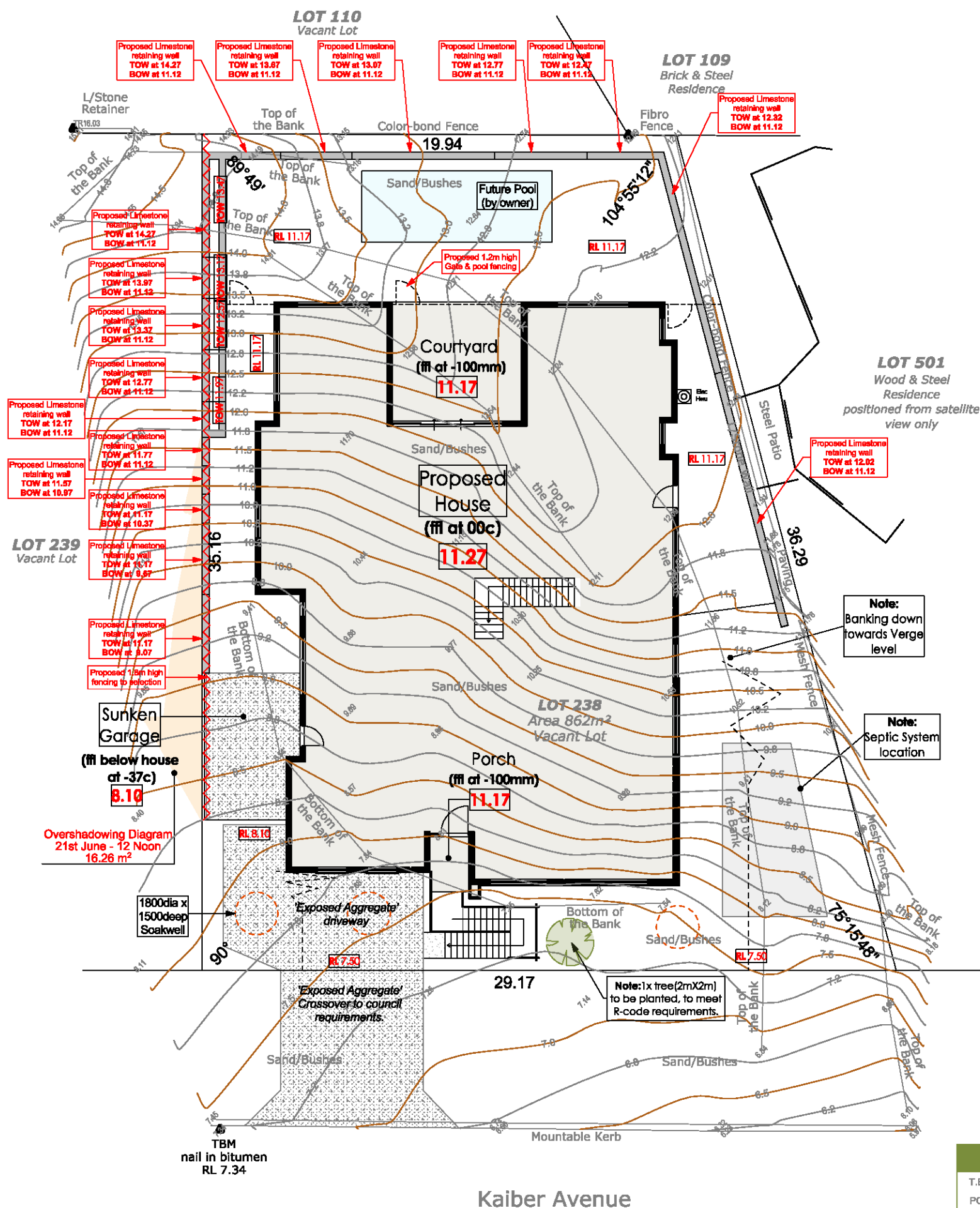


IMPORTANT NOTICE

Features are related to fence lines only. No connection made to boundaries.

IMPORTANT NOTICE

Final lot angles are subject to boundary re-establishment survey and lot closure calculations. Boundary Survey should be conducted by licensed surveyor prior to any construction.



Site Plan

1:200

Kaiber Avenue

T.B.M. 	SEWER MANHOLE 	SEWER CON. 
POWER DOME 	SEWER INSPECT 	COLUMN / PILLAR 
TELSTRA 	FLOOR LEVEL FL 	LARGE TREE 
WATER METER 	DRAIN 	SMALL TREE 
POWER POLE 	SOAKWELL 	TREE STUMP 
STREET LAMP 	HYDRANT FH 	WATER LINE 
BOUNDARY 	BUILDING 	SEWER LINE 
TW / TR / TF TOP OF WALL / RETAINER / FENCE 		
POINT OF INTEREST 		0.00 

ELECTRICITY: Over Head	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: NO	2D Line work survey : YES
ROAD: BITUMEN	3D Line work survey : NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: No	
VEGETATION: -	
SOIL: Sand / Bushes	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA	OLD SURVEY AREA

SITE PLAN SCALE 1:200 at A3

SURVEY ADDRESS :

LOT 238 (#60) Kaiber Avenue, Yanchep

Mh design.

