

PROPOSED DEVELOPMENT DETAILS
THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS.

- PLOT RATIO (MAX 1.5= 471m²)
1.525 - 479.15m² PROVIDED
 - BUILDING HEIGHT (MAX 12m)
FRONT= 3 STOREY + ROOF TERRACE
REAR = 3 STOREY
9.25m ABOVE NGL @ FRONT
11.75m ABOVE NGL @ REAR
- MIXED USE DWELLING PROPOSED
77 PATRON RESTAURANT
1x APARTMENT
- CARPARKING
7x CAR BAYS PROVIDED

SITE COVERAGE

ZONED	R100
% ALLOWED	60%
SITE AREA	313.67m ²
SITE COV. AREA	113.04m ²
SITE COV. =36.0%	



AREAS

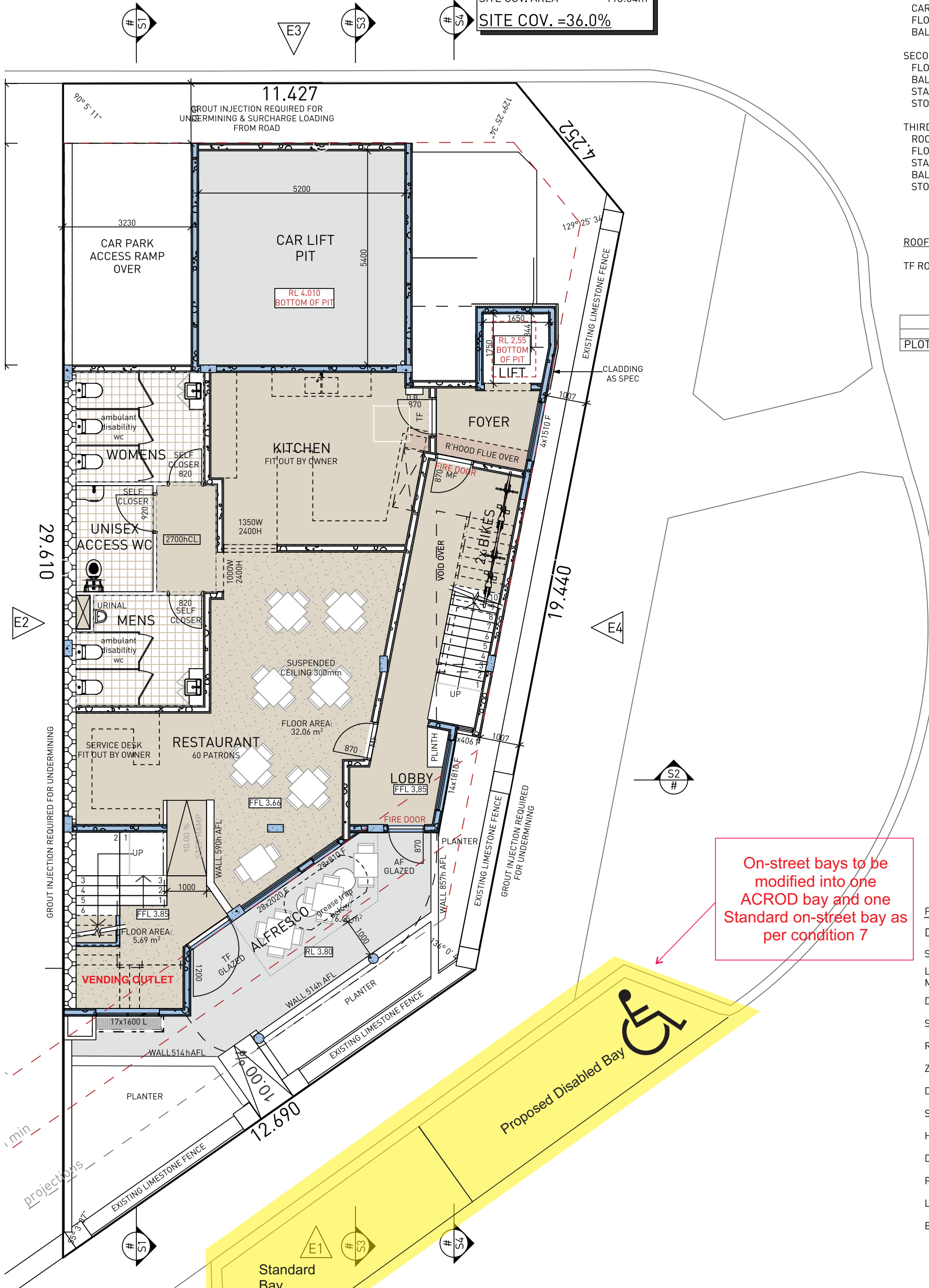
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	153.70	57.48
CAR LIFT PIT	31.19	22.34
ALFRESCO	19.40	19.12
	204.29 m ²	98.94 m
FIRST FLOOR		
CARPARK	151.24	54.06
FLOOR AREA	46.65	47.57
BALCONY	19.82	18.64
	217.71 m ²	120.27 m
SECOND FLOOR		
FLOOR AREA	164.67	61.49
BALCONY	45.46	54.14
STAIR	9.82	13.00
STORE	6.45	11.15
	226.40 m ²	139.78 m
THIRD FLOOR		
ROOF TCE	111.63	46.97
FLOOR AREA	60.65	36.60
STAIR	9.82	13.00
BALCONY	8.93	14.36
STORE	4.14	8.72
	195.17 m ²	119.65 m
	843.57 m ²	478.64 m

