

HOUSE FTGS @ -2c
CARPORT FTGS @ -2c
POST FTGS @ -3c
UNLESS NOTED OTHERWISE

SITE PLOT RATIO
SITE: 337m²
BUILT AREA: 179.99m²
SITE COVERAGE: 53.41%

STORMWATER DISPOSAL
TO MINIMUM COUNCIL
REQUIREMENTS

CROSSOVER NOTE:
- CROSSOVER TO BE
COMPLETED BY OWNER,
AFTER HANDOVER, PRIOR TO
OCCUPANCY, IN MATERIAL
MATCHING DRIVEWAY & TO
COUNCIL REQUIREMENTS

EARTHWORKER &
CONCRETOR NOTE:
- SLAB LEVEL DIRECTLY
RELATES TO THE EXISTING
RETAINING WALL LEVEL

PLS TO RHS OF STUTTGART
AVE. AS PER DBYD (22/10/18)

Grano	Area
GARAGE	31.88
	31.88 m²
B'Paved	Area
ALFRESCO	12.04
DRIVEWAY	22.46
PATH	1.40
PORCH	1.09
	36.99 m²

DESCRIPTION	DRAWN	DATE
VO#81051	LO	25/10/18
ENGINEERS	LO	08/11/18
VO#82254	LO	05/12/18
VO#82770	RT	20/12/18

TITLE : FEATURE SURVEY
CLIENT : OAKLEY & ADAMS

Affordable Living HOMES

DRAWN BY: LO
SHEET NO: 6 of 7
DATE: 25/10/18

CLIENT 1: [Signature]
CLIENT 2: [Signature]
DATE: 14.1.19

NOTE: THIS DESIGN MAY ALTER DUE TO BCA ENERGY EFFICIENCY REQUIREMENTS (E&OE)

PROJECT NO : A18192
SCALE @ A3 : 1:200

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

SERVICE LEGEND

POWER
CONSUMER POLE ○ CP
POWER POLE ○ PP
LIGHT POLE ○ LP
STAY POLE ○ SP
S. WIRE ANCHOR ○ SWA
UNI PILLAR ⊗
EXPOSED CABLES ○ EC

SEWERAGE
MANHOLE ○ SMH
INSPECT. SHAFT ○ IS
INSPECT. OPENING ○ IO
HOUSE CONNECTION ○ HC
HOUSE CONN. INDICATOR ○ HCI
INSPECT. SHAFT CONNECTION ○ ISC

SURVEY
DATUM NAIL ⊕
PEG FOUND ○ PF
PEG DISTURBED ○ PD
PEG GONE PG
STAKE FOUND ○ STF

DRAINAGE
MANHOLE ○ DMH
GULLY PIT [Symbol]
LOT PIT ○ LDP
HOUSE CONN. ○ DHC
SIDE ENTRY PIT [Symbol]
COMBINATION ENTRY PIT [Symbol]
PIT [Symbol]
PRE-LAID CONN. ○ TPL

WATER
STOP VALVE ○ WSV
HYDRANT ○ HY
FLUSH POINT ○ FP
WATER TAP ⊕ WTP
WATER METER ⊕ M
PRE-LAID CONN. ○ WPL
GAS
PRE-LAID CONN. ○ GPL
LINE MARKER ⊗ G

LOT RECORDS		STATUS				
AREA:	NEW 06/2017	LOT SERVICE	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
COASTAL DISTANCE	1.5-10km					
LOT:	860	WATER	✓			
AREA:	337 m²	SEWERAGE	✓			
APPROX. AHD	+ 77.27m	GAS	✓			
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.		TELE.	✓			
		DRAINAGE				✓
		POWER W/G	✓			
			Q/H			✓

SEWER CONNECTION POSITION APPROXIMATE ONLY
SEWER INVERT LEVEL 7.84
SEWER BROUGHT UP .00
DEPTH TO CONNECTION 2.80

GROUND COVER
SANDY / WEED / RUBBISH

LOT : 860 No. 23 STUTTGART AV
SUBURB : HOCKING DP : 410457
AUTHORITY : WANNEROO, CITY OF C/T : 2932/294
UBD REF : 167 L 12 GPS : S 31.77252° E 115.82429°

