



PRO WEST
SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au
F (08) 9242 8296 Web: www.prowestsurveying.com.au
Po Box 1463 Osborne Park DC 6916 DWG# 5678001

Feature & Contour Survey of: Lot 901, No. 30 Kinsale Drive, Mindarie

REVISION: A

SHEET: 1 OF 1

CLIENT:	PLAN: DP 406781	LOT AREA: 506m ²	SURVEY DATE: 20/04/22
BUILDER: STANNARD HOMES	C/T Vol: 2892 Fol: 318	MAP REFERENCE:	
BUILDER JOB # 5296	HEIGHT DATUM: AHD	COASTAL ZONE: 0.16KM	
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND	
POWER	
CABLE DOME (P)	POWER POLE (PP)
CABLE BOX (CB)	CONSUMER POLE (CP)
POWER MARKER (◇)	EXPOSED CABLES (EC)
LIGHT POLE (LP)	STAYWIRE ANCHOR (SWA)
WATER	
WATER METER / TAP (M)	FIRE HYDRANT (H)
TAP (↑)	STOP VALVE (SV)
FLUSHING POINT (FP)	RETIC VALVE (RV)
BORE (⊕)	WATER MARKER (W)
SEWERAGE	
SEWER M/H (SQUARE LID) (S)	SEWER M/H (ROUND LID) (R)
INSPECTION SHAFT (IS)	INSPECTION OPENING (IO)
HOUSE CONNECTION (HC)	
TELSTRA	
TELSTRA PIT (P)	TELSTRA MANHOLE (M)
TELSTRA MARKER (M)	
DRAINAGE	
DRAIN M/H (SQUARE LID) (S)	DRAIN M/H (ROUND LID) (R)
SIDE ENTRY PIT (SEP)	DRAINAGE GRATE (G)
COMBINED ENTRY PIT (CEP)	
GAS	
GAS METER (GM)	GAS VALVE (GV)
GAS MARKER (G)	
SURVEY MARKS	
PEG FOUND (PF)	PEG GONE (PG)
DRILL HOLE (DH)	BENCH MARK (B)
PEN MARK (PM)	NAIL & PLATE (NPL)
	NAIL (N)
MISCELLANEOUS INFO.	
STREET SIGN (S)	SPOT HEIGHT (10.16)
UNKNOWN SERVICE MARKER (U)	BOLLARD (B)
OVERHEAD POWER LINE (OPL)	SEWER LINE (S)
FENCE LINE (F)	WINDOW / OPENING (W)
SERVICE DETAILS	
WATER: A, TBC OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: A, TBC SEWER: L	
SERVICE NOTES	
L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED	

NOTES
(1) ALL FEATURES IN GOOD CONDITION
(2) DEVELOPMENT AREA: ESTABLISHED

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-19. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

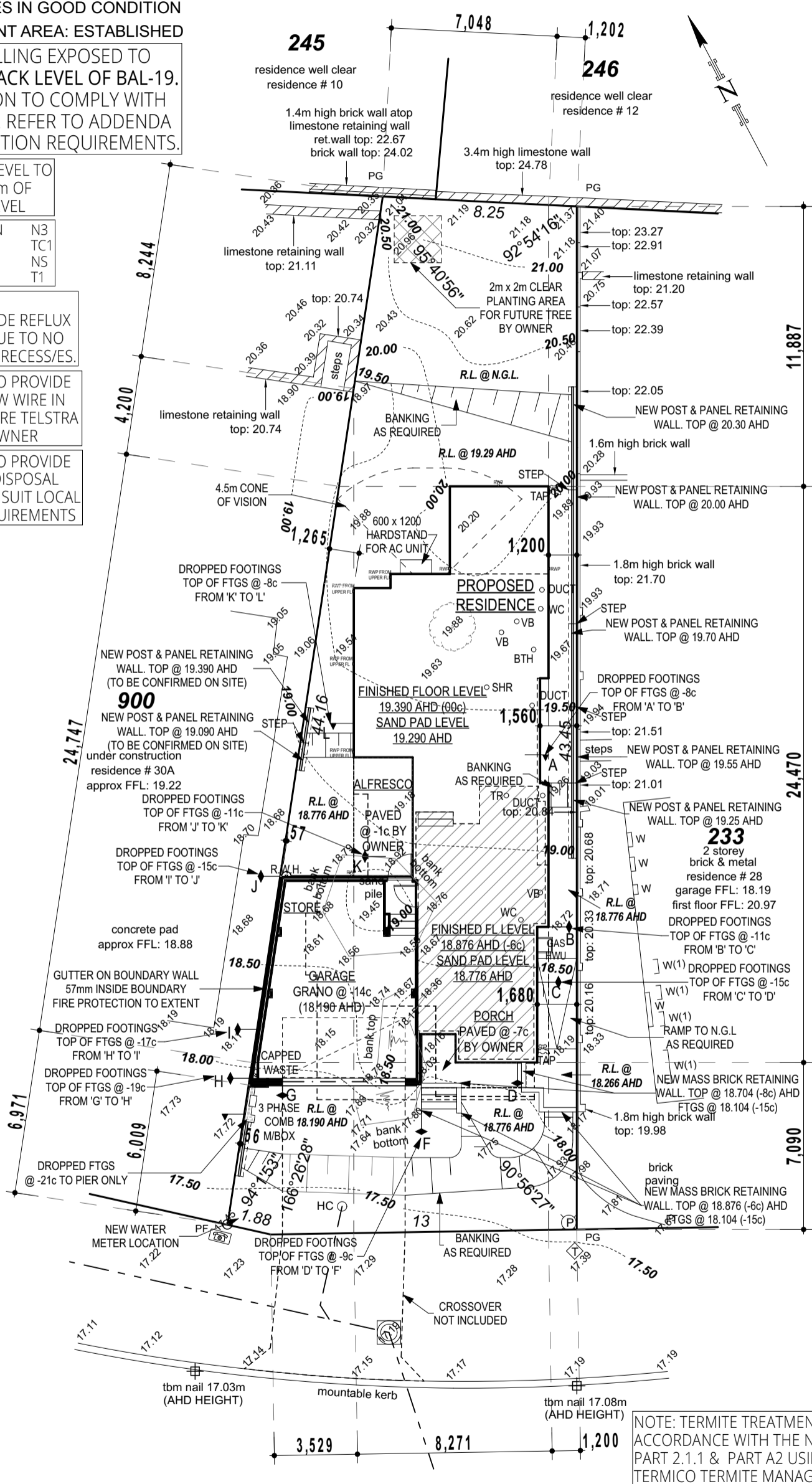
NOTE: SAND PAD LEVEL TO BE WITHIN 40mm OF NOMINATED LEVEL

