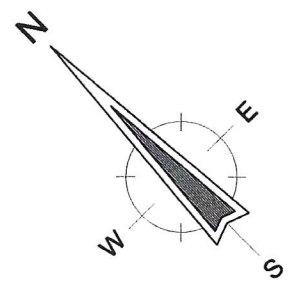
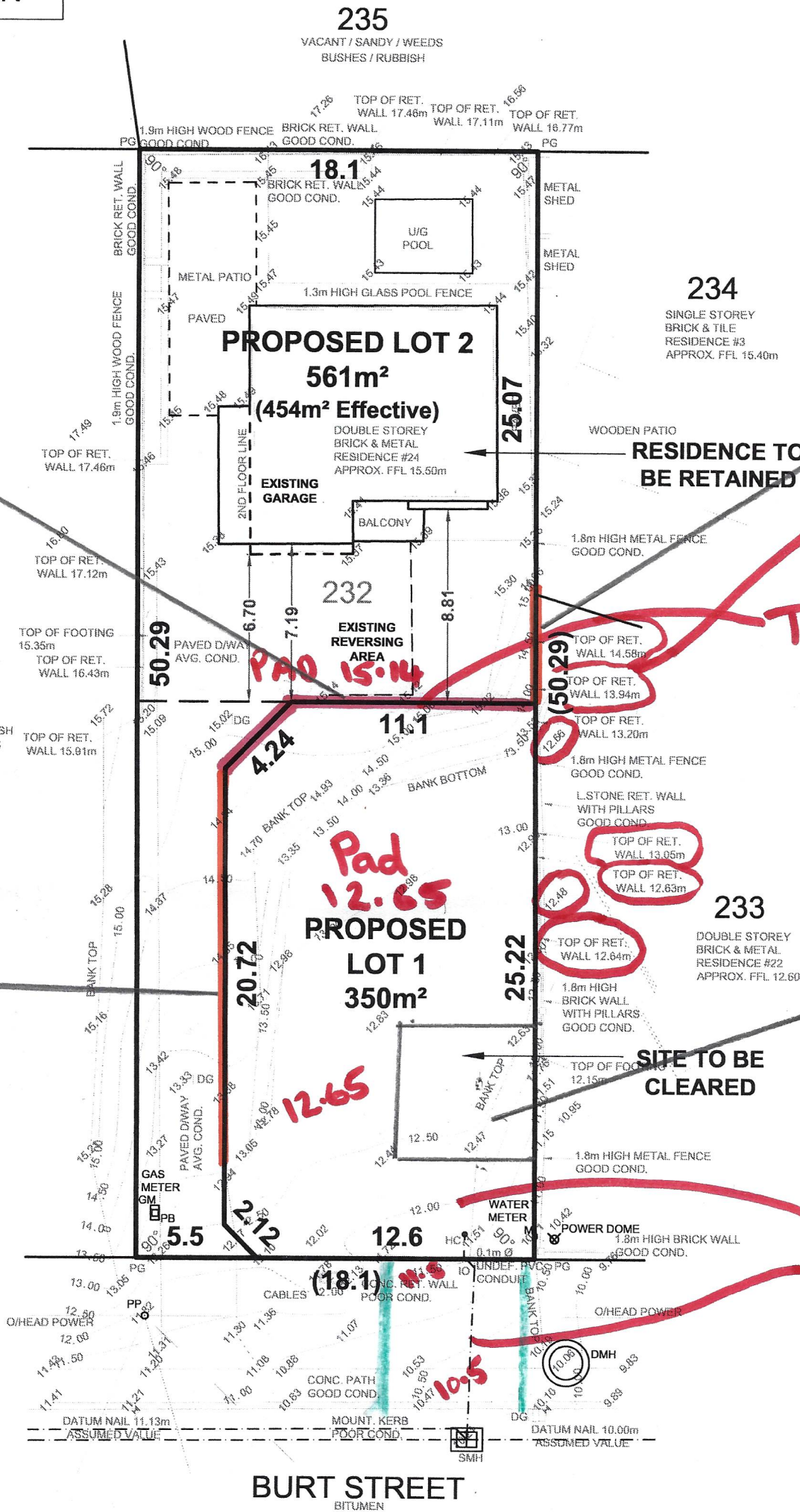