LINKS SURVEYING
P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

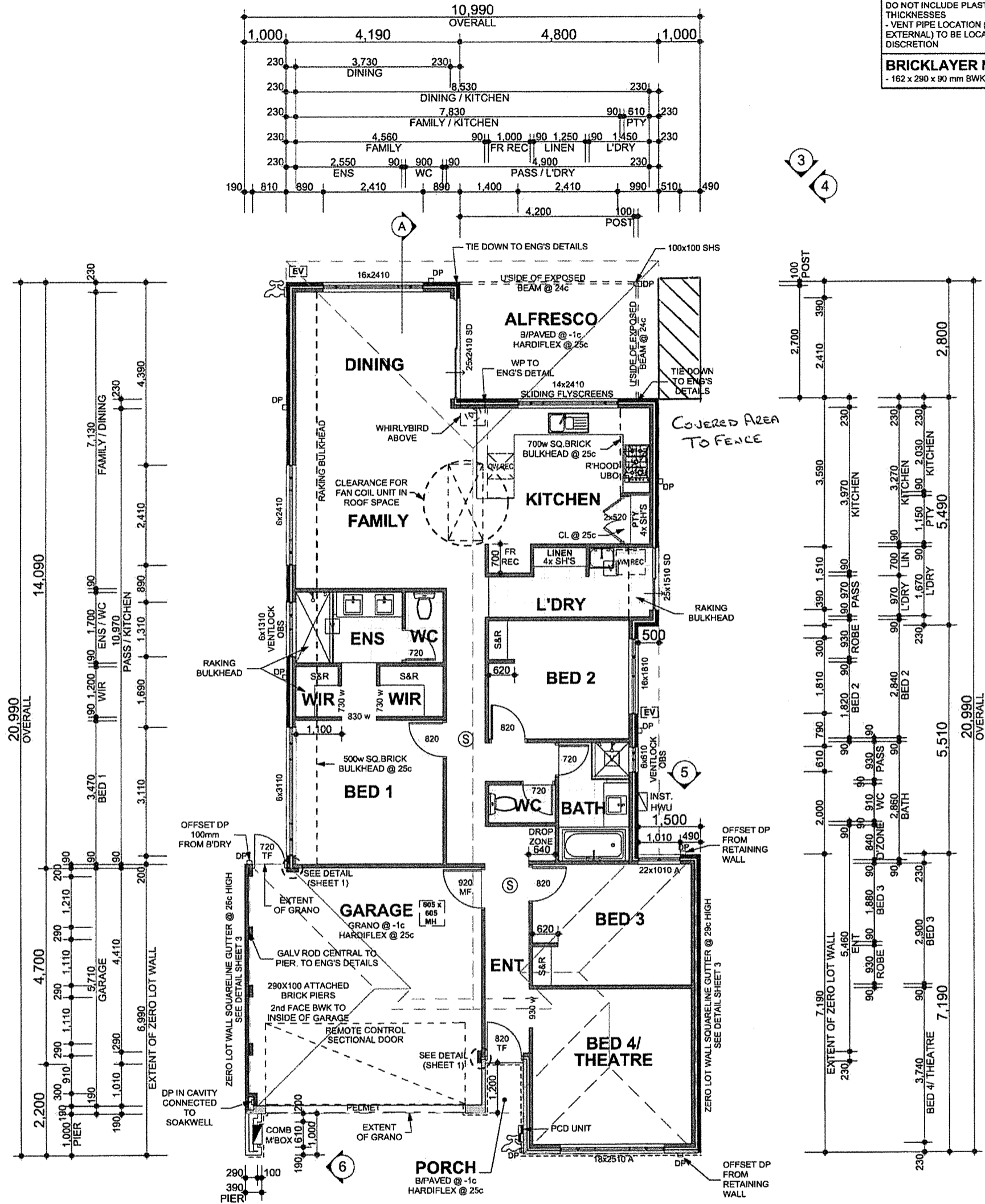
SURVEYED 08/10/18 SCALE @ A3 1:200 DWG No 36219-01-100 REV A

