

EXISTING SITE PLAN
1:200

Project details

Client: LYNDON BARKER
Address: SL1 (#86)
DUNDEBAR ROAD
WANNEROO
CITY OF WANNEROO

Note: Dimensions on plan do not allow for plastering/flooring finish.

Revisions

Rev No.	Date/Dwn.	Chkd.
DA VO	08.09.22	MM

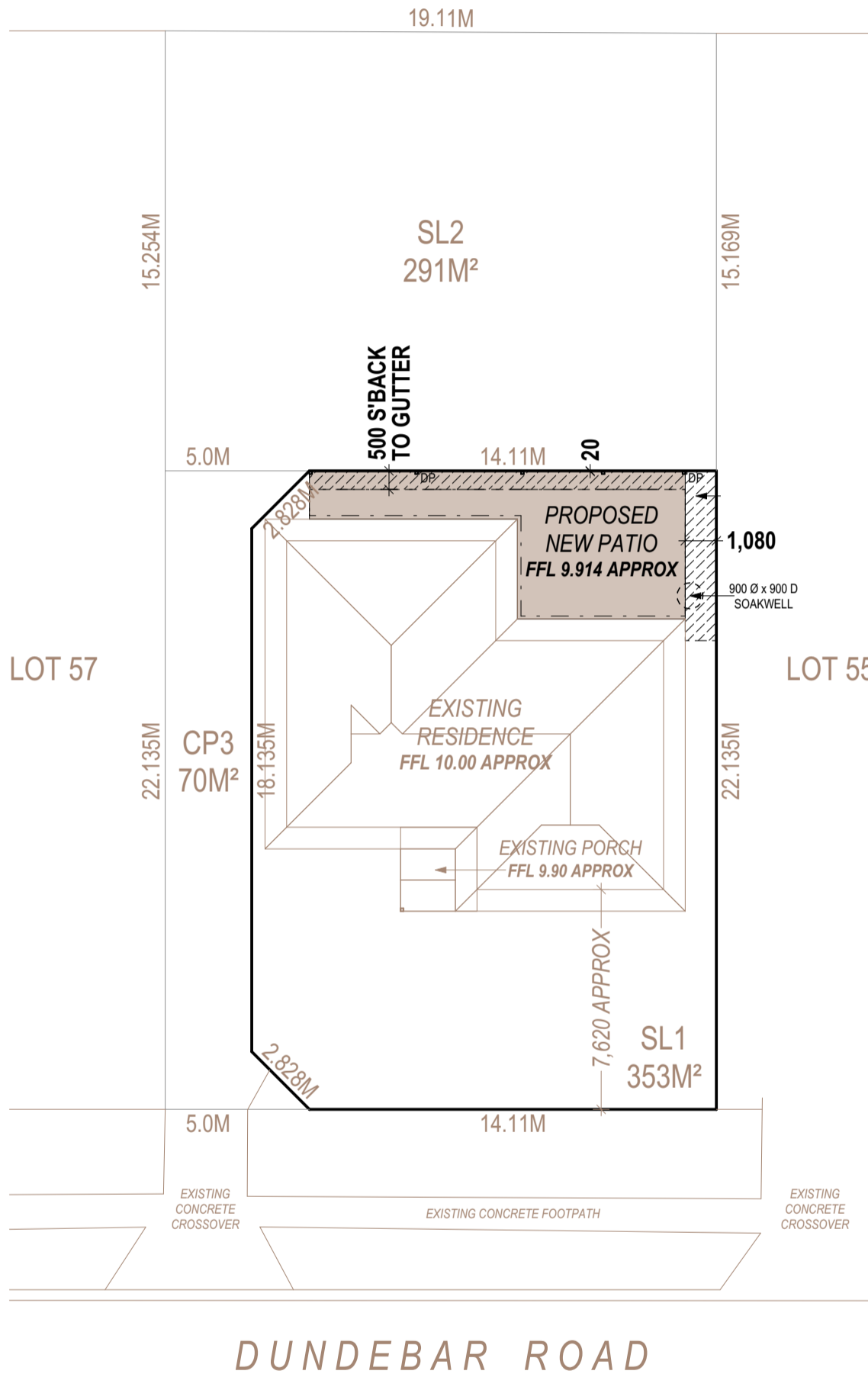
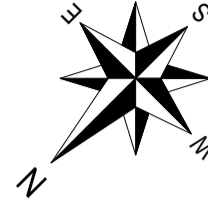
Sheet 1 of 4