WIND CLASSIFICATION N3
TERRAIN CATEGORY TC1
SHIELDING NS
TOPOGRAPHY T1

NOTE: BUILDER TO PROVIDE REFLUX VALVE TO HOME DUE TO NO HOBS TO SHOWER RECESS/ES.

NOTE: BUILDER TO PROVIDE CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELSTRA RUN IN BY OWNER

NOTE: BUILDER TO PROVIDE STORMWATER DISPOSAL TO SOAKWELLS TO SUIT LOCAL AUTHORITIES REQUIREMENTS



IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	10.82
DEPTH TO CONNECTION:	5.4
DEPTH TO CONNECTION:	1.17

NOTE: TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NCC BCA PART 3.1.4, PART 2.1.1 & PART A2 USING THE TERMICO TERMITE MANAGEMENT SYSTEM

TOTAL SITE AREA = 506m²
IMPERVIOUS AREA OF SITE = 230.91m²
PERVIOUS AREA OF SITE = 275.09m²

SH STANNARD HOMES

SIGNATURE SPECIFICATION

42 Hasler Road, Osborne Park Western Australia 6017
Telephone (08) 9446 5500
email: enquires@stannardhomes.com.au
www.stannardhomes.com.au

PROPOSED RESIDENCE FOR
MR. B. & MRS. T. CREGAN
LOT 901 (HSE #30)
KINSALE DRIVE, MINDARIE

Stannard Group Pty Ltd
ABN 27 008 828 082 BC 6583

INDIVIDUAL 2 STOREY			
DRAWN AES	AMENDMENTS AMD-001-00-00-000	VARIATION V0-000-00-00-000	SHEET 15 OF 15
DATE 07-06-2022	JOB No 5296		

- NOTE:
- All plans subject to council/developers approval.
 - Dimensions are to brick sizes & do not allow for plaster, render or set.
 - Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
 - All dimensions noted on all sheets are approximate & are subject to change during the construction process.
 - Some floor coverings will require additional preparation by owner after handover.
 - Final location of downpipes, stormwater system & HWU to be determined on site by builder.
 - Wall and floor tiles as drawn are indicative representation only of th surface area to be covered.
 - Notify builders of any discrepancies prior to commencing.
 - All roof timbers to be as per engineer's details & to comply with AS 1684 & NCC.

