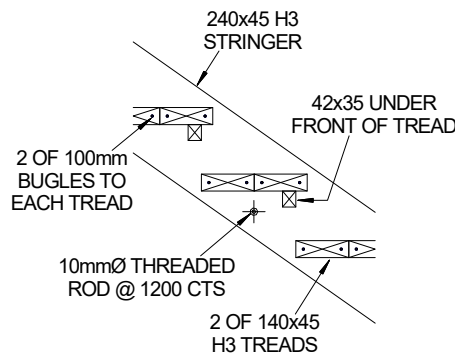
NOTE:
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NOTE:
ALL WINDOW HEADS @ APPROX 2143 A.F.L. ALL SLIDING DOOR HEADS @ 2143 A.F.L.

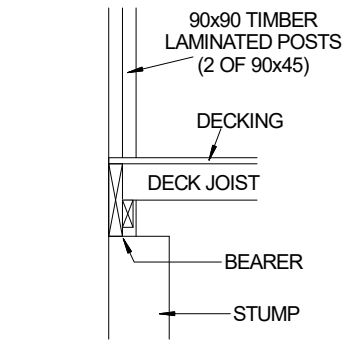
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	CLIENT: CARL & REBECCA DELANEY LOT / No: LOT 228 (No.19) STREET: HACKNEY WAY SUBURB: YANCHEP COUNCIL: CITY OF WANNEROO		I / WE THE OWNER/S AGREE TO THE CONTENTS OF THIS DOCUMENT & ALL INITIALLED SHEETS OWNER: DATE: OWNER: BUILDER: WITNESS: WITNESS:	152 Balcatta Road Balcatta WA 6021 PH: (08) 9240 2125 FAX: (08) 9240 2126 Built by our family for yours



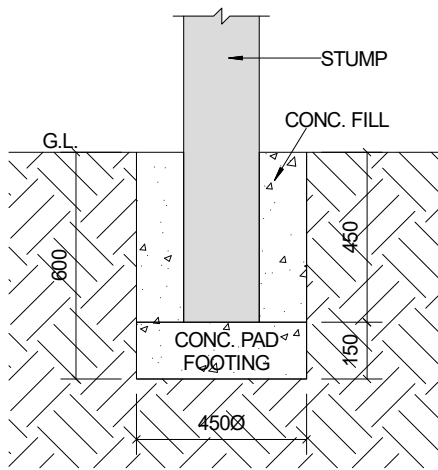
TYPICAL TIMBER BALUSTRADE DETAIL 'A'
SCALE 1:50



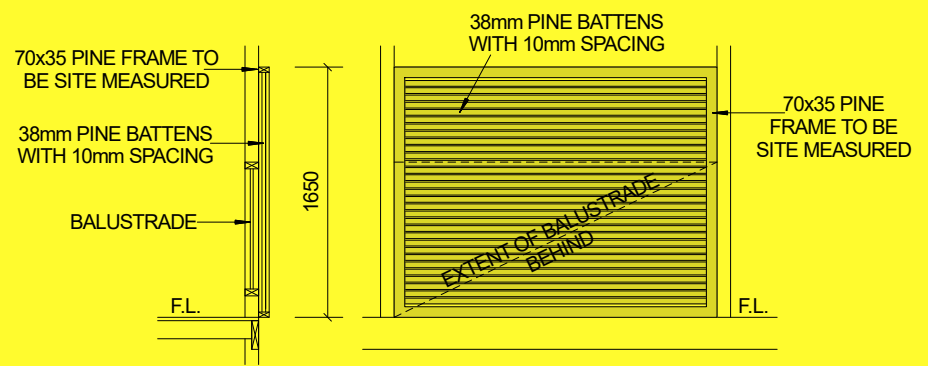
TYPICAL STAIR TREAD DETAIL 'B'
SCALE 1:20



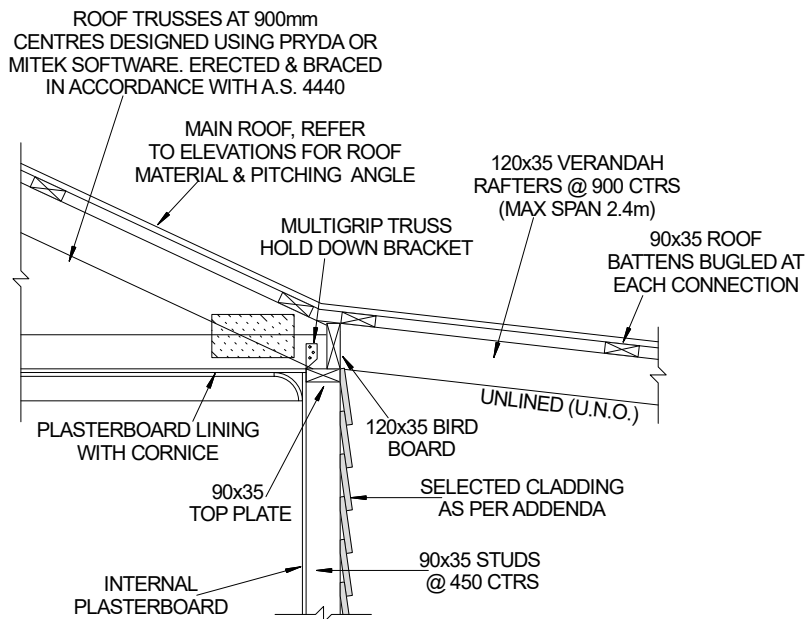
TYPICAL TIMBER LAMINATED POST DETAIL 'C'
SCALE 1:23



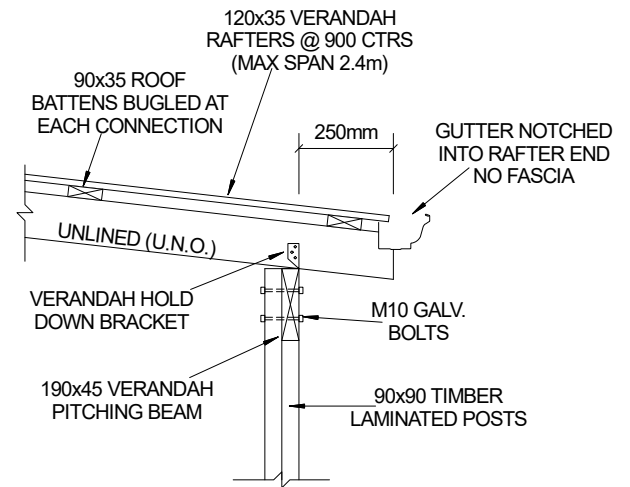
TYPICAL STUMP FOOTING DETAIL 'D'
SCALE 1:20



TYPICAL PRIVACY SCREEN DETAIL 'F'
SCALE 1:50



TYPICAL MAIN ROOF TO VERANDAH DETAIL 'G'
SCALE 1:20



TYPICAL 250mm VERANDAH EAVES DETAIL 'H'
SCALE 1:20

ENGINEERING NOTE:
REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR FURTHER DETAILS. STRUCTURAL ENGINEERING DRAWINGS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS.

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