ROOF AREAS

	AREA (m ²)	PERIM (m)
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

PLOT RATIO

PLOT RATIO	479.15	/314m ² = 1.525



On-street bays to be modified into one ACROD bay and one Standard on-street bay as per condition 7

PROPOSED RESIDENCE FOR:

DAVEY

SITE ADDRESS:
LOT 351 (#15) BOSTON QUAYS,
MINDARIE

DATE: 12/07/19

SKETCH NO: TBA

REVISION NO: 4

ZONING: R100

DESIGN TYPE: SPECIAL

SPECIFICATION: TBA

HOME CONSULTANT:

DRAWN BY:

PLANNING APPL: YES

LOCAL AUTHORITY: WANNEROO

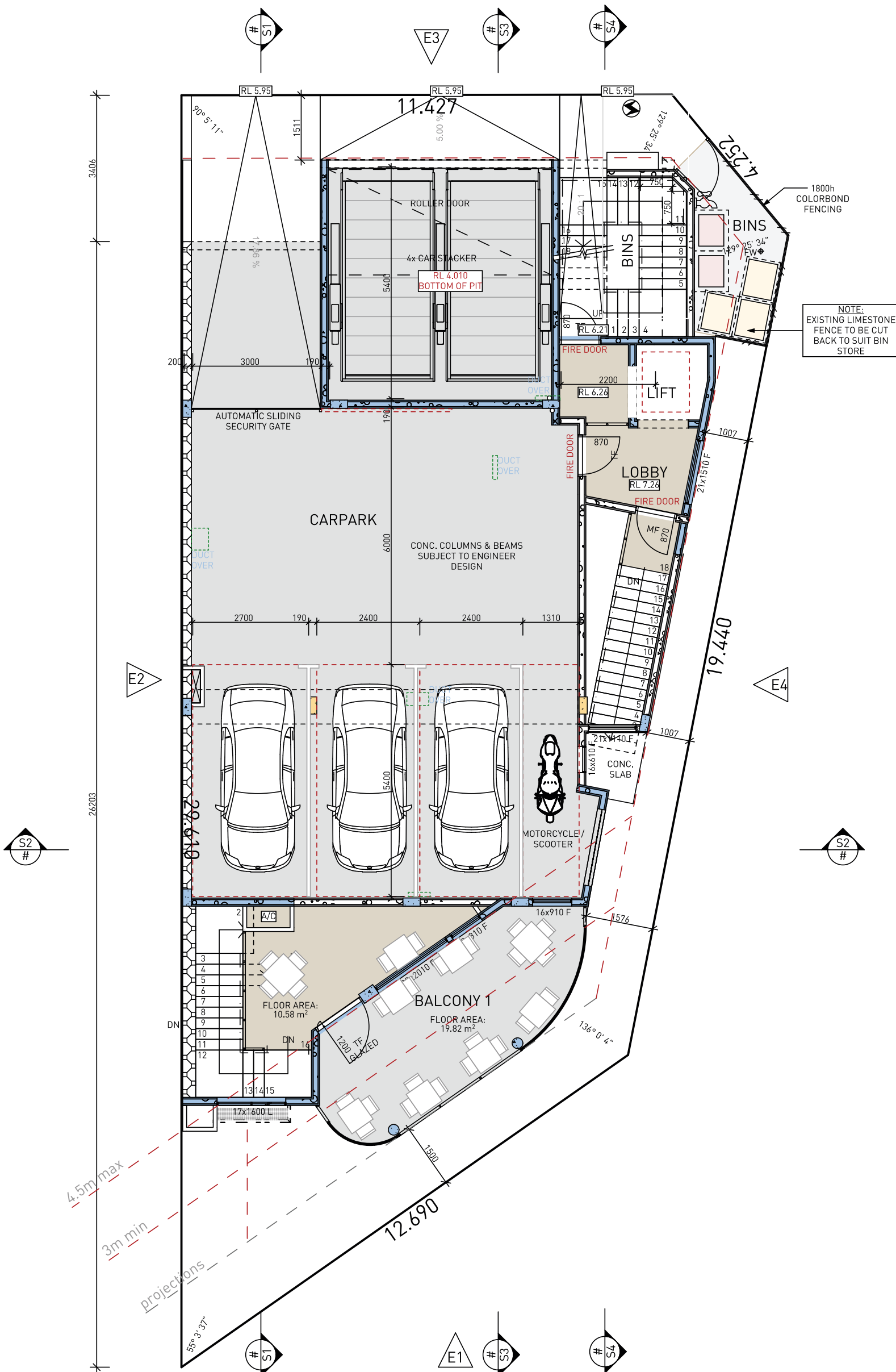
BAL: N/A

GROUND FLOOR PLAN

Scale 1:100

COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

Cabaret Investments Pty Ltd
7/11 Caloundra Road
Clarkson
WA 6030
0418 945 173



AREAS		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	153.70	57.48
CAR LIFT PIT	31.19	22.34
ALFRESCO	19.40	19.12
	204.29 m ²	98.94 m
FIRST FLOOR		
CARPARK	151.24	54.06
FLOOR AREA	46.65	47.57
BALCONY	19.82	18.64
	217.71 m ²	120.27 m
SECOND FLOOR		
FLOOR AREA	164.67	61.49
BALCONY	45.46	54.14
STAIR	9.82	13.00
STORE	6.45	11.15
	226.40 m ²	139.78 m
THIRD FLOOR		
ROOF TCE	111.63	46.97
FLOOR AREA	60.65	36.60
STAIR	9.82	13.00
BALCONY	8.93	14.36
STORE	4.14	8.72
	195.17 m ²	119.65 m
	843.57 m ²	478.64 m
ROOF AREAS		
	AREA (m ²)	PERIM (m)
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

