

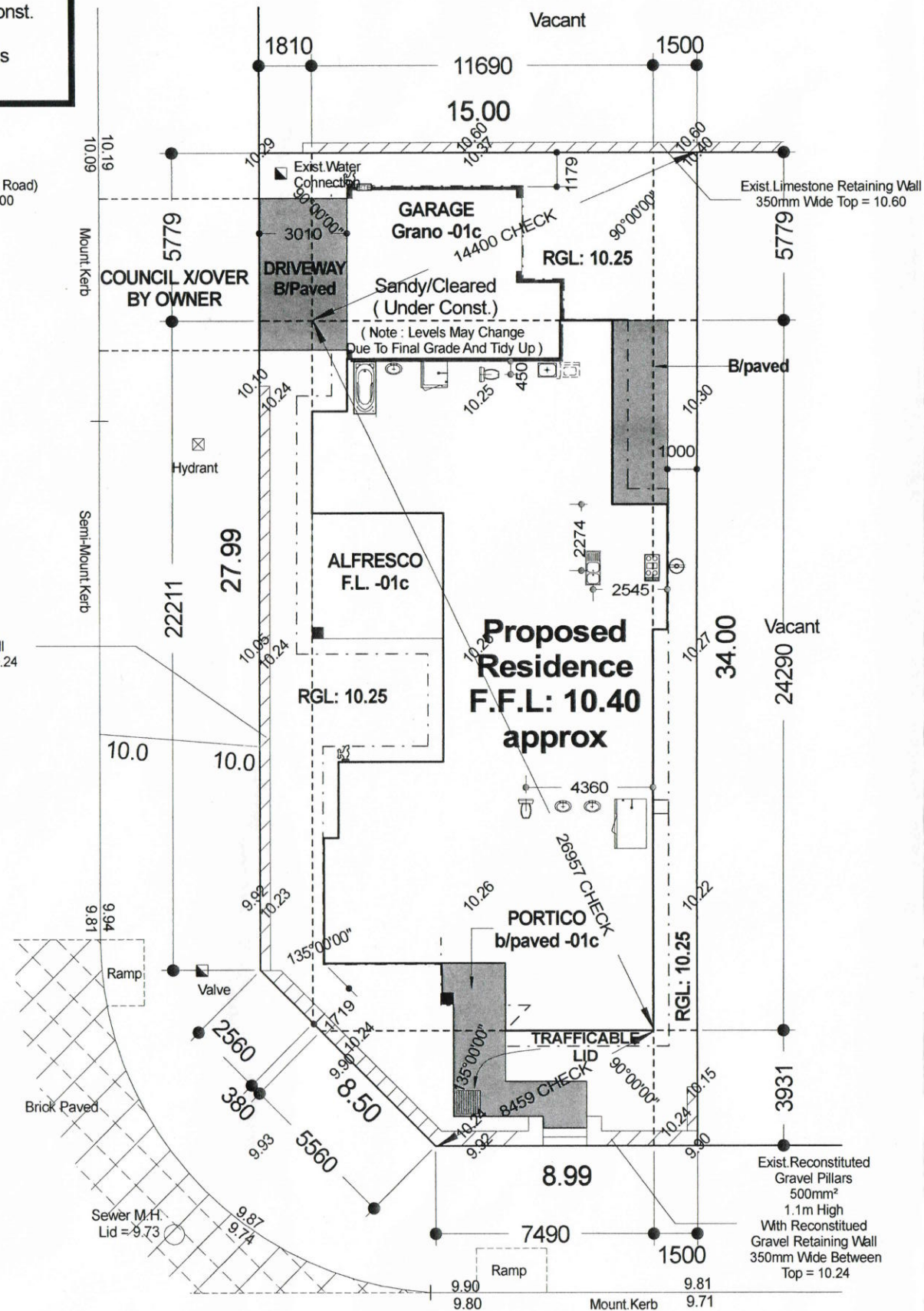
Lot 1566 (492m²)