VENT KEY:
 [FV] FLUMED CEILING VENT
 [V] CEILING VENT
 [EV] EAVES VENT

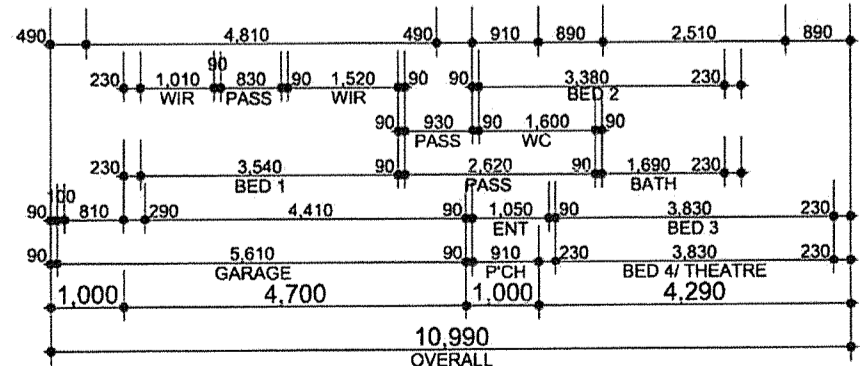
PROVINCE RANGE

GENERAL NOTES:
 - ALL FIXTURES ARE FOR PURPOSE OF REPRESENTATION ONLY. SIZE MAY VARY DUE TO MANUFACTURERS SPECIFICATIONS.
 - CEILING JOISTS TO BE OFF CENTRE TO PASSAGE WAYS
 - SHELF & RAIL @ 1750AFL UNLESS OTHERWISE NOTED
 - DIMENSIONS ARE TO BRICKWORK ONLY AND DO NOT INCLUDE PLASTER/RENDER THICKNESSES
 - VENT PIPE LOCATION (INTERNAL OR EXTERNAL) TO BE LOCATED AT PLUMBER'S DISCRETION

BRICKLAYER NOTE:
 - 162 x 290 x 90 mm BWK BRICKS LAID 1/3 BOND.

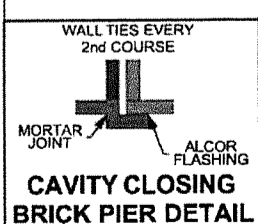


FLOOR PLAN
1:100



--- EXTENT OF PAINTED SAND FINISHED RENDER

BUILDING AREA	
HOUSE	145.07
GARAGE	33.83
ALFRESCO	12.04
PORCH	1.09
TOTAL	192.03 m²
PERIMETER	
HOUSE	62.96



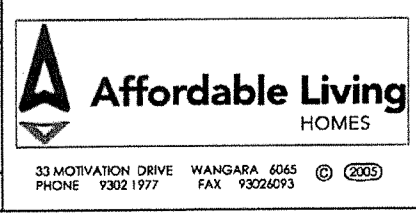
HOUSE TYPE: **MILAN**
 CLIENTS NAME: **OAKLEY & ADAMS**
 SITE ADDRESS: **LOT 860 (#23) STUTTGART AVENUE, HOCKING**
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DESCRIPTION	DRAWN	DATE
VO#81051	LO	25/10/18
ENGINEERS	LO	08/11/18
VO#82254	LO	05/12/18
VO#82770	RT	20/12/18

SIGNATURES
 Jan 7, 2019
 Jan 14, 2019
 DATE: 14-1-19
 NO STRUCTURAL CHANGES (PRINTED DATE: 7/01/2019)

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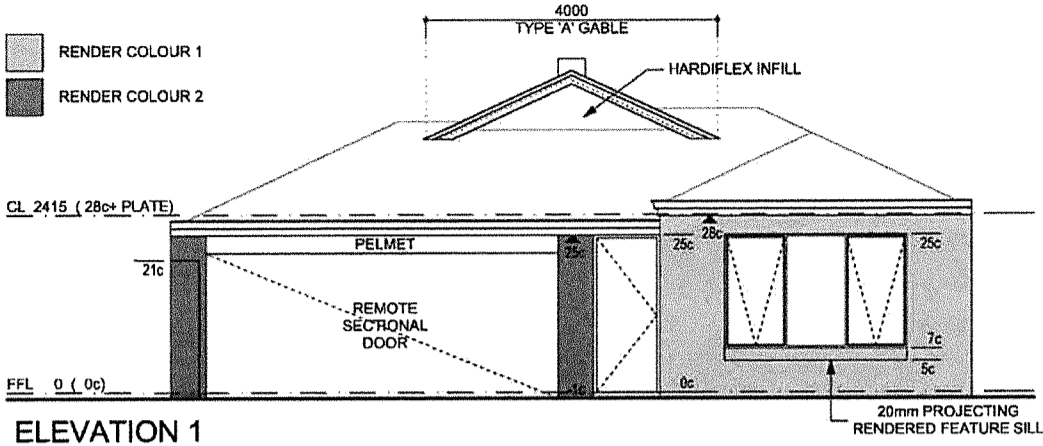
PROJECT NO: **A18192**
 DATE: 25/10/18
 SHEET NO: 1 of 7
 DRAWN BY: LO
 DWG PRINTED: 7/01/2019 9:58 AM