NOTE:
EXISTING LIMESTONE
FENCE TO BE CUT
BACK TO SUIT BIN
STORE

PROPOSED RESIDENCE FOR: _____

DAVEY

SITE ADDRESS:
LOT 351 (#15) BOSTON QUAYS,
MINDARIE

DATE: 12/07/19

SKETCH NO: TBA

REVISION NO: 4

ZONING: R100

DESIGN TYPE: SPECIAL

SPECIFICATION: TBA

HOME CONSULTANT:

DRAWN BY:

PLANNING APPL: YES

LOCAL AUTHORITY: WANNEROO

BAL: N/A

FIRST FLOOR PLAN

Scale 1:100

COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

Cabaret Investments Pty Ltd
7/11 Caloundra Road
Clarkson
WA 6030
0418 945 173



AREAS		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	153.70	57.48
CAR LIFT PIT	31.19	22.34
ALFRESCO	19.40	19.12
	204.29 m ²	98.94 m
FIRST FLOOR		
CARPARK	151.24	54.06
FLOOR AREA	46.65	47.57
BALCONY	19.82	18.64
	217.71 m ²	120.27 m
SECOND FLOOR		
FLOOR AREA	164.67	61.49
BALCONY	45.46	54.14
STAIR	9.82	13.00
STORE	6.45	11.15
	226.40 m ²	139.78 m
THIRD FLOOR		
ROOF TCE	111.63	46.97
FLOOR AREA	60.65	36.60
STAIR	9.82	13.00
BALCONY	8.93	14.36
STORE	4.14	8.72
	195.17 m ²	119.65 m
	843.57 m ²	478.64 m

ROOF AREAS		
	AREA (m ²)	PERIM (m)
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

PROPOSED RESIDENCE FOR:

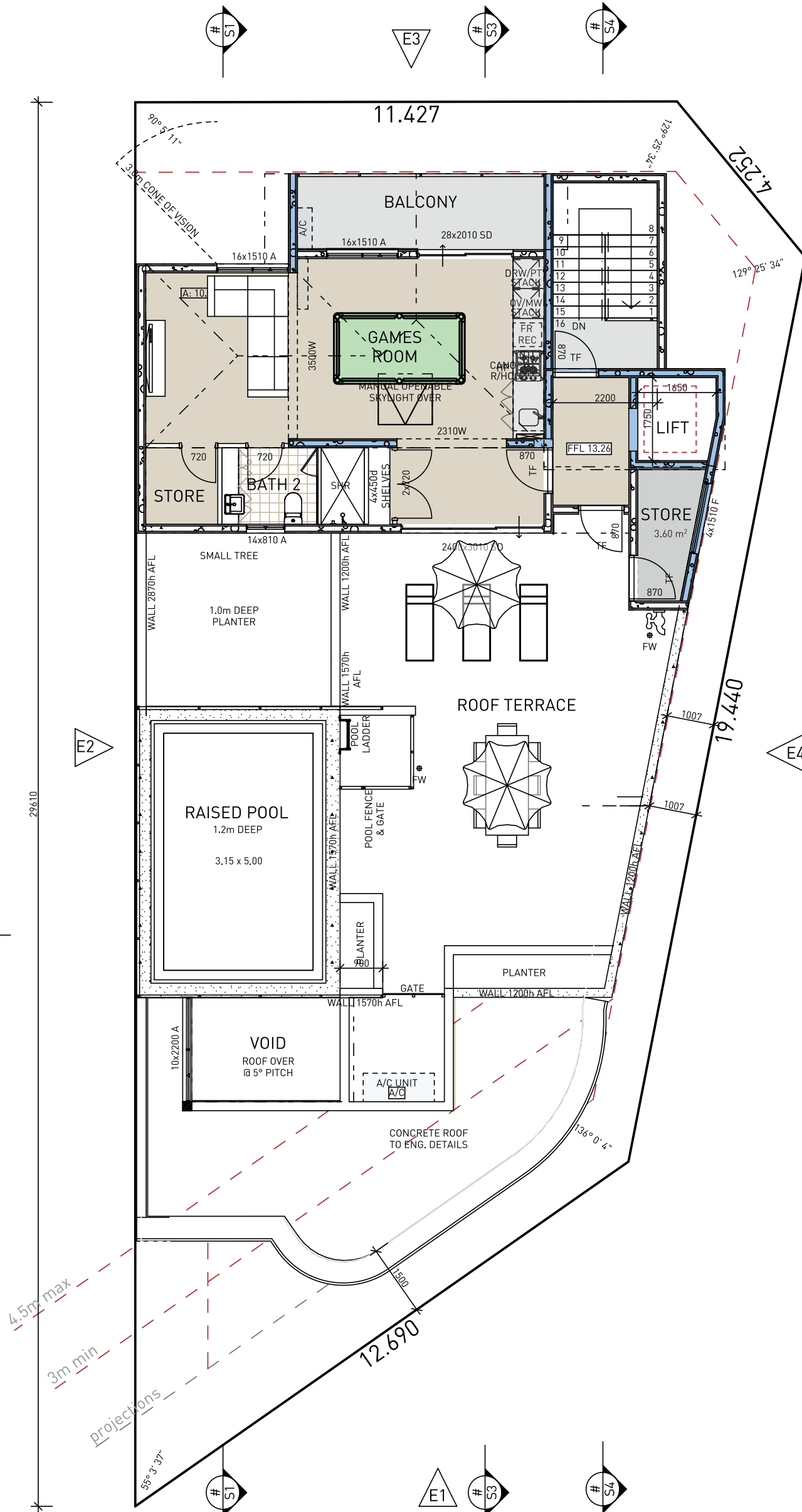
DAVEY
 SITE ADDRESS:
 LOT 351 (#15) BOSTON QUAYS,
 MINDARIE
 DATE: 12/07/19
 SKETCH NO: TBA
 REVISION NO: 4
 ZONING: R100
 DESIGN TYPE: SPECIAL
 SPECIFICATION: TBA
 HOME CONSULTANT:
 DRAWN BY:
 PLANNING APPL: YES
 LOCAL AUTHORITY: WANNER00
 BAL: N/A

