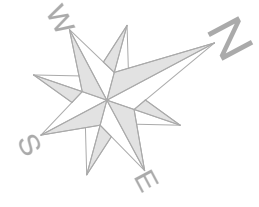
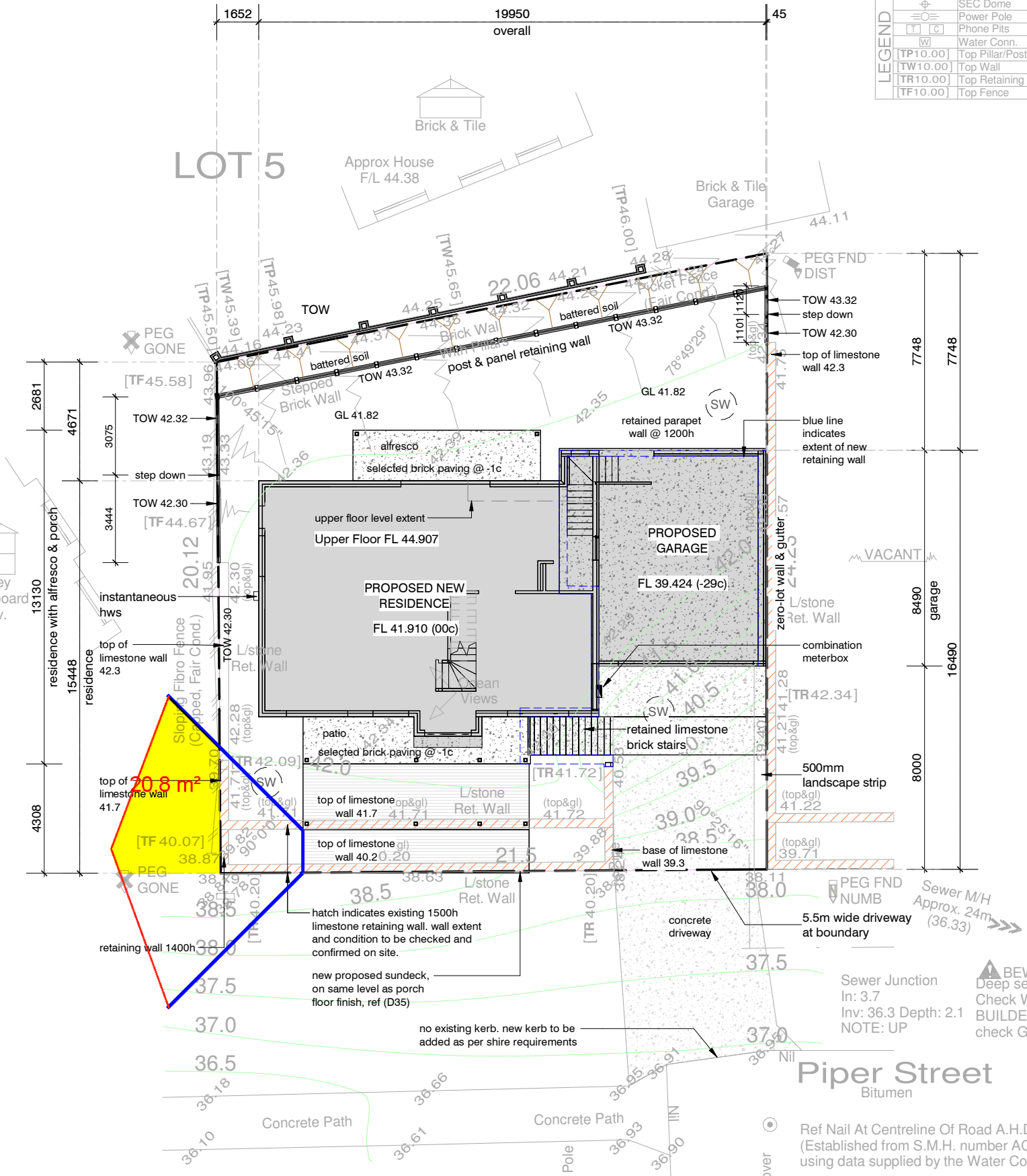