Michael H +61(0) 408 481 838
mhdesign1@hotmail.com

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CLIENT:

ADDRESS:
Lot 238 (#60) KAIBER AVE,
YANCHEP

EDITION:

Site Analysis
Concept 1
Design Dev.
TP Plans
TP Plans Rev2

ISSUED FOR REVIEW

JOB NUMBER:
058-22

DRAWINGS

SHEET 5 of 5

19.94m

Rendered Brick to Front,
2c Face brickwork to remainder
as per Elevations/ Plans

Sunken Garage - 34c Ceilings Thru'out
Ground Flr - 31c Ceilings Thru'out
unless otherwise noted

Site Stats - Calculations

Zoning R20

LOT 2: 862 m²

Ground Floor: 376.85 m² (p=101.00 m)
Sunken Garage: 172.50 m² (p=67.20 m)
Courtyard: 27.05 m²
Portico: 3.75 m²
Total: 580.15 m²

Site Coverage:
50% site cover (862 m²): 431 m²
Actual Site Cover: **402.54 m² (46.70%)**

Design Subject to approval by local authority.

Full computer generated feature survey required to
ensure accuracy of design.

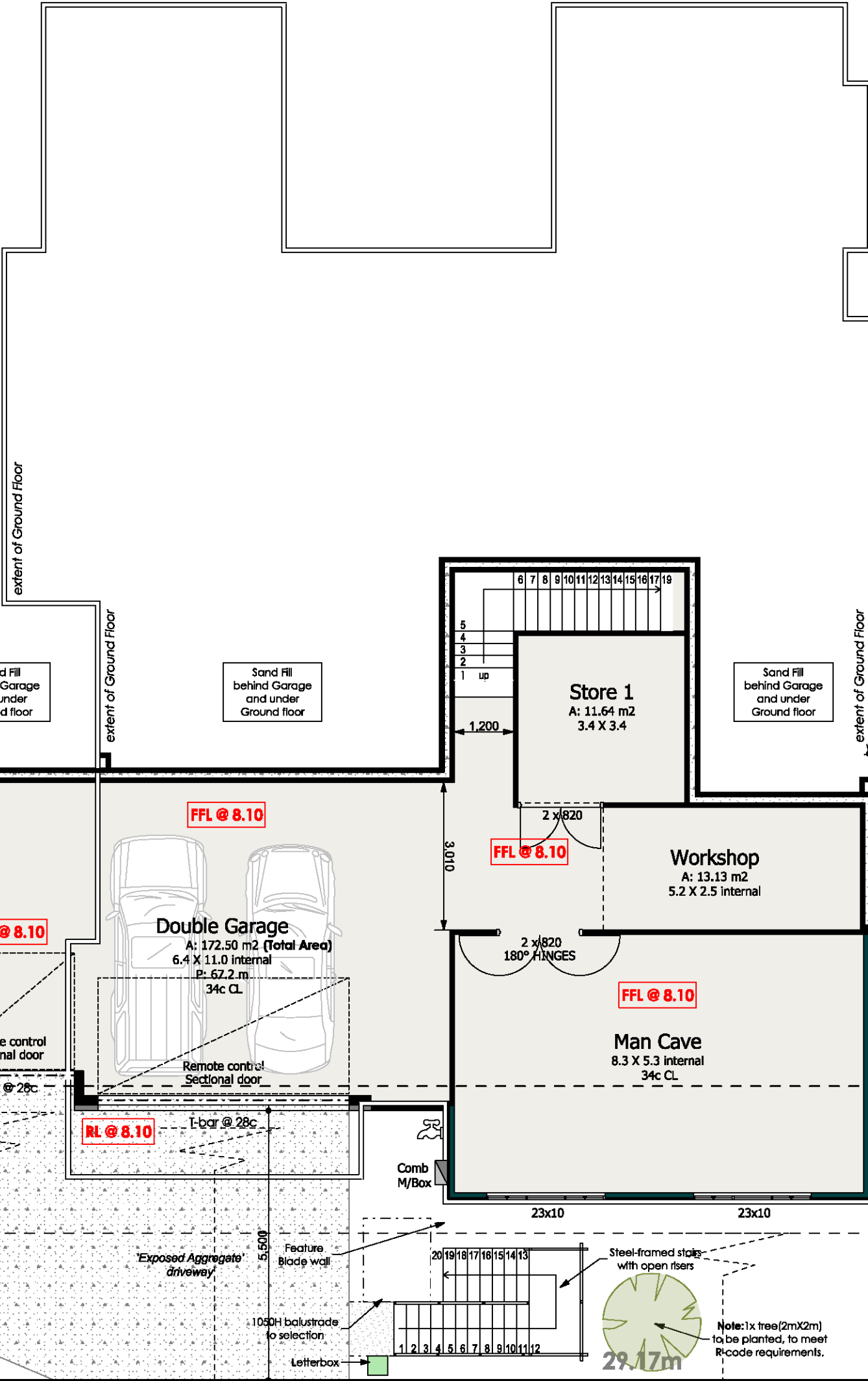
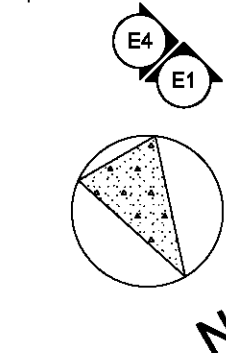
Floor plan subject to engineers details and structural
requirements.