SECOND FLOOR PLAN

Scale 1:100

COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming investments Pty Ltd

Cabaret Investments Pty Ltd
 7/11 Caloundra Road
 Clarkson
 WA 6030
 0418 945 173



AREAS		
	AREA (m ²)	PERIM (m)
GROUND FLOOR		
FLOOR AREA	153.70	57.48
CAR LIFT PIT	31.19	22.34
ALFRESCO	19.40	19.12
	204.29 m ²	98.94 m
FIRST FLOOR		
CARPARK	151.24	54.06
FLOOR AREA	46.65	47.57
BALCONY	19.82	18.64
	217.71 m ²	120.27 m
SECOND FLOOR		
FLOOR AREA	164.67	61.49
BALCONY	45.46	54.14
STAIR	9.82	13.00
STORE	6.45	11.15
	226.40 m ²	139.78 m
THIRD FLOOR		
ROOF TCE	111.63	46.97
FLOOR AREA	60.65	36.60
STAIR	9.82	13.00
BALCONY	8.93	14.36
STORE	4.14	8.72
	195.17 m ²	119.65 m
	843.57 m ²	478.64 m
ROOF AREAS		
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

PROPOSED RESIDENCE FOR:

DAVEY

SITE ADDRESS:
 LOT 351 (#15) BOSTON QUAYS,
 MINDARIE

DATE: 12/07/19

SKETCH NO: TBA

REVISION NO: 4

ZONING: R100

DESIGN TYPE: SPECIAL

SPECIFICATION: TBA

HOME CONSULTANT:

DRAWN BY:

PLANNING APPL: YES

LOCAL AUTHORITY: WANNER00

BAL: N/A

THIRD FLOOR PLAN

Scale 1:100

COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

Cabaret Investments Pty Ltd
 7/11 Caloundra Road
 Clarkson
 WA 6030
 0418 945 173



