

| LEGEND |  | Power Dome      |
|--------|--|-----------------|
|        |  | Power Pole      |
|        |  | Phone Pits      |
|        |  | Water Conn.     |
|        |  | Top Pillar/Post |
|        |  | Top Wall        |
|        |  | Top Retaining   |
|        |  | Top Fence       |

PORPOSED TREE  
PLANTING AREA  
AS PER 5.3.2 C2.2

|                |                      |
|----------------|----------------------|
| <b>LOT 11</b>  |                      |
| LOT AREA:      | 567m <sup>2</sup>    |
| BUILDING AREA: | 240.65m <sup>2</sup> |
| SITE COVERAGE: | 42.44%               |

|                                                                     |                                   |
|---------------------------------------------------------------------|-----------------------------------|
| <b>LOT 6B</b>                                                       |                                   |
| No.                                                                 | Soak Well Type                    |
| 4.1 m3                                                              | 3 SW 1200x1200                    |
| 4.1 m3                                                              | Total Capacity                    |
| 313.1 m2                                                            | Roof Area GF                      |
| 313.1 m2                                                            | Total Area                        |
| 3.9 m3                                                              | Capacity Required (Area x 0.0125) |
| 0.2 m3                                                              | Extra Capacity Provided           |
| NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE |                                   |

|                 |                                   |
|-----------------|-----------------------------------|
| <b>DRIVEWAY</b> |                                   |
| No.             | Soak Well Type                    |
| 1.4 m3          | 2 SW 1200x600                     |
| 1.4 m3          | Total Capacity                    |
| 0.0 m2          | Roof Area GF                      |
| 84.1 m2         | Paved Area                        |
| 84.1 m2         | Total Area                        |
| 1.1 m3          | Capacity Required (Area x 0.0125) |
| 0.3 m3          | Extra Capacity Provided           |

Site Plan  
1:200

LOT MISCLOSE  
0.002 m

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

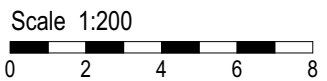
**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



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E: perth@cottage.com.au  
W: www.cottage.com.au

|         |                    |      |                                      |
|---------|--------------------|------|--------------------------------------|
| JOB #   | 504011             | GPS  | Lat: -31.675668 Long: 115.700515     |
| CLIENT  | Ilarda, Gabriel    | LOT  | Lot 11 (DP 68566)                    |
| ADDRESS | #6B Simpson Street |      |                                      |
| SUBURB  | Quinns Rocks       |      |                                      |
| LGA     | CITY OF WANNEROO   | AREA | 567m <sup>2</sup> VOL. 2757 FOL. 228 |
| DRAWN   | T. Do              | DATE | 01 Jul 21 SSA No                     |

|            |                   |         |                                           |
|------------|-------------------|---------|-------------------------------------------|
| ROADS      | Bitumen           | ELEC.   | U/Ground                                  |
| KERBS      | Mountable         | COMMS.  | Yes                                       |
| FOOTPATH   | Concrete          | WATER   | Yes                                       |
| SOIL       | Sand              | GAS     | Check Alinta                              |
| DRAINAGE   | Good              | SEWER   | Yes                                       |
| VEGETATION | Light Grass Cover | COASTAL | Yes (Approximate Only Confirm With Shire) |



| REV.                  | ITEMS           | DRW | CHK | DATE       |
|-----------------------|-----------------|-----|-----|------------|
| 3                     | DA SET AMD      | SG  | MG  | 21/04/2022 |
| 2                     | RETAINING WALLS | DU  | NM  | 20/01/2022 |
| 1                     | DA SET          | MS  | NM  | 16/12/2021 |
| Planning Approval Set |                 |     |     |            |

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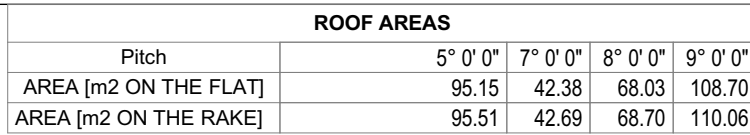
PROJECT **6b SIMPSON STREET  
QUINNS ROCKS  
CITY OF WANNEROO**