AREAS	
UF Living	111.5 m ²
Balcony	22.4 m ²
Garage	65.9 m ²
GF Living	128.2 m ²
Alfresco	14.7 m ²
Porch	14.4 m ²
Sundeck	38.3 m ²
TOTAL	395.4 m ²



LEGEND	
⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP10.00]	Top Pillar/Post
[TW10.00]	Top Wall
[TR10.00]	Top Retaining
[TF10.00]	Top Fence



BUILDER'S NOTES

- Builder to check all dimensions prior to commencing construction. Do not scale drawings.
- All site dimensions dependant on original and future surveys.
- These drawings are to be read in conjunction with all structural engineering drawings.
- All external steelwork including lintels and post stirrups to be hot dipped galvanized.
- All external fixings to be galvanized.
- All steel strutting beam sizes are nominal only and are to be checked by builder before construction.
- Select brickwork with selected external render where specified externally.
- Timber studwork construction with select cladding externally.
- All timber sizes not indicated shall comply with the light timber framing code AS 1684.
- All roof framing to Australian Standards, including tie down bolts and triple grips.
- All strutting beam sizes and locations are nominal only and to be confirmed by builder prior to commencing.
- Termite treatment to local authority requirements and NCC Part 3.1.3, Part 2.1.1 and Part 1.0.7.
- Builder to liaise with plumbing contractor on site regarding all plumbing fixtures and fittings.
- All non-standard windows where indicated on drawings to comply with Australian Standards.
- All scaffolding to comply with the occupational health, safety and welfare act.
- Electric hot water system to manufacturer's requirements.
- Electric cooktop to manufacturer's requirements.
- Electric oven to manufacturers' requirements.

STORMWATER

• Stormwater to run into soakwells as per builder's standard specification. All soakwells to be interconnected. Sizes to comply with relevant shire requirements.

(SW) 12000 x 1500 deep soakwell

• Proposed Roofcover 234.99m²

234.99 x 0.0125 = 2.93m³ (required volume to be retained and discharged on site)

1 soakwell @ Ø1200 x 1500d (holding capacity of 1.51m³)

2 soakwells @ Ø1200 x 1500d (holding capacity of 1.51m³ each)

Total holding capacity for new works - 3.02m³

ENGINEERING NOTE

All details must be read in conjunction with engineer's details. Any differences to be consulted and discussed with supervisor

FIRE FLASHING NOTE

Zero-lot wall gutter to have fire flashing & physical termite protection

COASTAL ZONE

Property falls under the coastal zoning. All materials, construction & services to adhere to coastal zone regulations and standards

SITE ACCESS NOTE

Site accessible through driveway area. existing slope very sandy and steep. crane required for all top deliveries.

WATER METER NOTE

No water meter & tap installed

EXCAVATION NOTE

All sand & soil from garage excavation to be re-used for house sand pad and other area fill-ups

Site Plan

1 : 200

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

Piper Street
Bitumen

Ref Nail At Centreline Of Road A.H.D. level 36.95m
(Established from S.M.H. number AC5825
using data supplied by the Water Corporation.)

Rev	Date	Description	By
3	15 Mar. '22	Comb meterbox relocate	evr
2	16 Apr. '21	Variations	evr
1	16 Mar. '21	Garage FL Amended	evr

4 Browning Road
Armadale WA 6112
Phone: (08) 9399 6715
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www.iqconstruction.com.au
INTELLIGENT DESIGN,
QUALITY BUILD