Job No: **241**

Existing Site plan

Drawn	Date	Chkd.
MM	8/09/2022	nochk

© COPYRIGHT



SITE PLAN

1:200

NOTE:

- RE-PEG BY LICENSED SURVEYOR
- STORMWATER DISPOSAL TO SHIRE REQUIREMENTS

STORMWATER CALCULATIONS

REQUIRED SOAKWELL CAPACITY.
 = 1m³ OF STORAGE PER 65m² OF ROOF AREA
 REQUIRED MINIMUM TOTAL CAPACITY
 = ROOF AREA OF (31.64m² / 65m²) x 1m³ = 0.49m³
 SELECTED SOAKWELLS
 1 x 900Ø x 900D (0.57m³) = 0.57m³
 TOTAL SOAKWELL CAPACITY = 0.57m³

PR
Premier Residential
The Way You Want To Live
 51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: admin@premierresidential.com.au
 ABN: 69 305 673 609

Project details

Client: LYNDON BARKER
 Address: SL1 (#86)
 DUNDEBAR ROAD
 WANNEROO
 CITY OF WANNEROO

Note: Dimensions on plan do not allow for plastering/flooring finish.

Revisions

Rev No.	Date/Dwn.	Chkd.
DA VO	08.09.22	MM

Sheet 2 of 4

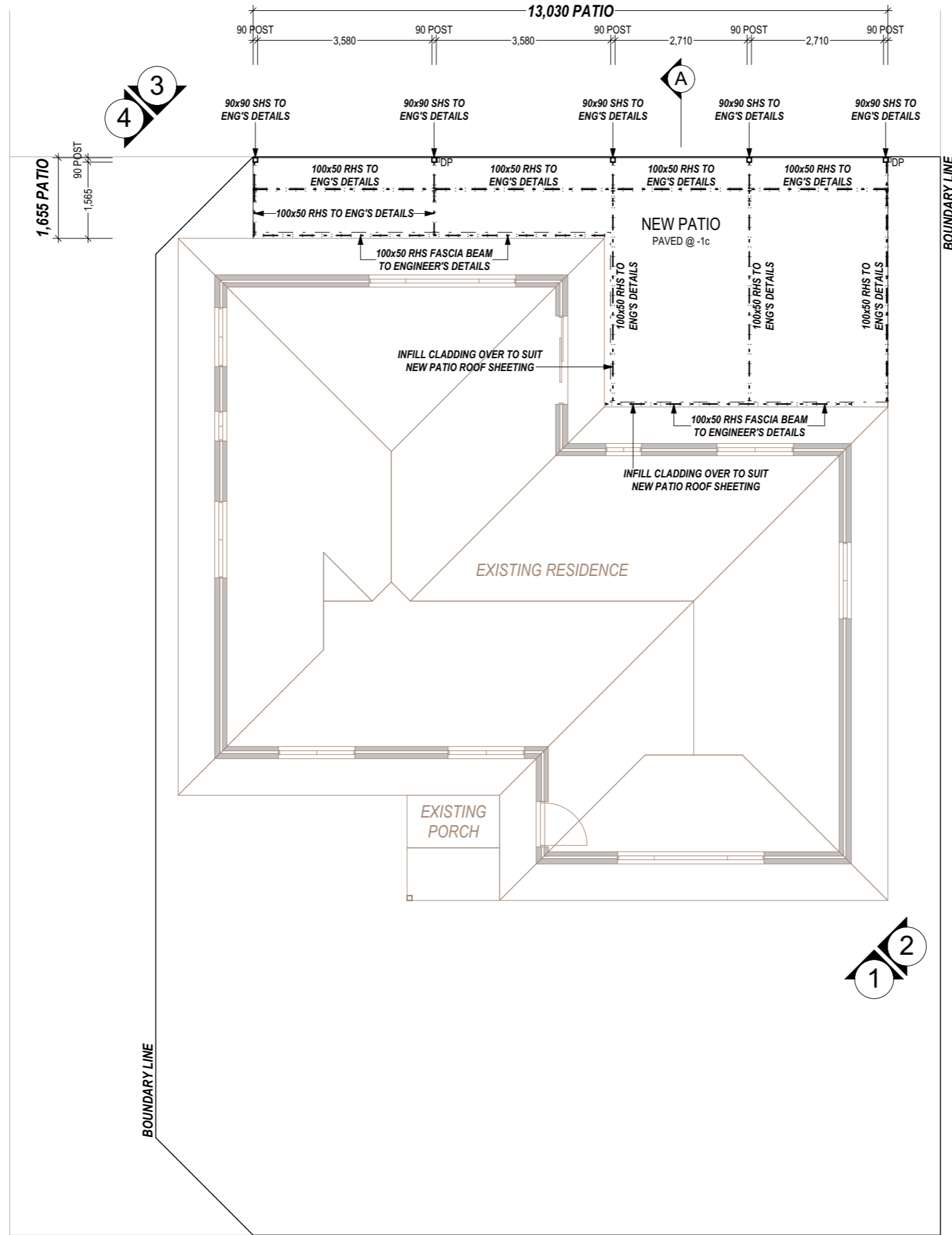
Job No: **241**

Site plan

Drawn	Date	Chkd.
MM	8/09/2022	nochk

© COPYRIGHT

Floor Areas		
Location	Area	Perimeter
EXISTING HOUSE	123.62	50.32
EXISTING PORCH	7.71	11.12
NEW PATIO	41.70	36.29
	173.03 m²	97.73 m



FLOOR PLAN

1:100

NOTE!

EXISTING DIMENSIONS, LEVELS & FEATURES BASED ON EXISTING PLANS SUPPLIED BY THE OWNER. REFER TO THESE PLANS FOR ANY EXISTING ON SITE QUERIES

ENGINEERING NOTES:

- THESE PLANS ARE NOT FOR CONSTRUCTION PURPOSES UNLESS FULLY CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
- ALL BEAM THROUGHOUT (TIMBER, STEEL & T-BARS) AT THE STRUCTURAL ENGINEERS DISCRETION. REFER TO ENGINEERS PLANS
- REFER TO ENGINEERS DETAILS FOR STRUCTURAL COLUMN PLACEMENT
- REFER TO ENGINEER'S DETAILS FOR WIND CLASSIFICATION
- ROOF TIE DOWN IN ACCORDANCE WITH ENGINEERS DETAILS
- REFER TO ENGINEER'S DETAILS FOR ALL CONCRETE FOOTINGS

TERMITE NOTE:

- A PHYSICAL TERMITE BARRIER, SATISFYING AS 3660.1, TO BE INSTALLED ALONG THE EXTERNAL BOUNDARY WALL
- CHEMICAL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660.1. WHERE REQUIRED BY AS 3660.1, CHEMICAL TERMITE TREATMENT MUST BE REPLENISHABLE VIA A RETICULATION SYSTEM PROVIDING AN EVEN & CONTINUOUS DISTRIBUTION OF CHEMICAL INTO THE SOIL.

GUTTER NOTE:

- THE OVERFLOW PROVISIONS INCLUDING THE GUTTERS ON BOUNDARY WILL BE IN ACCORDANCE WITH NCC PART 3.5.3

GENERAL NOTES:

- CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
- FINAL POSITION OF CEILING EXHAUST FANS & RAINWATER PIPES (RWP) WILL BE DETERMINED ON SITE TO SUIT ROOF FRAME MEMBERS

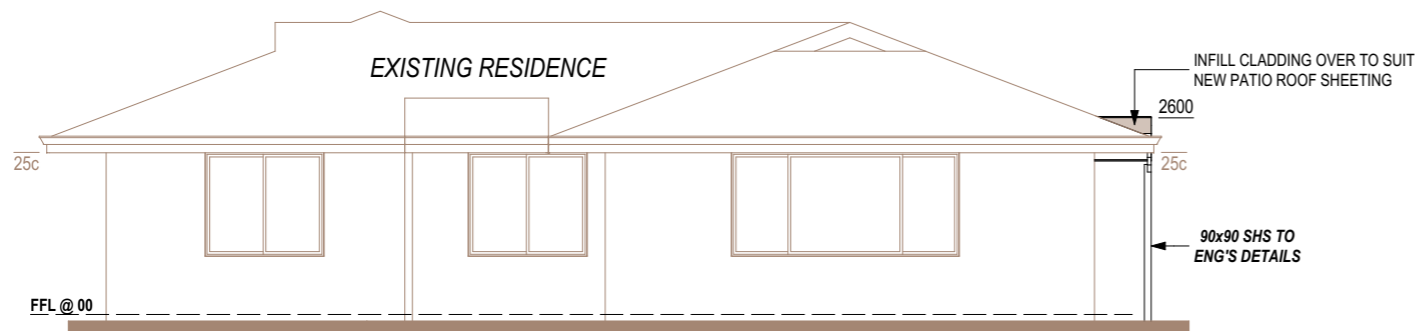
Revisions		Date/Dwn.		Chkd.	
Rev No.	DA VO	08.09.22	MM		
Note: Dimensions on plan do not allow for plastering/flooring finish.					