WIND CLASSIFICATION N3
 TERRAIN CATEGORY TC1
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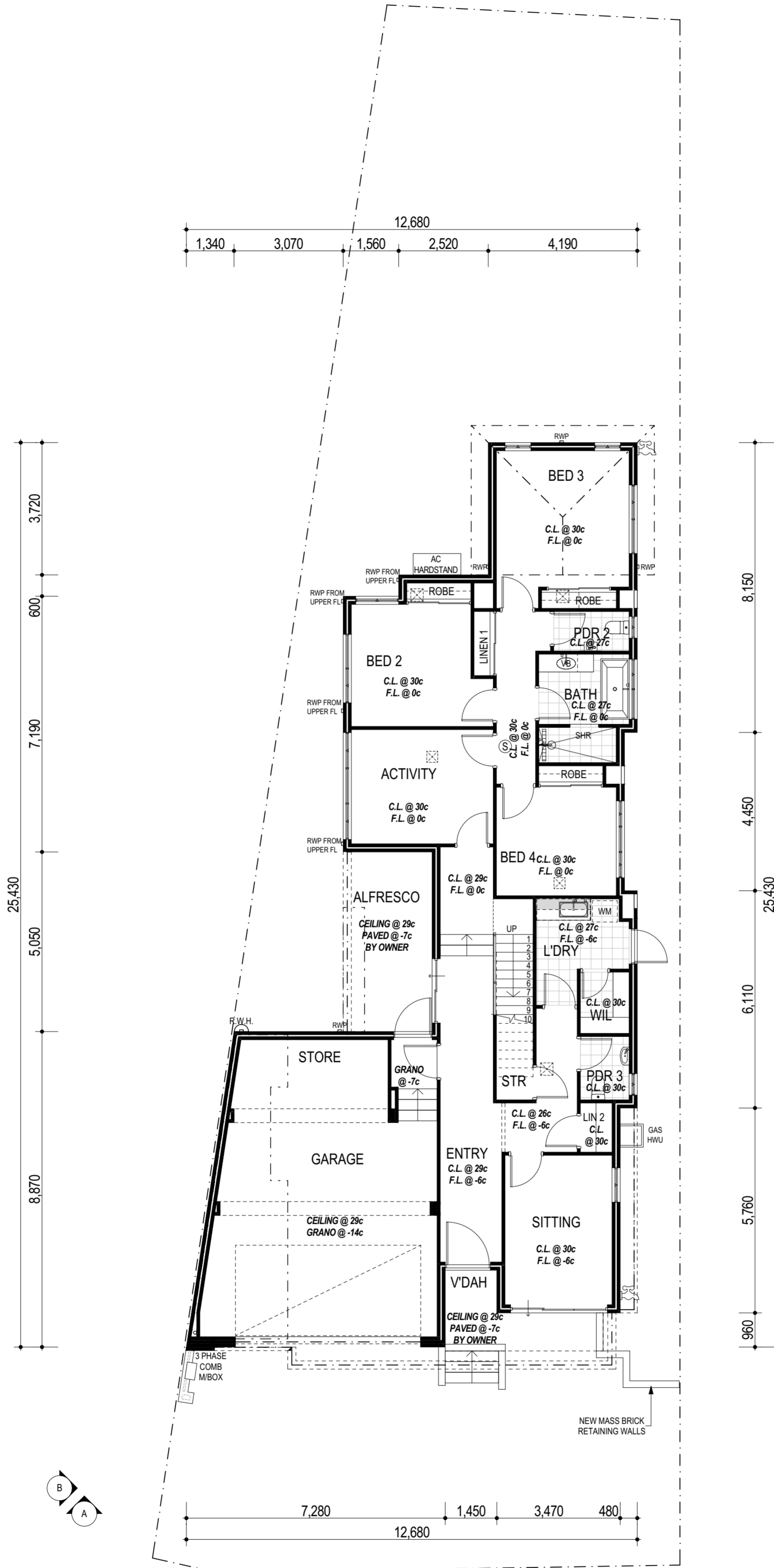
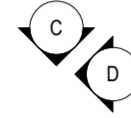
ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

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AREA	
GROUND FL	146.40
GARAGE	57.06
V'DAH	6.49
ALFRESCO	12.63
TOTAL	222.58 m ²
PERIMETER	66.20 m
UPPER FL (INCLUDING STAIRS + VOID)	172.31
BALCONY	20.65
TOTAL	192.96 m ²
PERIMETER	67.16 m
GRAND TOTAL	415.54 m ²

ZONED R20
OPEN SPACE REQUIRED = 50%
 LOT AREA: 506m²
 - TOTAL FOOTPRINT 216.09m² = 289.91m²
 +TOTAL LOT AREA %
 = 57.29% OPEN SPACE PROVIDED

PERVIOUS SURFACE
REQUIRED = 50%
 FRONT SETBACK AREA = 79.06m²
 - IMPERVIOUS AREA 32.76m² = 46.30m²
 +TOTAL FRONT SETBACK AREA %
 = 58.56% PERVIOUS AREA PROVIDED



GROUND FLOOR PLAN
 1:100

SH STANNARD HOMES
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INDIVIDUAL 2 STOREY

