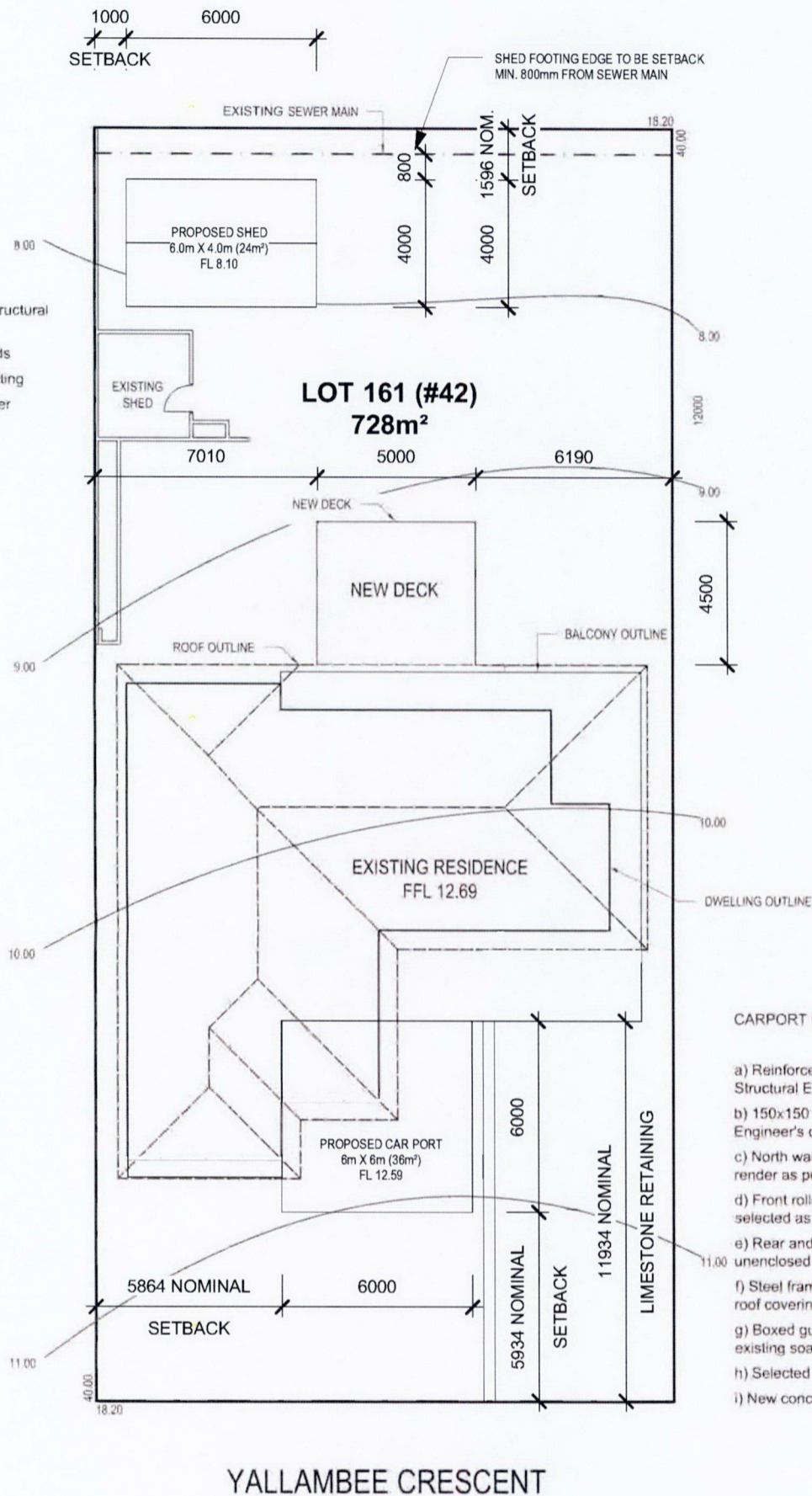


IMPORTANT NOTES:

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available existing site plan.
- A re-peg/b'dry identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plan. The final re-pegged dimensions may vary due to adjustments made during field survey
- All service information shown on this plan should be verified with the relevant authorities.
- does not accept any liability for any loss or damage caused by the use of this feature survey plan for any purpose.
- No up-to-date drawings were available during completion of drawings (including site plan, floor plans, elevations etc.)
- All information noted on current site plan has been taken from previous site plan provided by clients. does not accept any liability for incorrect dimensions/final positioning of structures.
- No sewer or hydraulic information was available during time of site plan. Client/builder is to check on site and contact Water Corp. prior to any construction.
- All dimensions to be checked and confirmed on site prior to any commencement of construction work.
- A site feature survey is recommended for the correct positioning of all site features and existing dwellings.
- All heights and levels shown on drawings are based of existing RL's as per existing site plan document. Further RL's have been manually calculated and measured on site to ensure elevations are portrayed as accurate as possible
- Final dimensions, heights, and locations of features may vary on site as per Contractor's discretion. If any changes or amendments are required, then a revised working drawing set is to be completed and forwarded to all relevant stakeholders

NEW DECK NOTES:

- Selected timber construction
- 150x150 steel posts or as specified by Structural Engineer
- Allow pre-made balustrade with cafe blinds
- Roofing system to match and tie into existing
- Selected colorbond roof sheeting by owner



- SITE WORKS TO INCLUDE BUT NOT LIMITED TO:**
- REMOVAL OF TREES, SHRUBS & LAWN.
 - SOAKWELLS TO SHIRE REQUIREMENTS.
 - CLOSE OFF EXISTING RETICULATION PRIOR TO CONSTRUCTION.

***NOTE:**
DOWNPIPES AND SOAKWELLS LOCATION TO BE CONFIRMED BY BUILDER. ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH STORMWATER PIPES BY BUILDER.

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS. SOAKWELL TO HAVE TRAFFICABLE LIDS AND ARE POSITIONED AT THE PLUMBERS DISCRETION

GENERAL NOTES

- VENTILATION IN ACCORD WITH THE SEWERAGE, LIGHTING, VENTILATION, & CONSTRUCTION REGULATIONS 1971 & AS1688.
- ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS (IF ANY) USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA
- IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS
- BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK.
- BUILDER MUST CHECK CONFIRM ON SITE ALL DIMENSIONS IN ACCORDANCE WITH THESE PLANS. DO NOT SCALE FROM DRAWINGS.
- PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SPECIFICATIONS, STRUCTURAL ENGINEER'S DRAWINGS & ANY OTHER DOCUMENTATION FORMING PART OF THE PROJECT.
- BUILDER TO FIX ALL FLASHING AND DAMP-PROOF-COURSES AS REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
- ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE (NCC) & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
- DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.
- REFER TO GEOTECH REPORT FOR SOIL & WIND CLASSIFICATION.
- ANY DISCREPANCIES TO BE NOTIFIED TO STRUCTURAL ENGINEER PRIOR TO WORK COMMENCING.

CARPORT NOTES:

- Reinforced concrete slab and footings as per Structural Engineer's details and specifications
- 150x150 steel carport posts or as per Structural Engineer's details and specifications
- North wall fully enclosed with hardiflex sheeting, render as per owner
- Front roller door to full opening width and height a selected as per owner
- Rear and south sides are to remain open and unenclosed
- Steel framed flat roofing system. Minimal slope of roof covering to rear of carport
- Boxed gutter at rear of carport to be connected to existing soakwells
- Selected colorbond roof sheeting as per owner
- New concrete driveway and crossover

1 SITE PLAN
1 : 200

Registered Professional Engineer
Mr. Lipeng Cao 3103515
MIEAust CPEng (Structural) NPER
Signature: *[Signature]*
Date: 21 / 05 / 2022