ELEVATION 1

Scale 1:100



ELEVATION 3

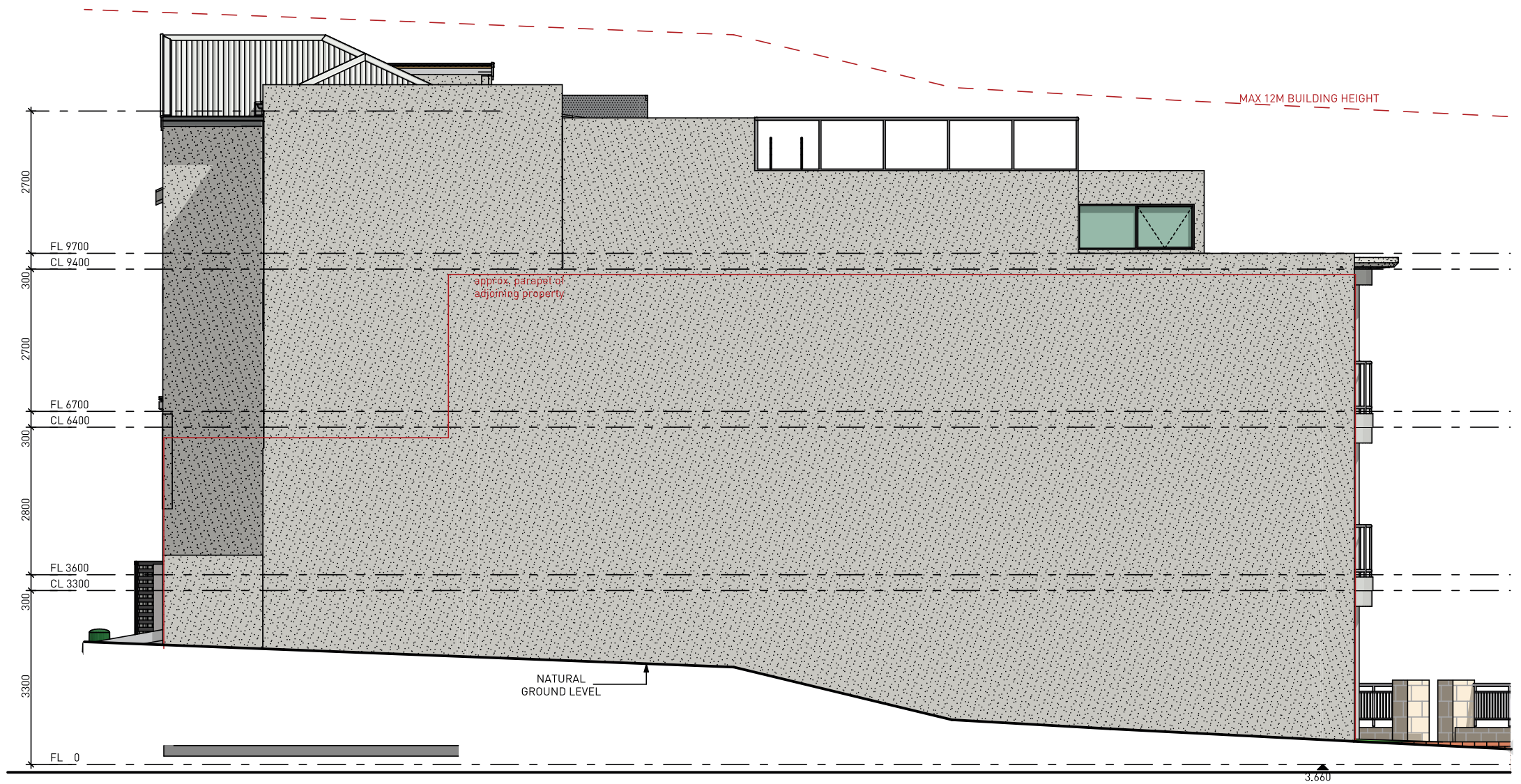
Scale 1:100

PROPOSED RESIDENCE FOR:

DAVEY	SKETCH NO:	TBA	HOME CONSULTANT:
SITE ADDRESS:	REVISION NO:	4	DRAWN BY:
LOT 351 (#15) BOSTON QUAYS, MINDARIE	ZONING:	R100	PLANNING APPL: YES
DATE: 12/07/19	DESIGN TYPE:	SPECIAL	LOCAL AUTHORITY: WANNEROO

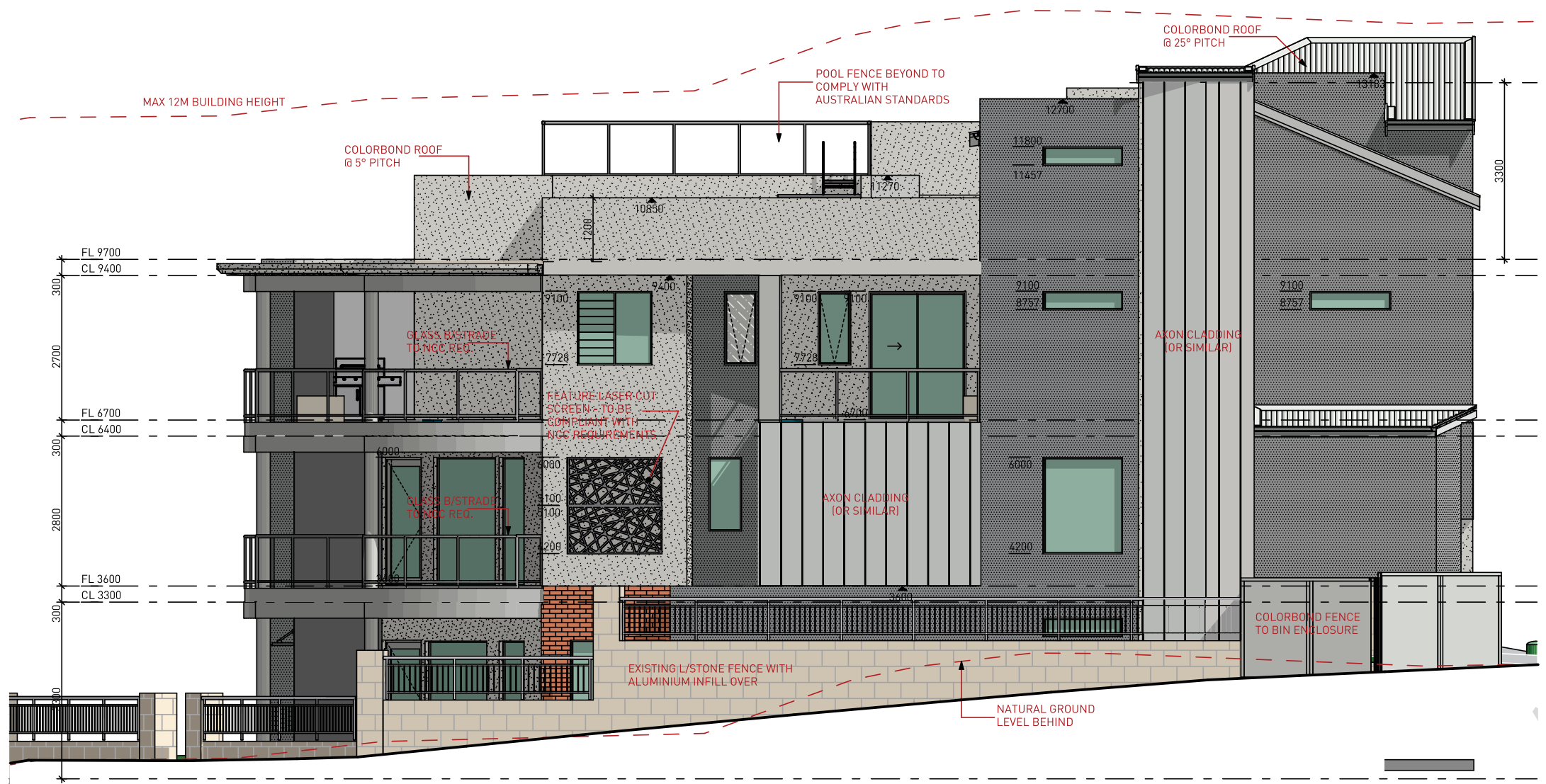
COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