PROJECT: **PROPOSED RESIDENCE** STAGE: **WORKING**

ADDRESS: **LOT 5 (#25) PIPER STREET, QUINNS ROCKS**

job #0995

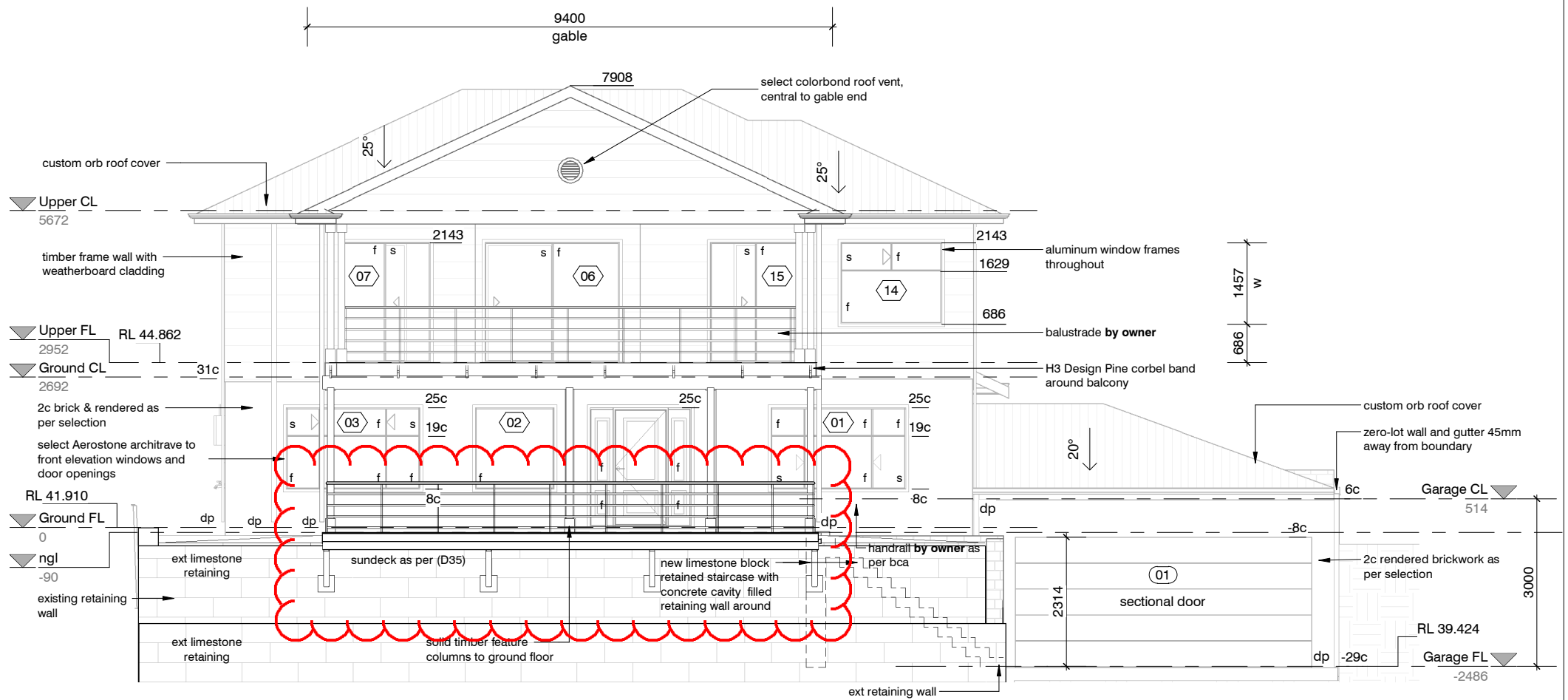
DRAWING: **SITE PLAN** SCALE: **As indicated**