FOR INFORMATION ONLY

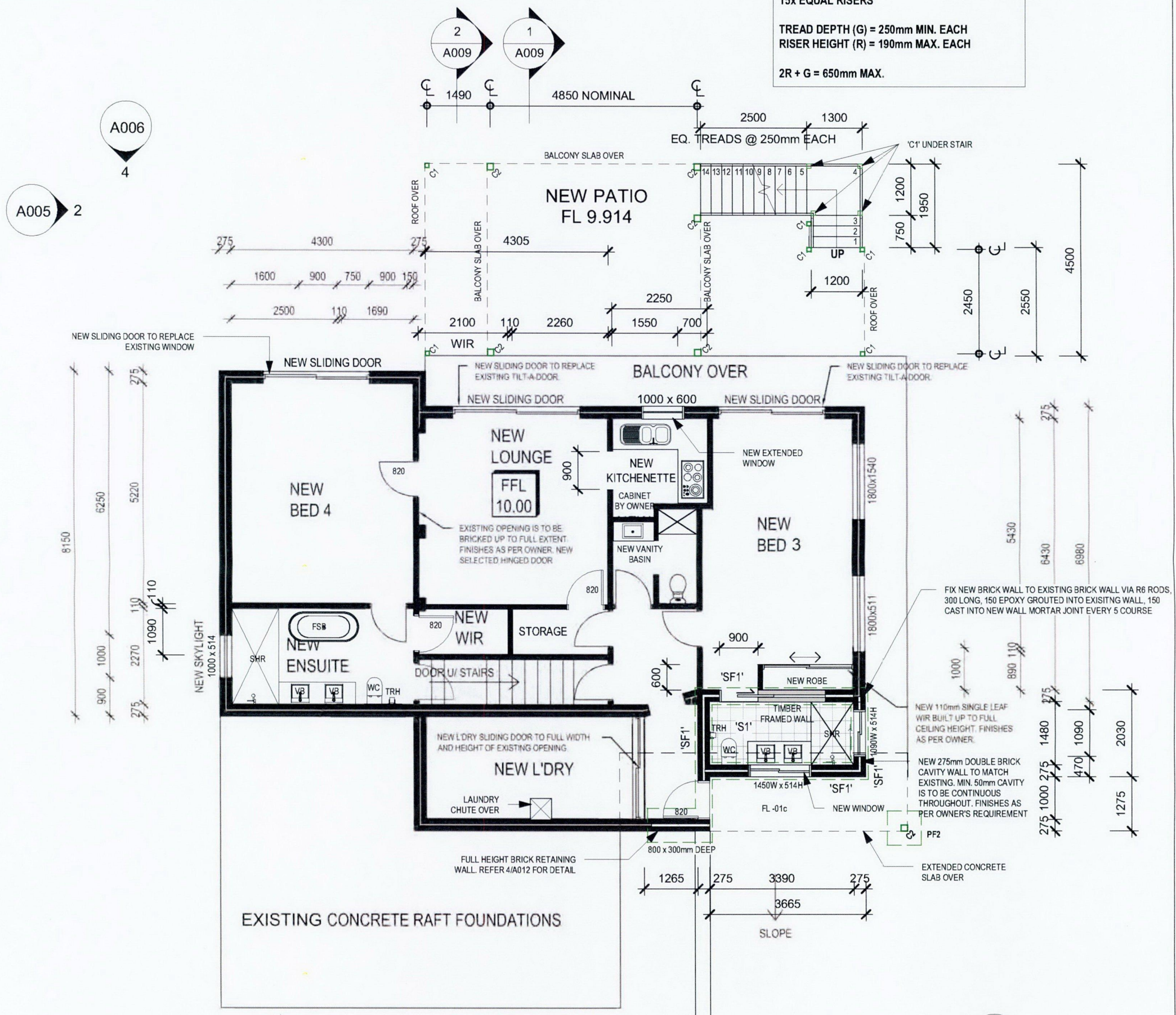
*THIS DRAWING IS TO BE USED ONLY FOR COUNCIL APPROVAL APPLICATION

<p>P.A.I.D Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com</p>		Drawing Title	SCALE: 1 : 200	REV No. A	DRAWING No. A000	JOB No. -
		SITE PLAN	SHEET SIZE: A3	PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA		
	A ISSUED FOR COUNCIL APPROVAL	19/05/2022				
No.	Description	Date				