Cabaret Investments Pty Ltd
7/11 Caloundra Road
Clarkson
WA 6030
0418 945 173



ELEVATION 2

Scale 1:100



ELEVATION 4

Scale 1:100

PROPOSED RESIDENCE FOR:

DAVEY	SKETCH NO:	TBA	HOME CONSULTANT:
SITE ADDRESS:	REVISION NO:	4	DRAWN BY:
LOT 351 (#15) BOSTON QUAYS, MINDARIE	ZONING:	R100	PLANNING APPL: YES
DATE: 12/07/19	DESIGN TYPE:	SPECIAL	LOCAL AUTHORITY: WANNEROO

COPYRIGHT: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

Cabaret Investments Pty Ltd
7/11 Caloundra Road
Clarkson
WA 6030
0418 945 173

PROPOSED DEVELOPMENT DETAILS
THE FOLLOWING APPLY UNLESS NOTED OTHERWISE ON THE PLANS.

- PLOT RATIO (MAX 1.5= 471m²) 1.528 = 479.15m² PROVIDED
- BUILDING HEIGHT (MAX 12m) FRONT - 3 STOREY + ROOF TERRACE REAR - 3 STOREY 9.25m ABOVE NGL @ FRONT 11.75m ABOVE NGL @ REAR
- MIXED USE DWELLING PROPOSED 77 PATRON RESTAURANT 1x APARTMENT CARPARKING 7x CAR BAYS PROVIDED

SITE COVERAGE

ZONED	R100
% ALLOWED	40%
SITE AREA	313.67m ²
SITE COV. AREA	113.04m ²
SITE COV. = 36.0%	

AREAS

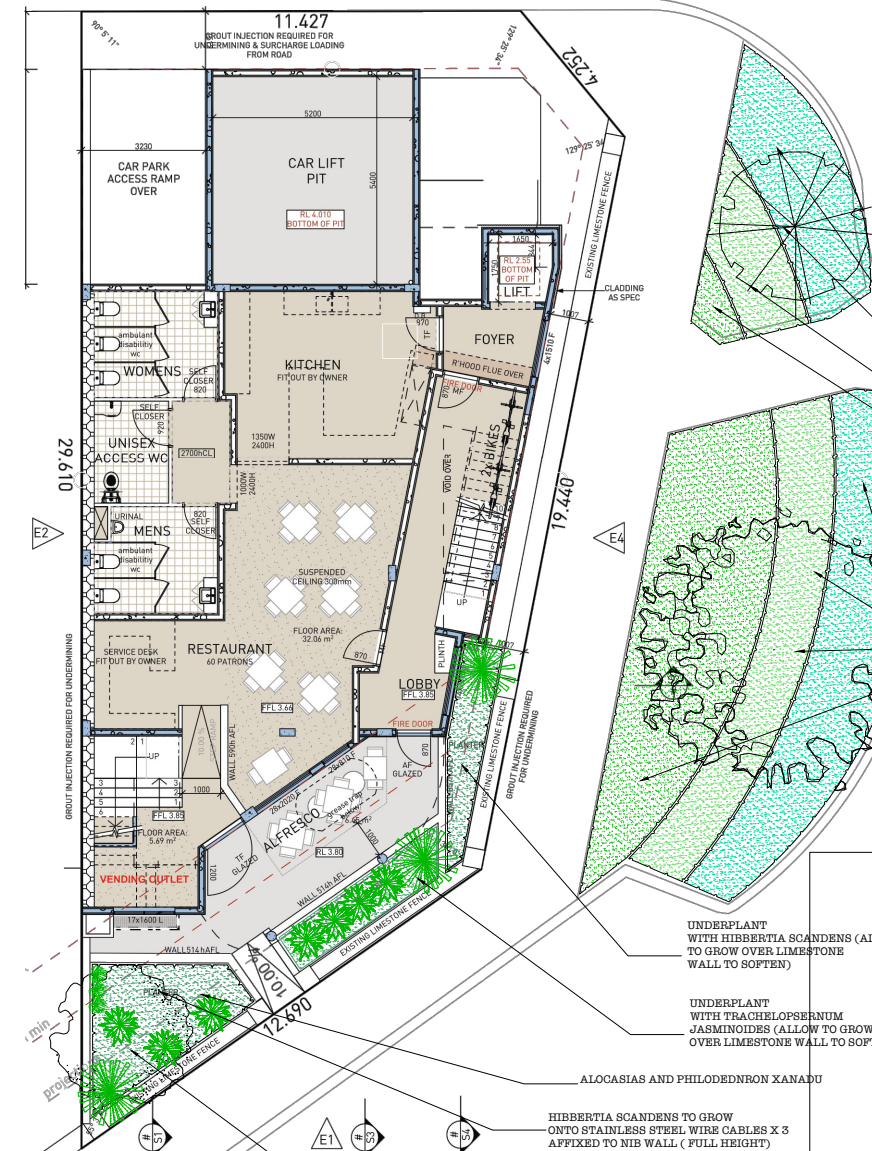
AREAS	AREA (m ²)	PERIM (m)
GROUND FLOOR	153.70	57.48
FLOOR AREA	31.19	22.34
CAR LIFT PIT	19.40	15.12
ALFRESCO	204.29 m ²	98.94 m
FIRST FLOOR	151.24	54.06
CARPARK	46.65	47.57
FLOOR AREA	19.82	18.64
BALCONY	217.71 m ²	120.27 m
STAIR	9.82	13.00
STORE	6.45	11.15
SECOND FLOOR	164.67	61.49
CARPARK	45.44	54.14
FLOOR AREA	9.82	13.00
BALCONY	226.40 m ²	139.78 m
STAIR	111.63	44.97
ROOF TCE	60.65	36.60
FLOOR AREA	9.82	13.00
STAIR	8.93	14.36
BALCONY	4.14	8.72
STORE	195.17 m ²	119.45 m
	843.57 m ²	478.64 m