DRAWN	AMENDMENTS	VARIATION	SHEET
AES	AM0-001-00-00-000	VO-000-00-00-000	01 OF 15
DATE			JOB No
07-06-2022			5296

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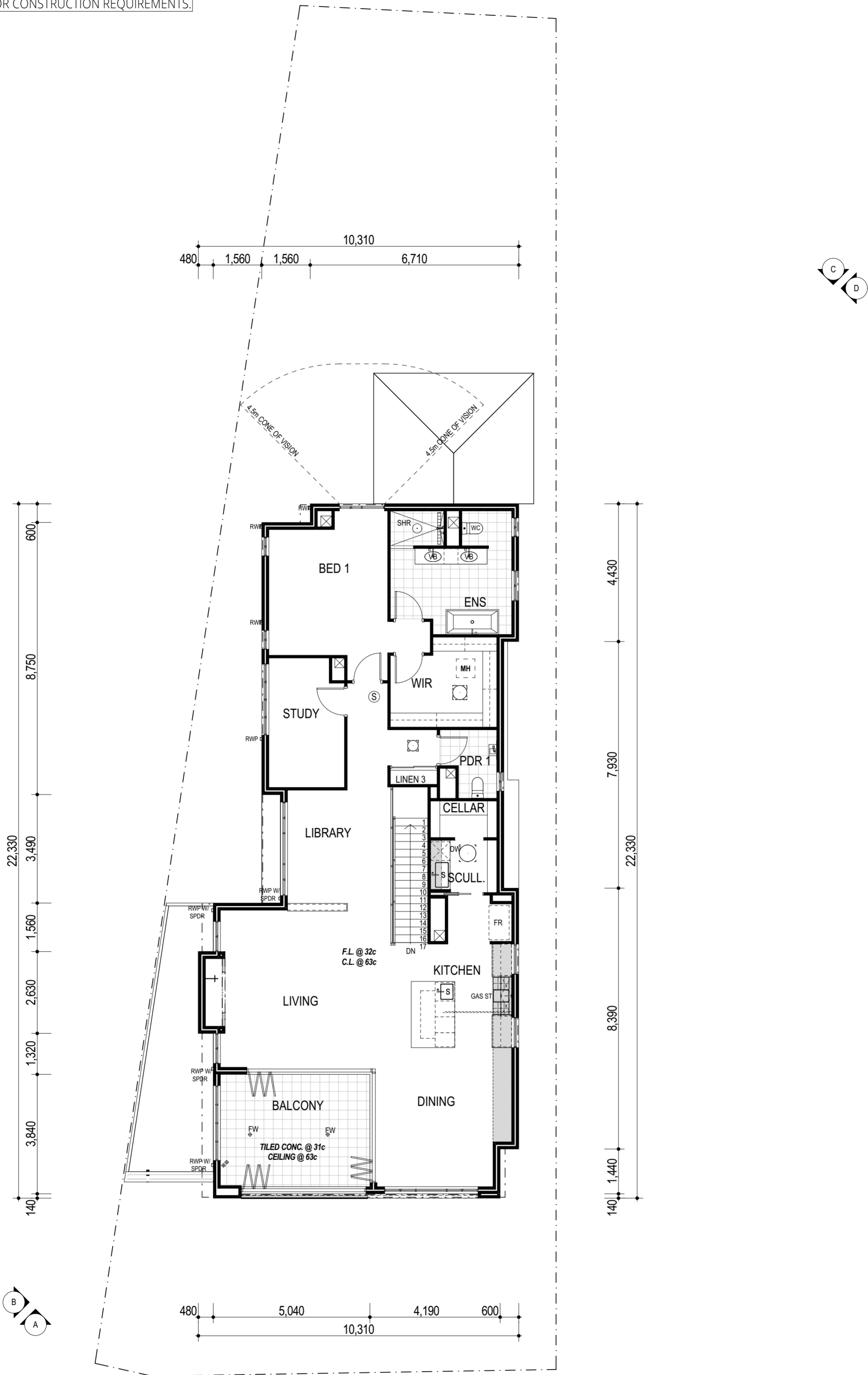
Stannard Group Pty Ltd
 ABN 27 008 828 082 BC 6583

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 - Dimensions are to brick sizes & do not allow for plaster, render or set.
 - Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
 - All dimensions noted on all sheets are approximate & are subject to change during the construction process.
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 TERRAIN CATEGORY TC1
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UPPER FLOOR PLAN
 1:100



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INDIVIDUAL 2 STOREY

DRAWN	AMENDMENTS	VARIATION	SHEET
AES	AMD-001-00-00-000	V0-000-00-00-000	02 OF 15
DATE			JOB No
07-06-2022			5296

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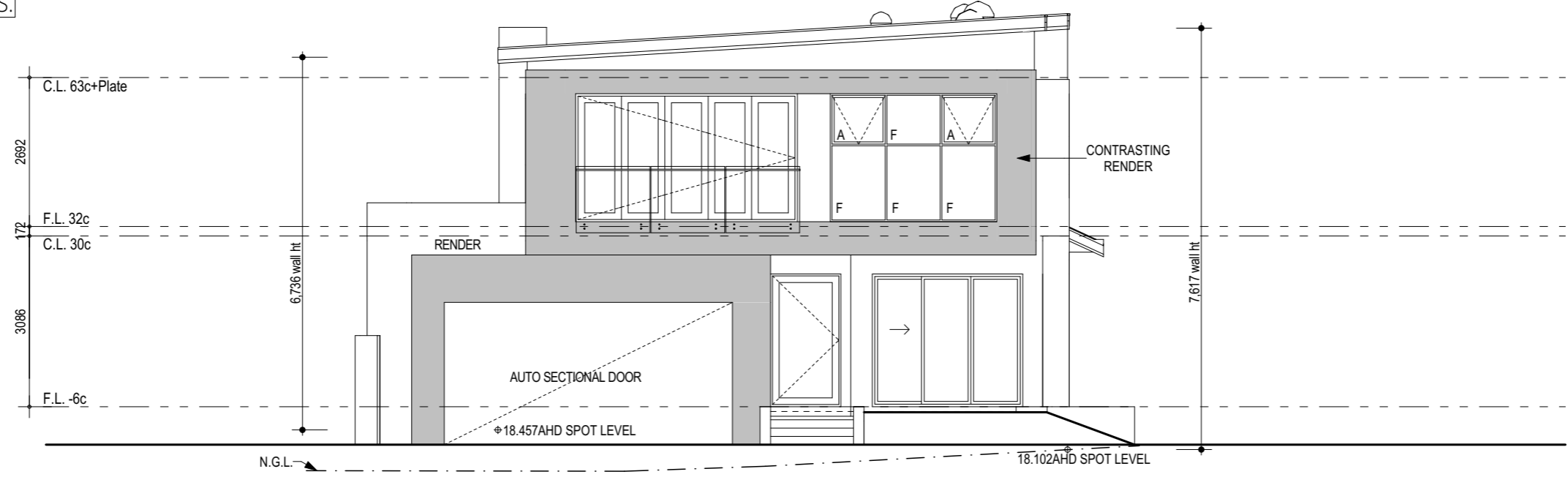
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 TERRAIN CATEGORY TC1
 SHIELDING NS
 TOPOGRAPHY T1