IMPORTANT NOTES:

- a) All information as shown on floor plans are based on existing plans provided by clients. All information and details shown are diagrammatic only and is subject to differ on site.
- b) All dimensions as shown on floor plans are to be checked and confirmed on site prior to any construction work commencing. Building Designer accept no liability or responsibility for inaccuracies in dimensions.
- c) Final positioning of all fixtures and fittings are subject to differ on site as per owner, contractor or licensed plumber discretion. No sewer or hydraulic services layouts were available at time of producing working drawings. All soak wells are to be located on site prior to work commencing. Relevant authorities are to be contacted for further information regarding existing services if required.
- d) A building survey conducted by a licensed Land Surveyor is recommended for accurate positions of features / improvements relative to the dwelling is required
- e) All new construction work is to comply with all relevant regulations, standards, policies and codes. All work is to be completed by licensed and authorized professionals. Construction materials and products are to match existing.
- f) Final finishes, renders, appliances, fixtures and fittings as per owner's discretion and are subject to change
- g) No up-to-date drawings were available during completion of drawings (including site plan, floor plans, elevations etc.)
- h) Finished floor levels have been calculated from an assumed RL of 10.00
- h) Finished floor levels have been calculated from an assumed RL of 10.00

STAIRS CALCULATION:
 15x EQUAL RISERS
 TREAD DEPTH (G) = 250mm MIN. EACH
 RISER HEIGHT (R) = 190mm MAX. EACH
 2R + G = 650mm MAX.



1 RENOVATION PLAN - GROUND FLOOR
 1 : 100

IMPORTANT:
 - ALLOW SARKING / WATER PROOFING MEMBRANE TO ROOF. INSTALLED AS PER MANUFACTURER'S SPECIFICATION
 - ALL DOORS AND WINDOWS TO MANUFACTURER'S SPECIFICATIONS
 - ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES
 - PROVIDE HOLDING DOWN STRAPS FOR ROOF IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1684

BRICK NOTE:
 - NEW BRICKWORK TO MATCH EXISTING GENERALLY.
 - RENDER FINISH AS PER OWNER'S REQUIREMENT

TIMBER
 All timber work to be in accordance with
 a) AS 1684 - timber framing code
 b) AS 1720 - Timber structural code
 Roof to be tied down to resist uplift as required in AS 1684 - timber framing code
 All timber to be protected against fungal and termite attack in accordance with AS 3660 & AS 1604. Timber above ground not exposed to weather to be treated to hazard grade H2. Timber above ground exposed to weather to be treated to hazard grade H3. Timber in contact with ground to be treated to hazard level H4.
 Termite treatment to be termite resistant materials in accordance with AS 3660.1

GLAZING NOTE:
 - ALL GLAZING TO COMPLY WITH AS 2047 & AS 1288
 - ALL GLAZING TO BE SINGLE GLAZED, FITTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
 - ALL EXTERNAL GLAZED WINDOWS AND DOORS TO BE FITTED WITH FLYSCREEN

Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPeng (Structural) NPFR
 Signature: _____
 Date: 21 / 05 / 2022