ROOF AREAS

AREAS	AREA (m ²)	PERIM (m)
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

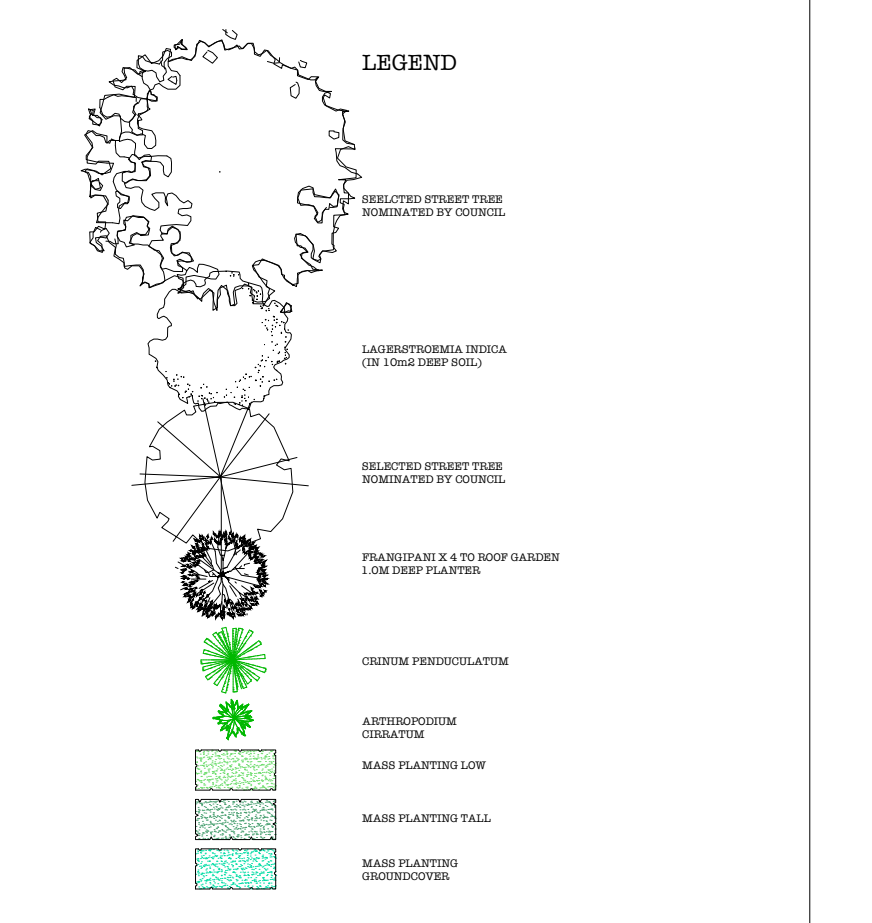
PLOT RATIO

PLOT RATIO	479.15 / 314m ² = 1.528
------------	------------------------------------



PROPOSED RESIDENCE FOR:
DAVEY
SITE ADDRESS:
LOT 351 (#15) BOSTON QUAYS, MINDARIE
DATE: 12/07/19
SKETCH NO: TBA
REVISION NO: 4
ZONING: R100
DESIGN TYPE: SPECIAL
SPECIFICATION: TBA
HOME CONSULTANT:
DRAWN BY:
PLANNING APPL: YES
LOCAL AUTHORITY: WANNEROO
BAL: N/A