CLIENT NAME **GABRIEL & JUSTINE ILARDA**

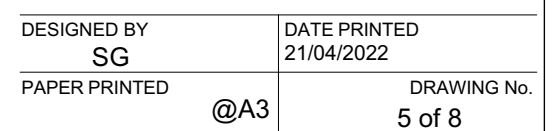
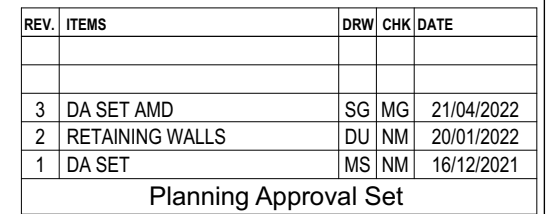
SHEET **Site Plan**

|                      |                            |
|----------------------|----------------------------|
| DESIGNED BY<br>SG    | DATE PRINTED<br>21/04/2022 |
| PAPER PRINTED<br>@A3 | DRAWING No.<br>4 of 8      |

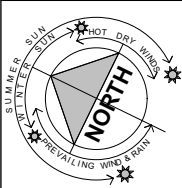
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All dimensions to be verified and checked prior to construction.



| Category       | Value  |
|----------------|--------|
| 1,305          | 1,305  |
| 5,565          | 5,565  |
| 5,600          | 5,600  |
| 5,090          | 5,090  |
| 17,560 OVERALL | 17,560 |