DATE: **24 Jun. '22**

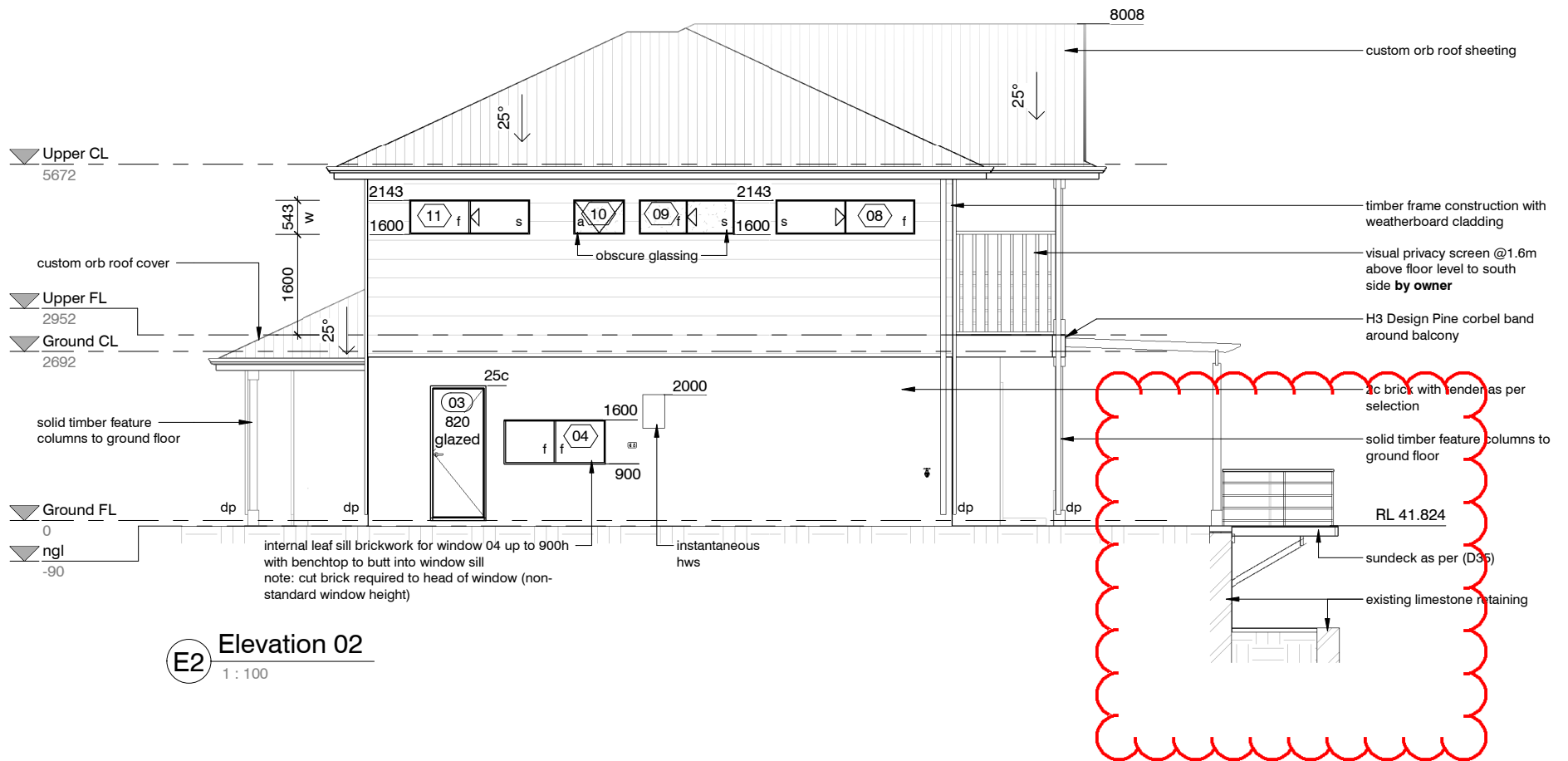
DRAWN: **evr** SHEET NO. **rev 3**

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E1 Elevation 01
1 : 100



E2 Elevation 02
1 : 100

COASTAL ZONE NOTE

Property falls under the coastal zoning. All materials, construction & services to adhere to coastal zone regulations and standards

6	15 Mar. '22	Comb meterbox relocate	evr
5	4 Oct. '21	Render extent	dm
4	25 Jun. '21	Add. W / PDR	dm
3	16 Apr. '21	Variations	evr
2	16 Mar. '21	Garage FL Amended	evr
1	08 Mar. '21	Window 08 & 11 size amend	evr
Rev	Date	Description	By



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PROJECT	PROPOSED RESIDENCE	STAGE	WORKING
ADDRESS	LOT 5 (#25) PIPER STREET, QUINNS ROCKS		
job #0995			

DRAWING	ELEVATIONS
SCALE	1 : 100
DATE	24 Jun. '22
DRAWN	evr
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SHEET NO.	rev 6
A05	of 24