35.16m

36.29m

6.370

6.120



Sunken Garage

1:100

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EDITION:

Site Analysis	14/05/22	MH
Concept 1	12/06/22	MH
Design Dev.	01/07/22	MH
TP Plans	18/07/22	MH
TP Plans_Rev2	22/08/22	MH

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DRAWINGS
SHEET 2 OF 5

Elevations



Front Elevation

1:100



Front Perspective



Rear Perspective

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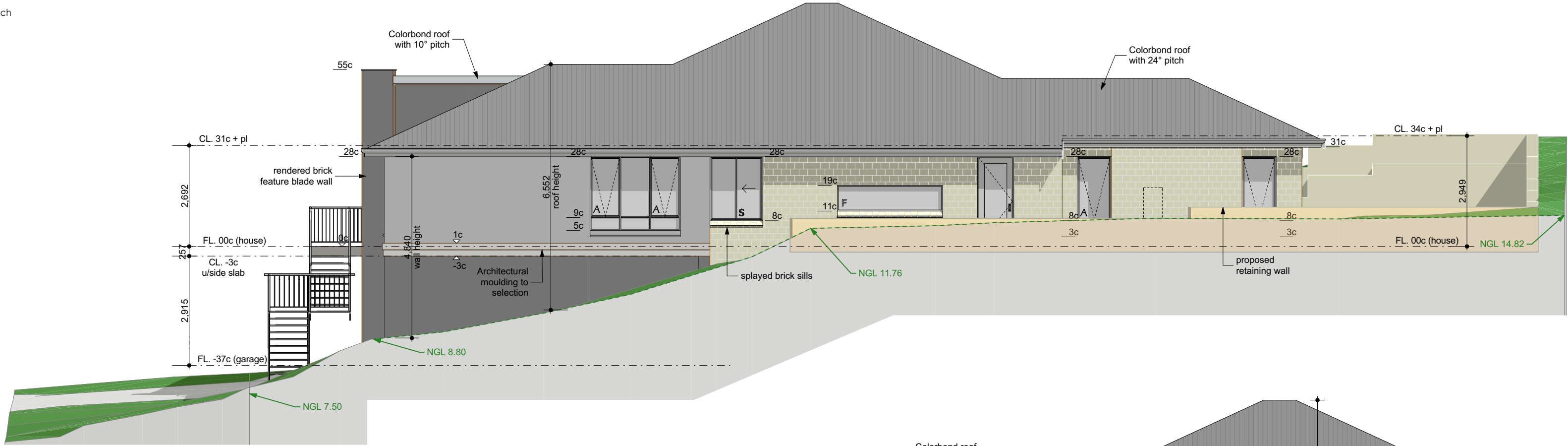
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ADDRESS:
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EDITION:
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Concept 1 12/06/22 MH
Design Dev. 01/07/22 MH
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DRAWINGS
SHEET 3 of 5