ALTERATIONS TO PLANS MAY CAUSE
 DELAYS & ADDITIONAL COSTS

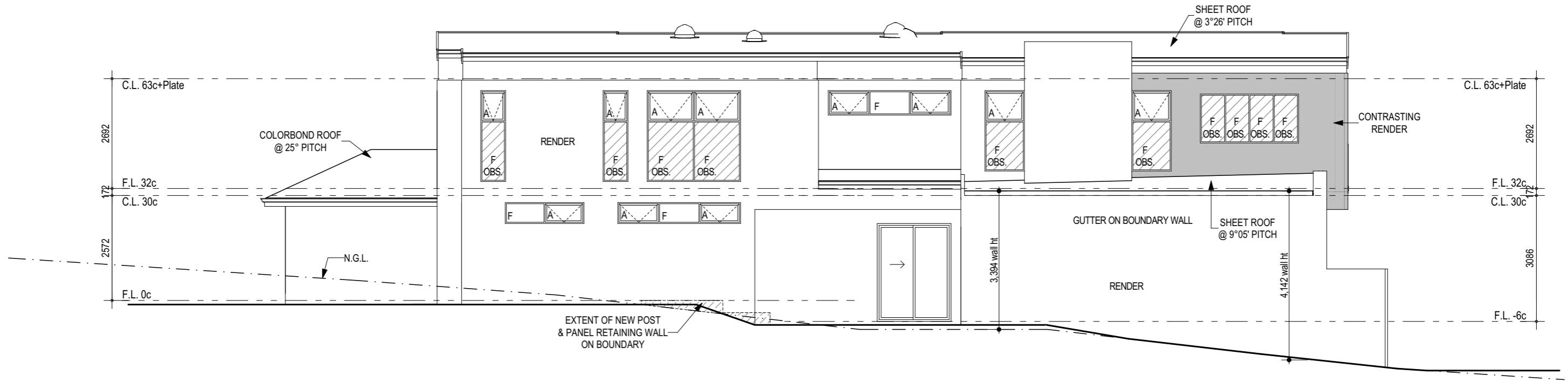
NOTE: ALL BEDROOM WINDOWS
 TO BE PROTECTED IN ACCORDANCE
 WITH NCC BCA 3.9.2.6 & ALL OTHER
 WINDOWS WITH NCC BCA 3.9.2.7

ROOF TIMBERS TO AS 1684.2
 & ENGINEER'S DETAILS

NOTE: DWELLING EXPOSED TO
 BUSH FIRE ATTACK LEVEL OF BAL-19.
 CONSTRUCTION TO COMPLY WITH
 A.S.3959-2018. REFER TO ADDENDA
 FOR CONSTRUCTION REQUIREMENTS.



ELEVATION A



ELEVATION B



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INDIVIDUAL 2 STOREY

DRAWN AES	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 03 OF 15
DATE 07-06-2022			JOB No 5296