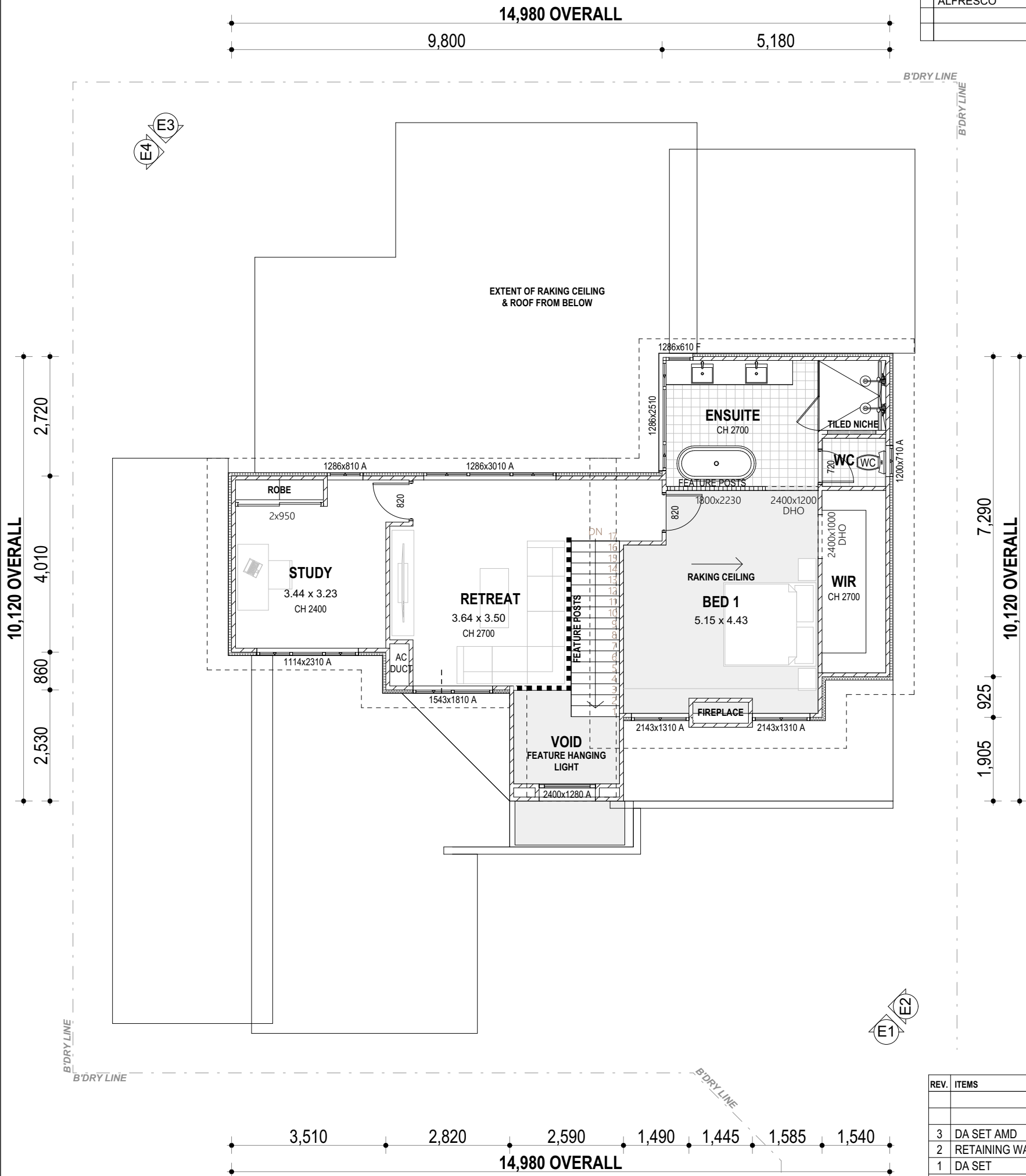


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| ROOF AREAS            |          |          |          |          |
|-----------------------|----------|----------|----------|----------|
| Pitch                 | 5° 0' 0" | 7° 0' 0" | 8° 0' 0" | 9° 0' 0" |
| AREA [m2 ON THE FLAT] | 95.15    | 42.38    | 68.03    | 108.70   |
| AREA [m2 ON THE RAKE] | 95.51    | 42.69    | 68.70    | 110.06   |

| AREAS               |                  |                 |
|---------------------|------------------|-----------------|
| Location            | Area             | Perimeter       |
| <b>First Floor</b>  |                  |                 |
| UPPER FLOOR         | 93.26            | 50.65           |
|                     | <b>93.26 m²</b>  | <b>50.65 m</b>  |
| <b>Ground Floor</b> |                  |                 |
| GARAGE              | 35.48            | 27.49           |
| HOUSE               | 205.17           | 76.81           |
| PORCH               | 2.43             | 7.00            |
| ALFRESCO            | 15.54            | 16.08           |
|                     | <b>258.62 m²</b> | <b>127.38 m</b> |
|                     | <b>351.88 m²</b> | <b>178.03 m</b> |



| REV. | ITEMS           | DRW | CHK | DATE       |
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| 1    | DA SET          | MS  | NM  | 16/12/2021 |