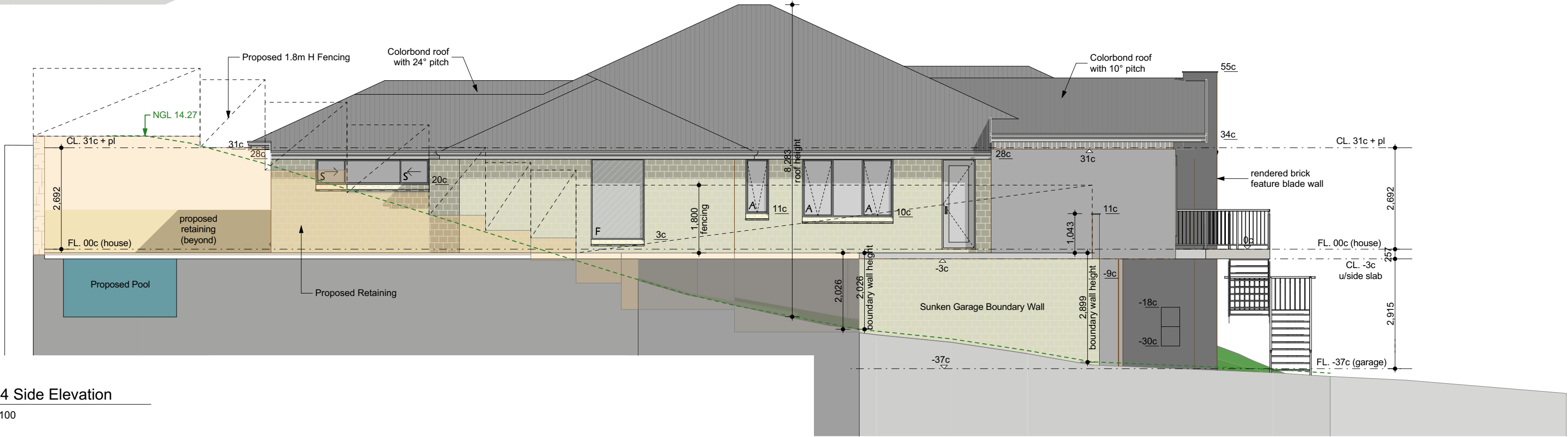
Elevations

Roofing Note
24°43' Roof pitch
Metal Roof



E2 Side Elevation

1:100

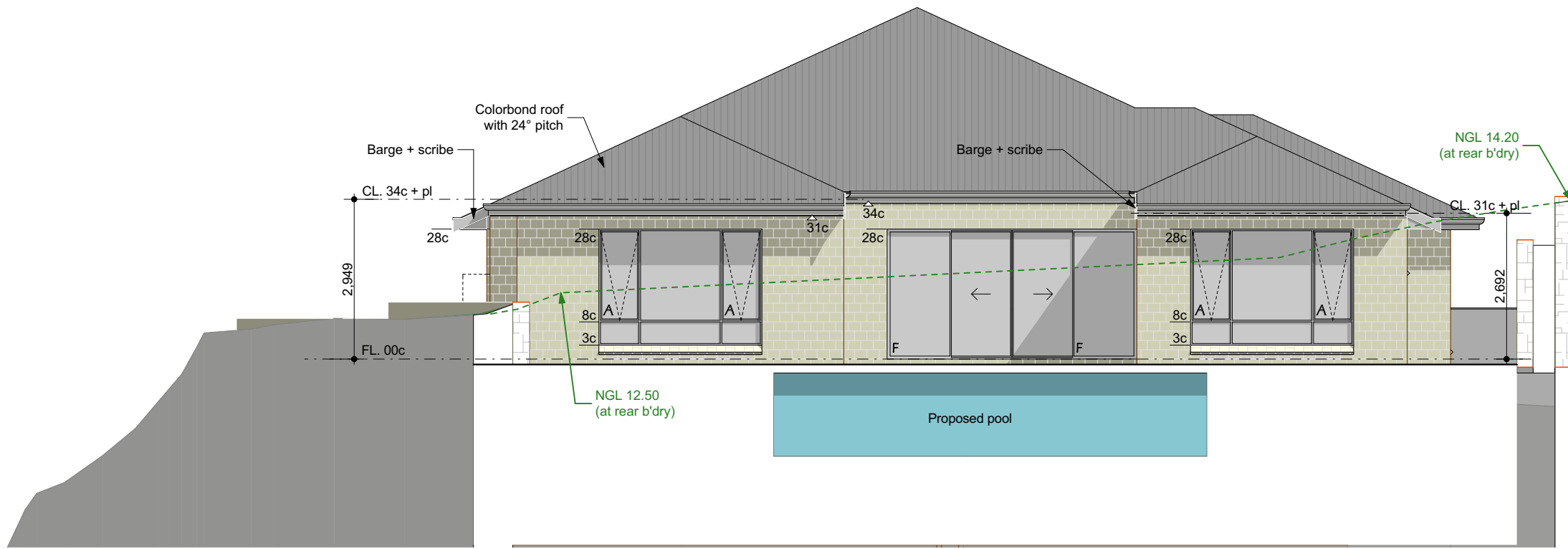


E4 Side Elevation

1:100



Perspective



E3 Rear Elevation

1:100

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Design Dev. 01/07/22 MH
TP Plans 18/07/22 MH
TP Plans_Rev2 22/08/22 MH

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DRAWINGS
SHEET 4 of 5