ELEVATIONS 1 OF 2
 1:100

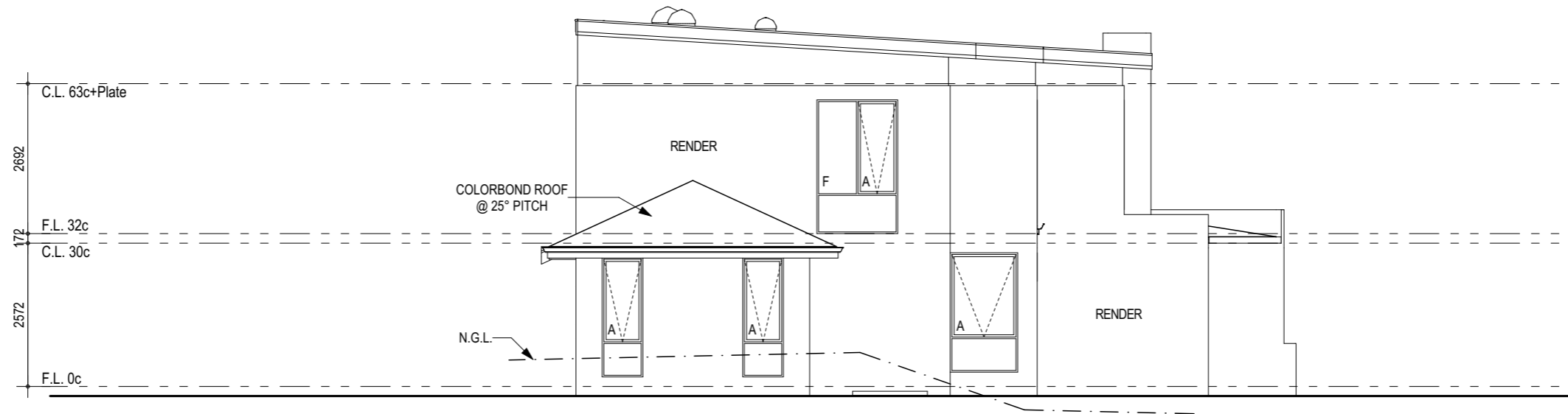
WIND CLASSIFICATION N3
 TERRAIN CATEGORY TC1
 SHIELDING NS
 TOPOGRAPHY T1

ALTERATIONS TO PLANS MAY CAUSE
 DELAYS & ADDITIONAL COSTS

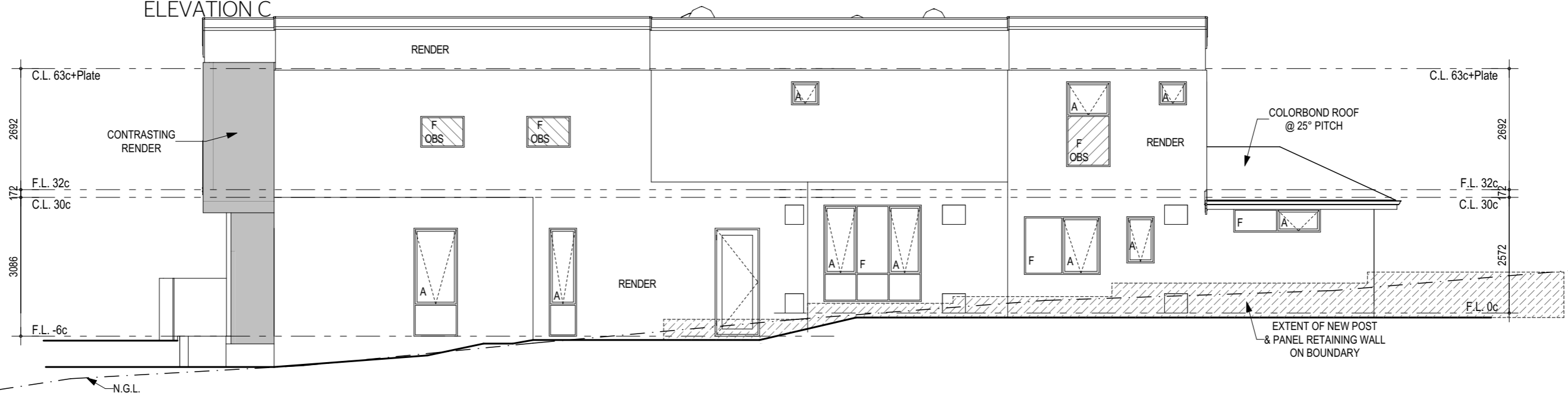
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 WITH NCC BCA 3.9.2.6 & ALL OTHER
 WINDOWS WITH NCC BCA 3.9.2.7

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ROOF TIMBERS TO AS 1684.2
 & ENGINEER'S DETAILS