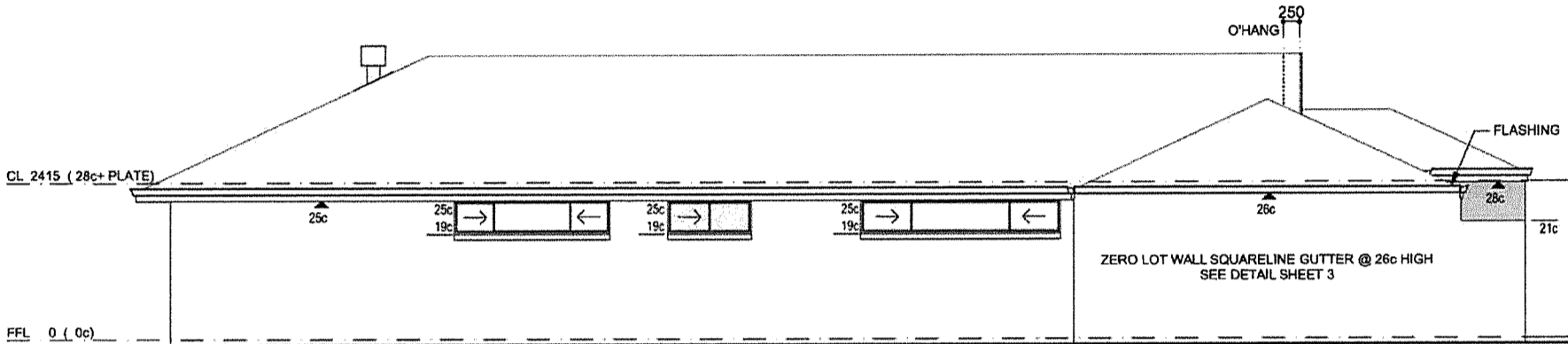
PROVINCE RANGE

**COLORBOND ROOF
25° PITCH**
NON COASTAL ZONE
N1 WIND CLASSIFICATION AS PER
ENGINEERS SITE CLASSIFICATION REPORT

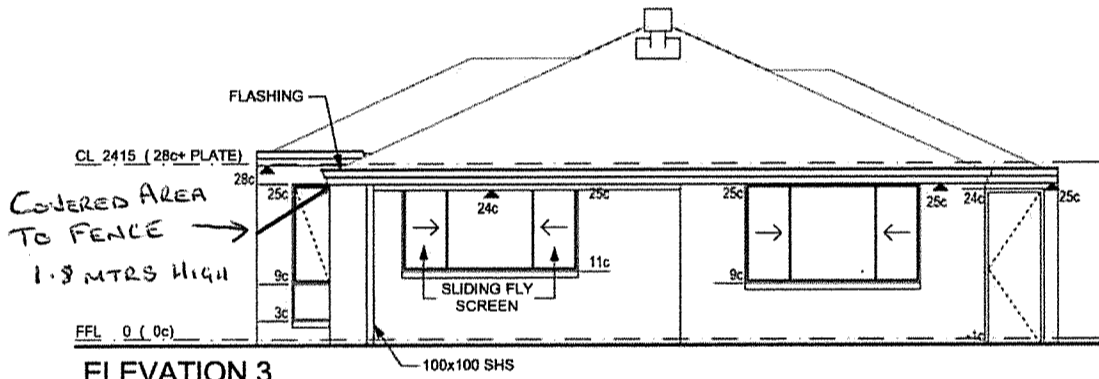
RENDER COLOUR 1
RENDER COLOUR 2



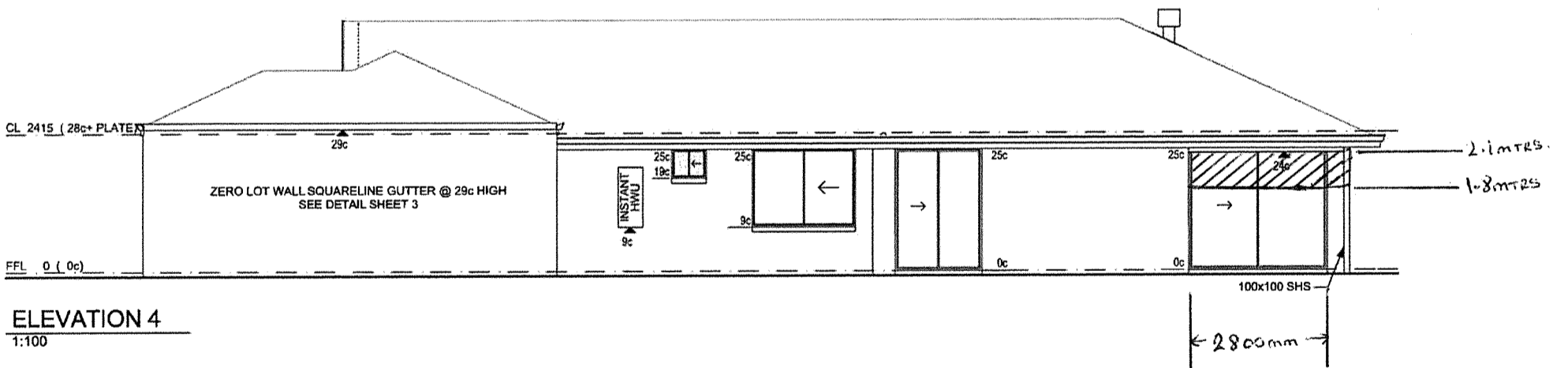
ELEVATION 1
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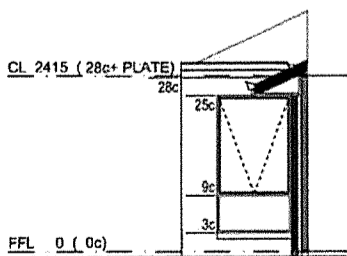
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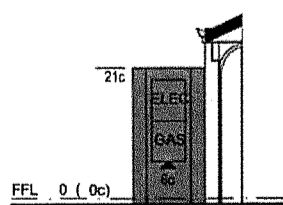
ELEVATION 3
1:100



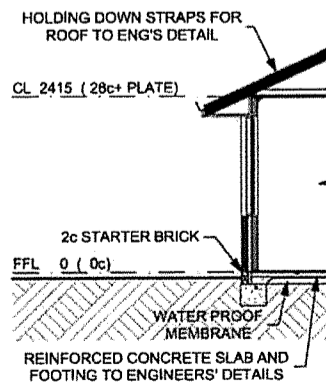
ELEVATION 4
1:100



ELEVATION 5
1:100



ELEVATION 6
1:100



SECTION A
1:100

HOUSE TYPE:
MILAN
CLIENTS NAME:
OAKLEY & ADAMS
SITE ADDRESS:
**LOT 860 (#23) STUTTGART AVENUE,
HOCKING**
Q:\Drafting Department\Working Drawings\A18000\A18192\A18192.pln

DESCRIPTION	DRAWN	DATE
VOR81051	LO	25/10/18
VOR82254	LO	08/11/18
VOR82770	RT	05/12/18

SIGNATURES	DATE
<i>[Signature]</i>	Jan 7, 2019
<i>[Signature]</i>	Jan 14, 2019
<i>[Signature]</i>	14/1/19

NO STRUCTURAL CHANGES (PRINTED DATE: 7/01/2019)

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PROJECT NO: A18192
DATE: 25/10/18
SHEET NO: 2 of 7
DRAWN BY: LO
DWG PRINTED 7/01/2019 9:58 AM

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