Note: Area Still Under Const.
Lot Not Yet Pegged
Locality Of All Features
Not Guaranteed

Datum Nail (Centre Of Road)
Assumed Datum = 10.00

Exist. Reconstituted
Gravel Retaining Wall
350mm Wide Top = 10.24

Echidna Street



Horticulture Gardens



Address:
LOT 1566
Horticulture Gardens, Banksia Grove

Client: [REDACTED]

Local Authority: City Of Wanneroo

Plan/Dia: P.68496(2) C/T Vol: 2760/102

Map Reference: Pg.191,18:26

Date: 17/01/11 Scale: 1:200

Residential abodes
by Collier Homes

Collier Homes Pty Ltd A Division of Home Australia
428 Scarborough Beach Rd Osborne Park WA 6017
Tel 08 9344 6644 Fax 08 9344 7274
Email building@collierhomes.com.au Website www.homeaustralia.com.au
A.B.N 23 008 681 454 Builder Reg. 1499

Sheet
Job No. **7231**



Footpath: No	Road: Bitumen
Water: Yes <small>Pretaid Left</small>	Kerb: Mountable/Semi-Mount
Gas: Yes	Electricity: Underground/ To Be Estab.
Telstra: Yet To Be Estab.	Soil: Sandy
Drainage: Good	Vegetation: Cleared
Re-Peg: Req'd	Sewer: Yes Depth: <small>(No 'E' Plan Available Yet)</small>

DRAWN	DATE	VARIATION	No
SWR	24/1/11	JD	25/1/11 WD
		XXX	XXXXX X
		XXX	XXXXX X
		XXX	XXXXX X
		XXX	XXXXX X

SEWER DIAGRAM

Site Coverage:

House Area:	246m ²
Site Area:	429m ²
Open space allowance:	30%
Open space calculation:	42.7%

PAVING AREA

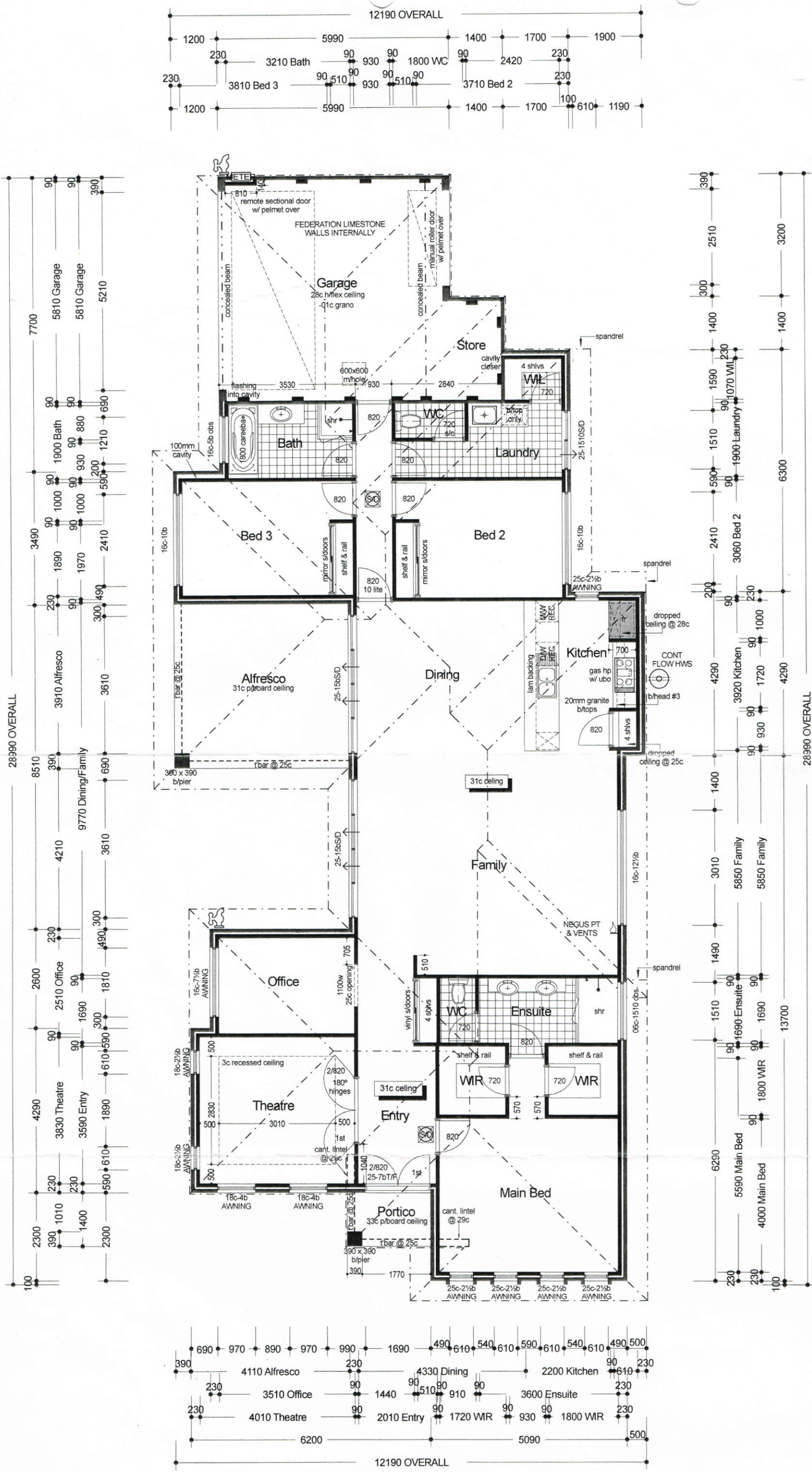
DRIVEWAY	15.682m ²
PATH/PORTICO	13.601m ²
REAR	11.970m ²
TOTAL AREA	41.253m ²