ELEVATION C



ELEVATION D

ELEVATIONS 2 OF 2
 1:100

SH STANNARD
 HOMES

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 Western Australia 6017

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INDIVIDUAL 2 STOREY

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DRAWN AES	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 04 OF 15
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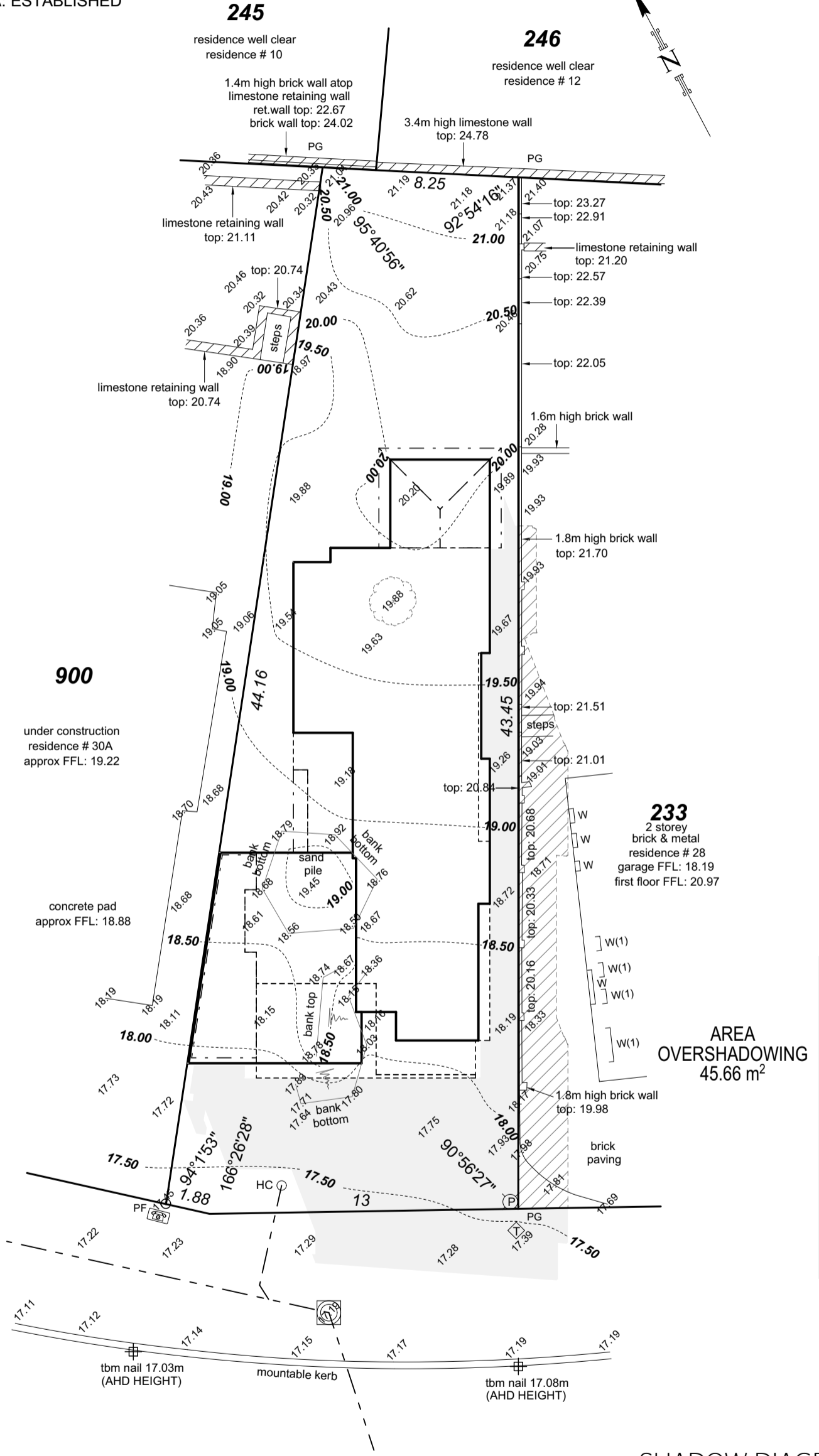
REVISION: A

SHEET: 1 OF 1

CLIENT:	PLAN: DP 406781	LOT AREA: 506m ²	SURVEY DATE: 20/04/22
BUILDER: STANNARD HOMES	C/T Vol: 2892 Fol: 318		MAP REFERENCE:
BUILDER JOB # 5296	HEIGHT DATUM: AHD		COASTAL ZONE: 0.16KM
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO		SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND	
POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING
SERVICE DETAILS	
WATER: A, TBC OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: A, TBC SEWER: L	
SERVICE NOTES	
L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED	
SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	10.82
UP DISTANCE:	5.4
DEPTH TO CONNECTION:	1.17

NOTES
(1) ALL FEATURES IN GOOD CONDITION
(2) DEVELOPMENT AREA: ESTABLISHED



IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / hdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
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AREA OVERSHADOWING
45.66 m²

SHADOW DIAGRAM
1:200

SHI STANNARD HOMES

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INDIVIDUAL 2 STOREY			
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DATE 07-06-2022			JOB No 5296

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BUILDER: STANNARD HOMES	C/T Vol: 2892 Fol: 318		MAP REFERENCE:
BUILDER JOB # 5296	HEIGHT DATUM: AHD		COASTAL ZONE: 0.16KM
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO		SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES
 (1) ALL FEATURES IN GOOD CONDITION
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POWER

CABLE DOME	⊗	POWER POLE	○ PP
CABLE BOX	CB	CONSUMER POLE	⊕ CP
POWER MARKER	⊕	EXPOSED CABLES	⊗ EC
LIGHT POLE	* LP	STAYWIRE ANCHOR	⊙ SWA

WATER

WATER METER / TAP	M	FIRE HYDRANT	⊕ (H)
TAP	⊕	STOP VALVE	⊗ SV
FLUSHING POINT	⊕ FP	RETIC VALVE	⊕ RV
BORE	⊕	WATER MARKER	⊕ W

SEWERAGE

SEWER M/H (SQUARE LID)	⊕	SEWER M/H (ROUND LID)	⊕
INSPECTION SHAFT	○ IS	INSPECTION OPENING	○ IO
HOUSE CONNECTION	○ HC		

TELSTRA

TELSTRA PIT	⊕	TELSTRA MANHOLE	⊕
TELSTRA MARKER	⊕		

DRAINAGE

DRAIN M/H (SQUARE LID)	⊕	DRAIN M/H (ROUND LID)	⊕ (D)
SIDE ENTRY PIT	⊕	DRAINAGE GRATE	⊕
COMBINED ENTRY PIT	⊕		

GAS

GAS METER	⊕ GM	GAS VALVE	⊕ GV
GAS MARKER	⊕		

SURVEY MARKS

PEG FOUND	PF ○	PEG GONE	PG
DRILL HOLE	DH ○	BENCH MARK	⊕
PEN MARK	PM ○	NAIL & PLATE	NPL ⊕
		NAIL	NAIL △

MISCELLANEOUS INFO.