SUBJECT TO
WAPC CONDITIONS.
SEE FINAL STRATA-PLAN
OR DEPOSITED PLAN

NOTE: FEATURE SURVEY SUPPLIED TO VISION SURVEYS CONSULTING BY CLIENT. VISION SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY OR COPYRIGHT INFRINGEMENTS.



Elevation 1
Top of wall 15.24
Ground level 12.65

Elevation 3
Retain existing wall 51ft long
length from 13.94 to 15.25

Top of wall 15.24
Wall = 2.49M

Elevation 2

Possible garage location may need to be 11.94 FFL

1.6 Gradient
1.4 Gradient

I,
the client/s of Vision Surveys Consulting recognise this plan as the proposal to be submitted to the department of planning and infrastructure for a Two Lot Survey Strata / Built Strata / Green Title subdivision and agree to the terms and conditions of this plan's use.

TOTAL AREA : 911m²

LOCAL AUTHORITY: CITY OF WANNEROO
RCODE ZONING: R20

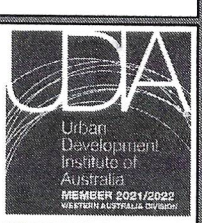
Client Signature/s _____ Date _____



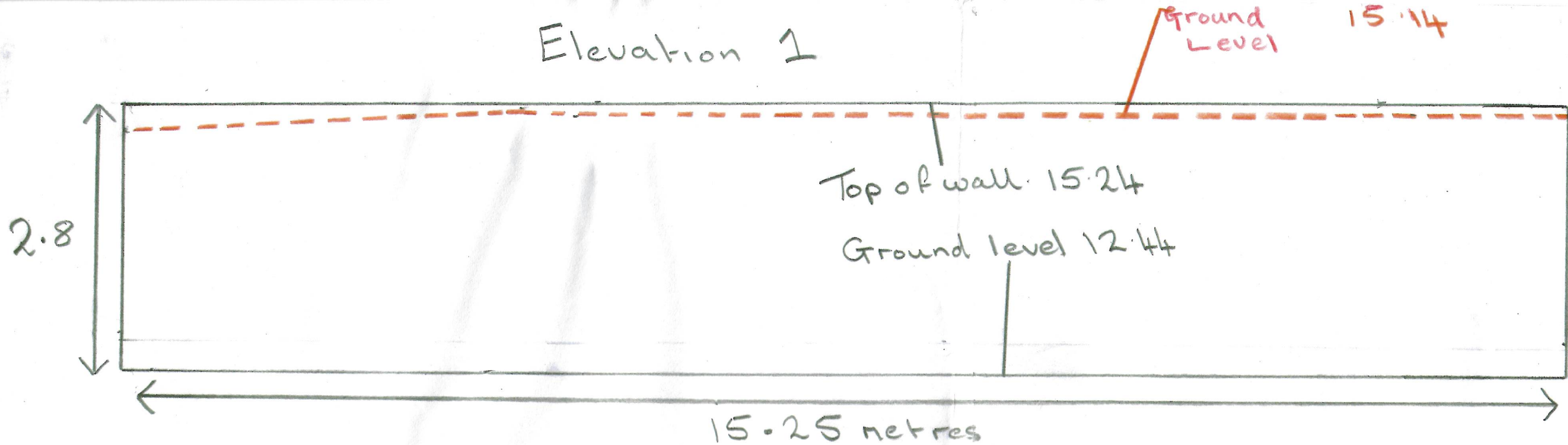
Title Proposal to the WAPC for the creation of TWO (2) SURVEY STRATA LOTS AT: LOT 232 (24) BURT STREET, QUINNS ROCKS
TEL (08) 6144 0000 FAX (08) 6144 0099
59 SCARBOROUGH BEACH RD, SCARBOROUGH WA 6019
Email: info@visionsc.com.au
www.visionsurveys.com.au