Project details

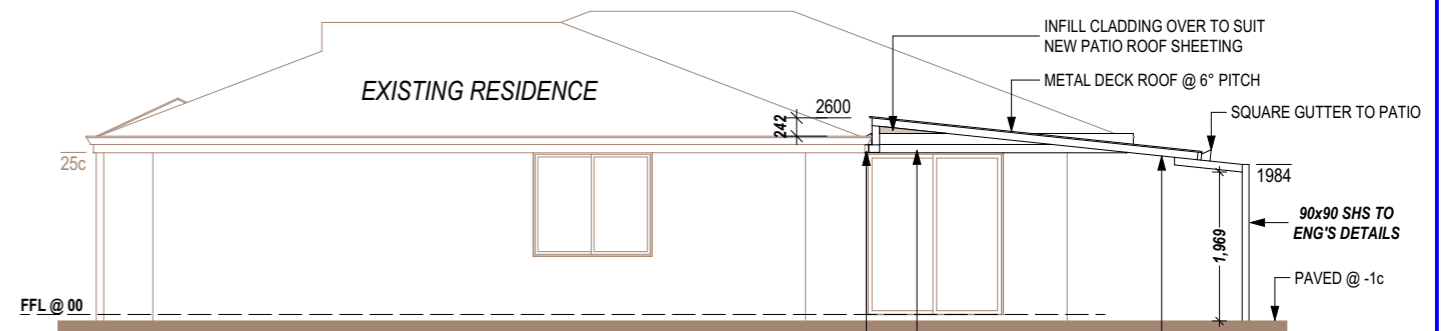
Client: LYNDON BARKER
Address: SL1 (#86)
 DUNDEBAR ROAD
 WANNEROO
 CITY OF WANNEROO

Premier Residential
The Way You Want To Live
 51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: admin@premierresidential.com.au
 ABN: 69 305 673 609

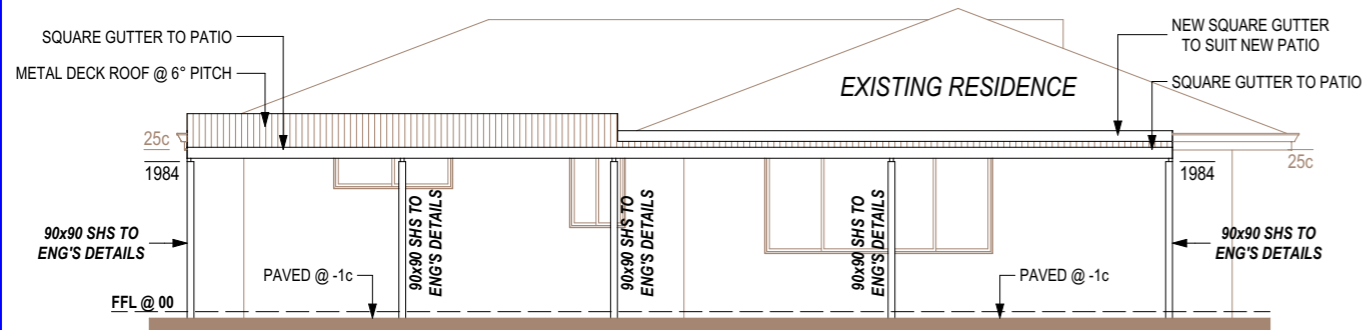
Sheet 3 of 4
 Job No: 241
 Floor Plan
 Drawn Date Chkd.
 MM 8/09/2022 nochk
 © COPYRIGHT