Cabaret Investments Pty Ltd
7/11 Caloundra Road
Clarkson
WA 6030
0418 945 173



SENECIO CHALKSTICKS
SELECTED STREET TREE NOMINATED BY COUNCIL
ANIGOZANANTHUS FLAVIDUS 'RED'
WESTRINGIA FRUITICOOSA 'GREY BOX'
SENECIO CHALKSTICKS
ANIGOZANANTHUS FLAVIDUS 'RED'
SELECTED STREET TREE NOMINATED BY COUNCIL
WESTRINGIA FRUITICOOSA 'GREY BOX'

UNDERPLANT WITH HIBBERTIA SCANDENS (ALLOW TO GROW OVER LIMESTONE WALL TO SOFTEN)
UNDERPLANT WITH TRACHELOSPERNUM JASMINOIDES (ALLOW TO GROW OVER LIMESTONE WALL TO SOFTEN)
ALOCASIAS AND PHILODENDRON XANADU
HIBBERTIA SCANDENS TO GROW ONTO STAINLESS STEEL WIRE CABLES X 3 AFFIXED TO NIB WALL (FULL HEIGHT)

UNDERPLANT WITH TRACHELOSPERNUM JASMINOIDES (ALLOW TO GROW OVER LIMESTONE WALL TO SOFTEN)
WESTRINGIA FRUITICOOSA 'GREY BOX'

THIRD FLOOR PLAN
Scale 1:100

Copyright: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd

PLANTING LIST TO DEEP SOIL AND PLANTER BOXES ONLY

* denotes Waterwise

Botanical Name	Size	No	Ongoing Maintenance Req.	Mature size	Density per m ²
Trees					
Citrus sp *	45LT	3	Shape in winter. Espalier to walls	4m x 3m	
Lagerstroemia indica *	100LT	1	Shape in winter	4m x 3m	
Plumeria obtusa	200LT	4		4m x 4m	
Shrubs					
Alocasia wentii	200mm		Remove dead leaves when required Cut back dead flower stalks after flowering	1.5m x 1.5m	1
Anigozanthus flavidus red *	150mm		Remove dead leaves and dead head	1m x .5m	3
Arthropodium cirratum *	200mm	11	flowers	60cm x 60cm	3
Crinum pendunculatum *	306mm	2	Cut back dead flower stalks after flowering. Remove dead leaves	1.5m x 1.5m	1
Dymondia Marguerite *	150mm			1m x .5m	5
Hibbertia scandens *	150mm		Train to wires as required and remove dead leaves	40cm x 4m	3
Neprolepis sp (Boston Fern) *	150mm		Remove dead leaves when required	30cm x 30cm	5
Peperomia graveolens	150mm		Remove dead leaves when required	15cm x 30cm	5
Philodendron xanadu *	150mm		Remove dead leaves when required Cut back dead flower stalks after flowering	90cm x 70cm	3
Senecio 'Chalksticks' *	150mm		Lightly prune to shape	2 x .5m	3
Trachelospermum jasminoides *	150mm		Train over walls to soften	40cm x 4m	4
Westringia fruticosa 'Flat Fred' *	150mm		Liquid fertiliser to be applied quarterly and slow release fertiliser every 6 months. Top up mulch and soil wetter every 12 month.	4 x 1m	2



AREAS

AREAS	AREA (m ²)	PERIM (m)
GROUND FLOOR	153.70	57.48
FLOOR AREA	31.19	22.34
CAR LIFT PIT	19.40	15.12
ALFRESCO	204.29 m ²	98.94 m
FIRST FLOOR	151.24	54.06
CARPARK	46.65	47.57
FLOOR AREA	19.82	18.64
BALCONY	217.71 m ²	120.27 m
STAIR	9.82	13.00
STORE	6.45	11.15
SECOND FLOOR	164.67	61.49
CARPARK	45.44	54.14
FLOOR AREA	9.82	13.00
BALCONY	226.40 m ²	139.78 m
STAIR	111.63	44.97
ROOF TCE	60.65	36.60
FLOOR AREA	9.82	13.00
STAIR	8.93	14.36
BALCONY	4.14	8.72
STORE	195.17 m ²	119.45 m
	843.57 m ²	478.64 m

ROOF AREAS

AREAS	AREA (m ²)	PERIM (m)
TF ROOF	93.36	23.52
	93.36 m ²	23.52 m

PROPOSED RESIDENCE FOR:
DAVEY
SITE ADDRESS:
LOT 351 (#15) BOSTON QUAYS, MINDARIE
DATE: 12/07/19
SKETCH NO: TBA
REVISION NO: 4
ZONING: R100
DESIGN TYPE: SPECIAL
SPECIFICATION: TBA
HOME CONSULTANT:
DRAWN BY:
PLANNING APPL: YES
LOCAL AUTHORITY: WANNEROO
BAL: N/A

THIRD FLOOR PLAN
Scale 1:100

Copyright: This design & drawing remains the sole property of Cabaret Gaming and shall not be copied, sold or circulated in any format without express written consent from Cabaret Gaming Investments Pty Ltd