Level Datum	AHD(Approx.)
Scale	1:250
Date	07/07/2022
Dwg Ref	Burt 24 P - v1.0
Surveyor	
Drafter	SH
Job #	VS00....
Sheet 1 of 1	A3

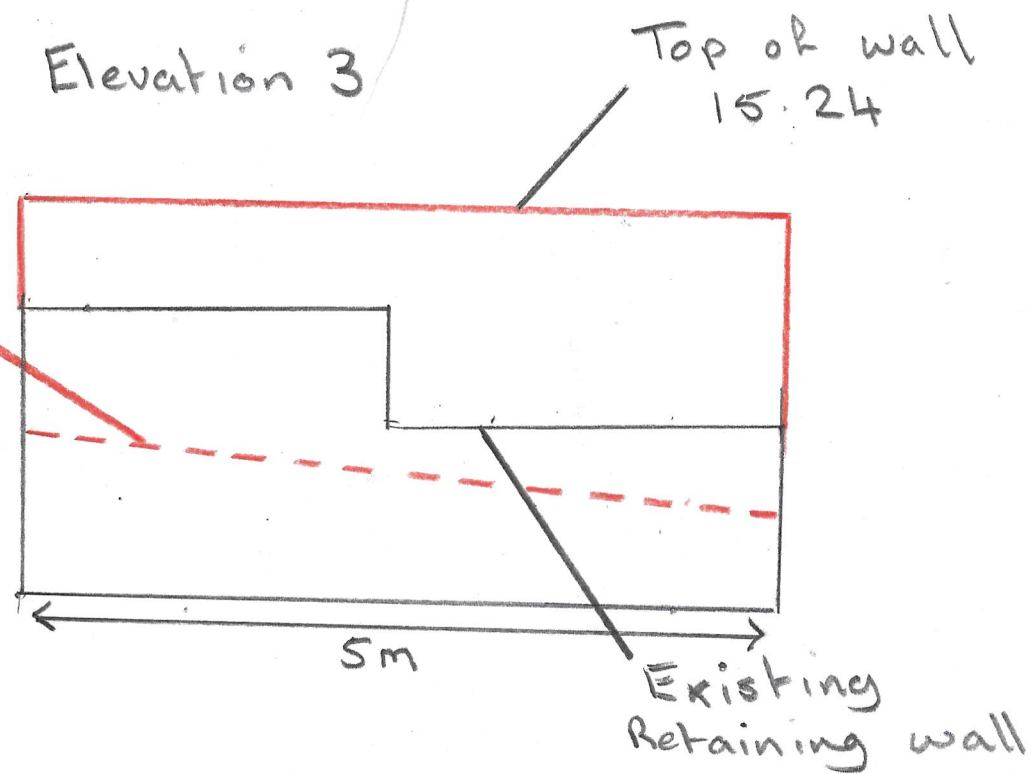
- BOUNDARY POSITION CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/PEGS. ALL BUILDING DIMENSIONS & FEATURES ARE APPROX. ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.
- BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING.
- VISIONS SURVEYS CONSULTING ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE OF THIS SURVEY.
- SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.
- THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.
- CHECK TITLE FOR EASEMENTS / COVENANTS ETC.
- PROPOSED BOUNDARIES AND LOTS MAY BE SUBJECT TO WAPC CONDITIONS WHICH MAY VARY/AND/OR ENCUMBER THE PROPOSAL.
- PROPOSED BOUNDARIES AND LOTS MAY BE SUBJECT TO FUTURE EASEMENTS, RESTRICTIVE COVENANTS ETC WHICH MAY VARY/AND/OR ENCUMBER THE PROPOSAL.



Elevation 1



Elevation 3



Elevation 2

Existing Paved drive way ground level.