STREET SIGN	⊕	SPOT HEIGHT	10.16
UNKNOWN SERVICE MARKER	⊕	BOLLARD	○ B
OVERHEAD POWER LINE	---	SEWER LINE	---
FENCE LINE	---	WINDOW / OPENING	W

SERVICE DETAILS

WATER: A, TBC
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: A, TBC
 SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
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SEWER JUNCTION DETAILS

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LANDSCAPING PLAN	5.4
DEPTH TO CONNECTION:	1.17

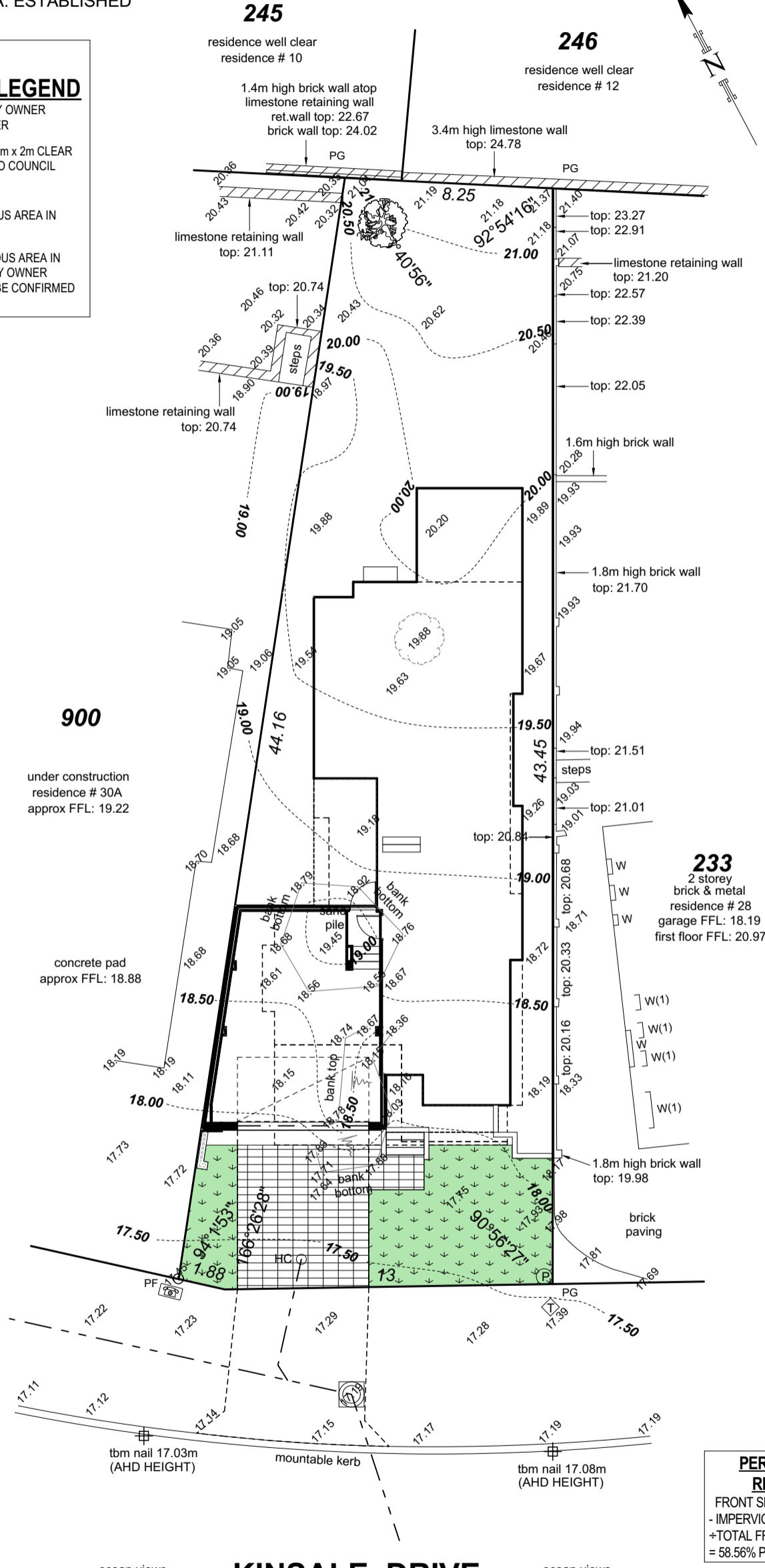
LANDSCAPING LEGEND

NOTE: LANDSCAPING BY OWNER AFTER HANDOVER

NEW TREE WITH 2m x 2m CLEAR PLANTING ZONE TO COUNCIL REQUIREMENTS

DENOTES PERVIOUS AREA IN FRONT SET BACK

DENOTES IMPERVIOUS AREA IN FRONT SET BACK BY OWNER (FINAL LAYOUT TO BE CONFIRMED BY OWNER)



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PERVIOUS SURFACE REQUIRED = 50%

FRONT SETBACK AREA = 79.06m²
 - IMPERVIOUS AREA 32.76m² = 46.30m²
 + TOTAL FRONT SETBACK AREA % = 58.56% PERVIOUS AREA PROVIDED

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