ELEVATION 1
1:100



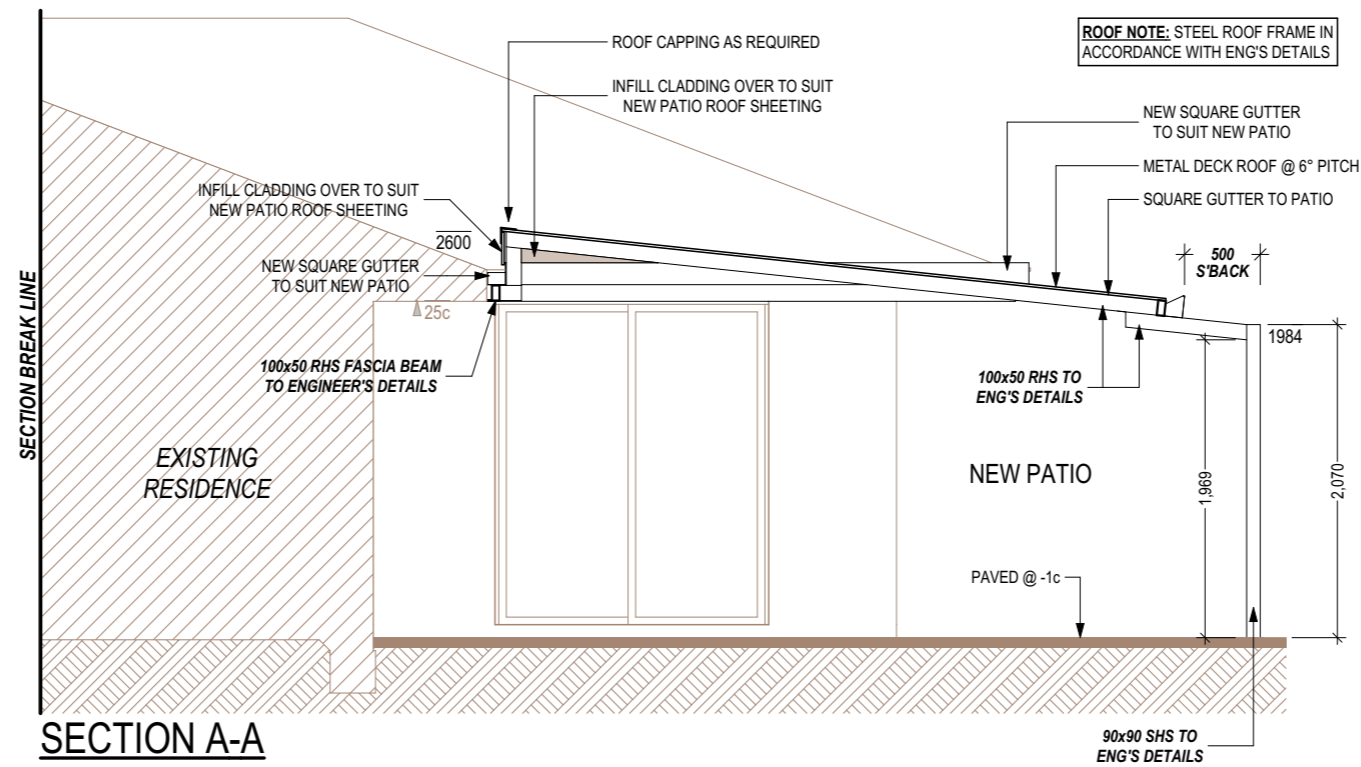
ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100



SECTION A-A
1:50

PR
Premier Residential
The Way You Want To Live
51 Glomach Circuit Kinross WA 6028
Mobile: 0466 672 189
Email: admin@premierresidential.com.au
ABN: 69 305 673 609

Project details
Client: LYNDON BARKER
Address: SL1 (#86)
DUNDEBAR ROAD
WANNEROO
CITY OF WANNEROO

Revisions		
Rev No.	Date/Dwn.	Chkd.
DA VO	08.09.22	MM

Note: Dimensions on plan do not allow for plastering/flooring finish.

Sheet 4 of 4		
Job No: 241		
Elevations & Section		
Drawn	Date	Chkd.
MM	8/09/2022	nochk
© COPYRIGHT		