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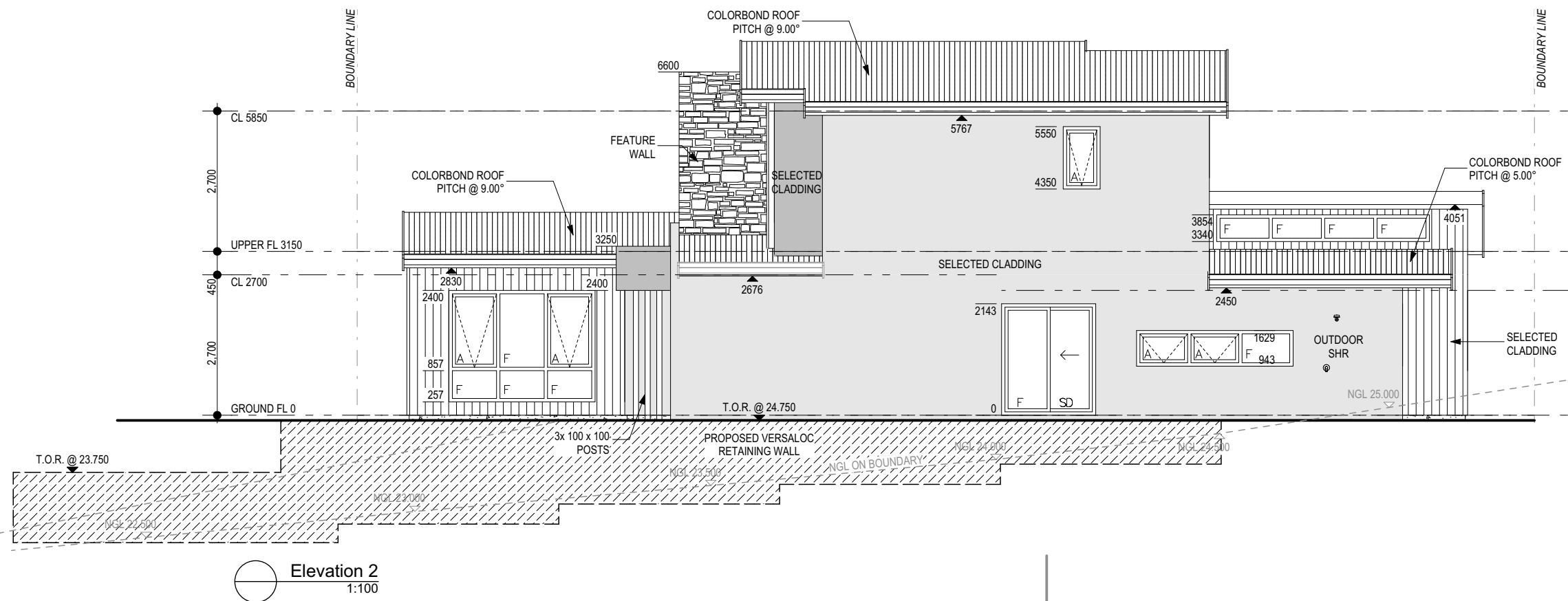
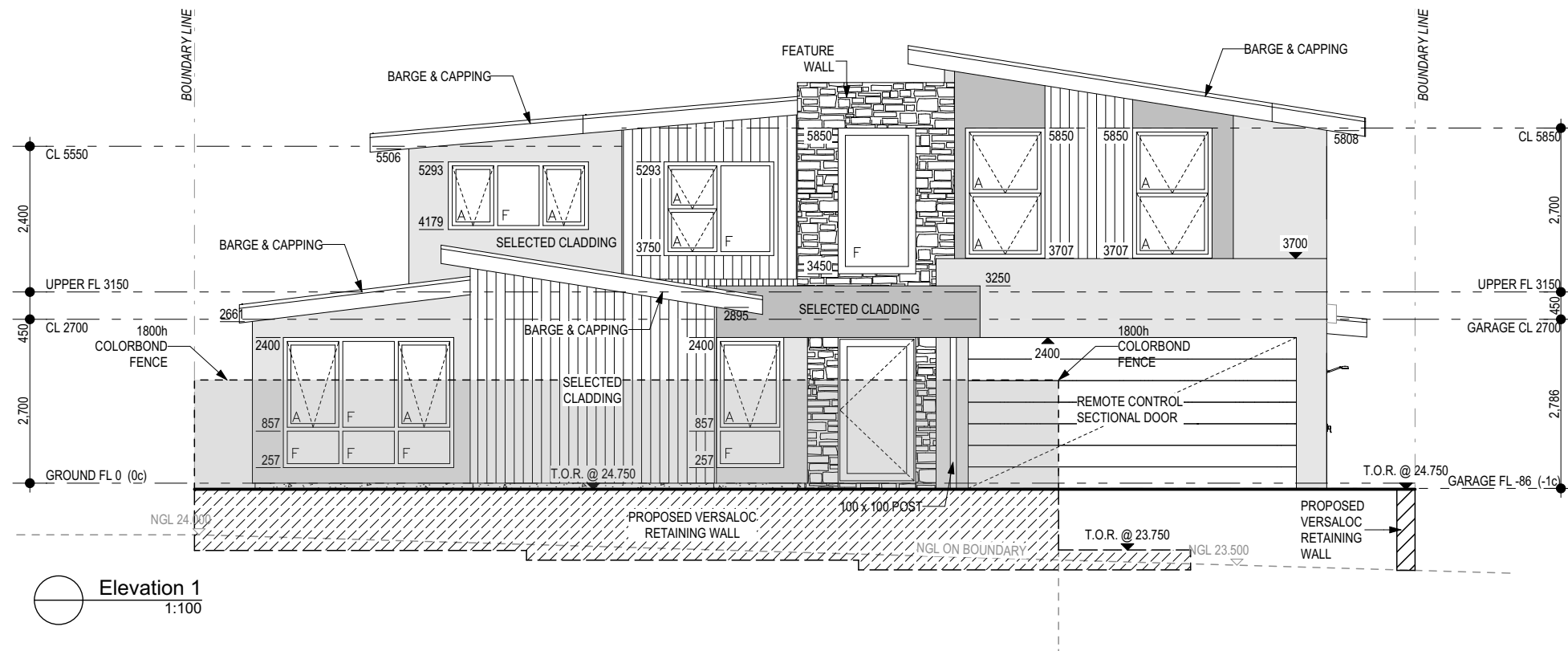
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QUINNS ROCKS  
CITY OF WANNEROO

CLIENT NAME GABRIEL & JUSTINE ILARDA

SHEET **First Floor Plan**

|                   |                         |
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| 2    | RETAINING WALLS | DU  | NM  | 20/01/2022 |
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Planning Approval Set

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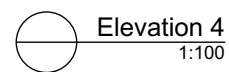
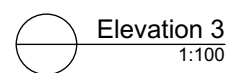
CLIENT NAME **GABRIEL & JUSTINE ILARDA**

SHEET **Elevations 1-2**

|                             |                              |
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