Our Job No.
57812

Drake Surveys

61 FYFE CIRCLE
BULL CREEK, WA 6149
PH 9332 4948
FAX 9332 3014

Notes: Owner To Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.



TOP OF FOOTINGS TO HOUSE TO BE -2c
 TOP OF FOOTINGS TO SCREEN WALLS, GARAGE PIERS/POSTS TO BE -3c UNLESS OTHERWISE STATED.

DOWNPIPES WILL BE POSITIONED AT REGULAR INTERVALS AT PLUMBER'S DISCRETION

28c CEILING THROUGHOUT UNLESS OTHERWISE NOTED

FED LIMESTONE LAID IN THIRD BOND

HOUSE AREAS

HOUSE	206.534m ² (81.160m)
GARAGE	39.004m ²
ALFRESCO	19.350m ²
PORTICO	3.024m ²
TOTAL AREA	267.912m²

Residential abodes
 by Collier Homes

Collier Homes Pty Ltd A Division of Home Australia
 428 Scarborough Beach Rd Osborne Park WA 6017
 Tel 08 9344 6644 Fax 08 9344 7274
 Email building@collierhomes.com.au Website www.homeaustralia.com.au
 A.B.N. 23 008 681 464 Builder Reg. 1499

JOB NO. **HOR1566** 7231

DESIGN **ONE-OFF**

SCALE 1:100

PROPOSED RESIDENCE FOR :

AT : Lot 1566 Horticulture Gardens
 Banksia Grove

COPYRIGHT
 This plan shall remain the sole property of COLLIER HOMES and must not be given, lent, resold, hired out or otherwise disposed of or copied without the written permission of COLLIER HOMES.

SKETCH	DATE	VARIATION	DATE	No
JD	14/10/10	JD	14/10/10	1
W/DRAWS	DATE	JD	21/1/11	4
JD	21/1/11	MC	01/03/11	F
DIM CHK	MC	XXX	XXXXX	X