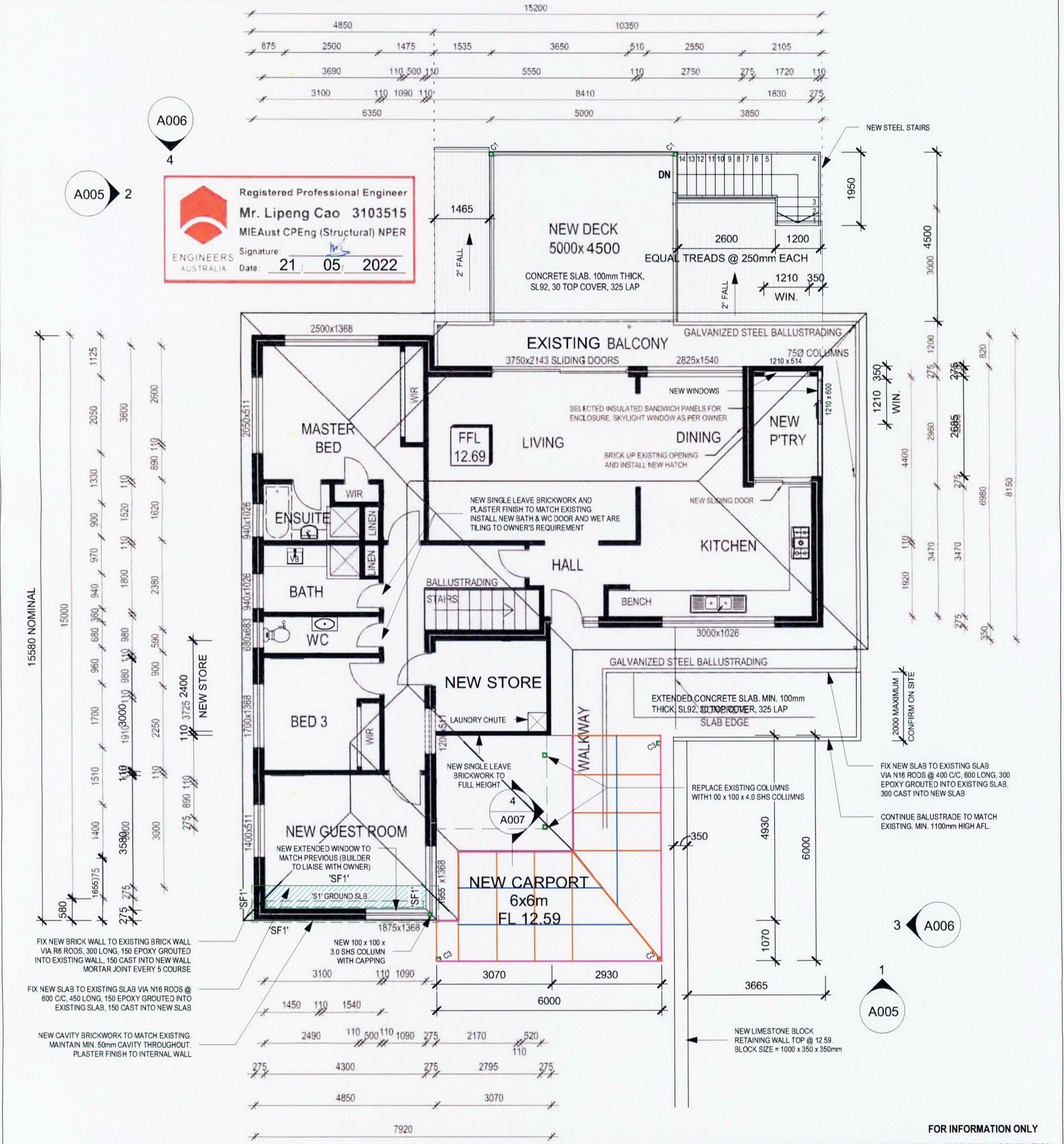
ENGINEERS AUSTRALIA

FOR INFORMATION ONLY
 *THIS DRAWING IS STRICTLY TO BE USED ONLY FOR COUNCIL APPROVAL APPLICATION

P.A.I.D Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com	Drawing Title RENOVATION PLAN - GROUND FLOOR		SCALE: 1 : 100	REV No. A	DRAWING No. A003	JOB No. -
	No. A ISSUED FOR COUNCIL APPROVAL Description		19/05/2022 Date	SHEET SIZE: A3	PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA	
						DATE: 19/05/2022

IMPORTANT NOTES:

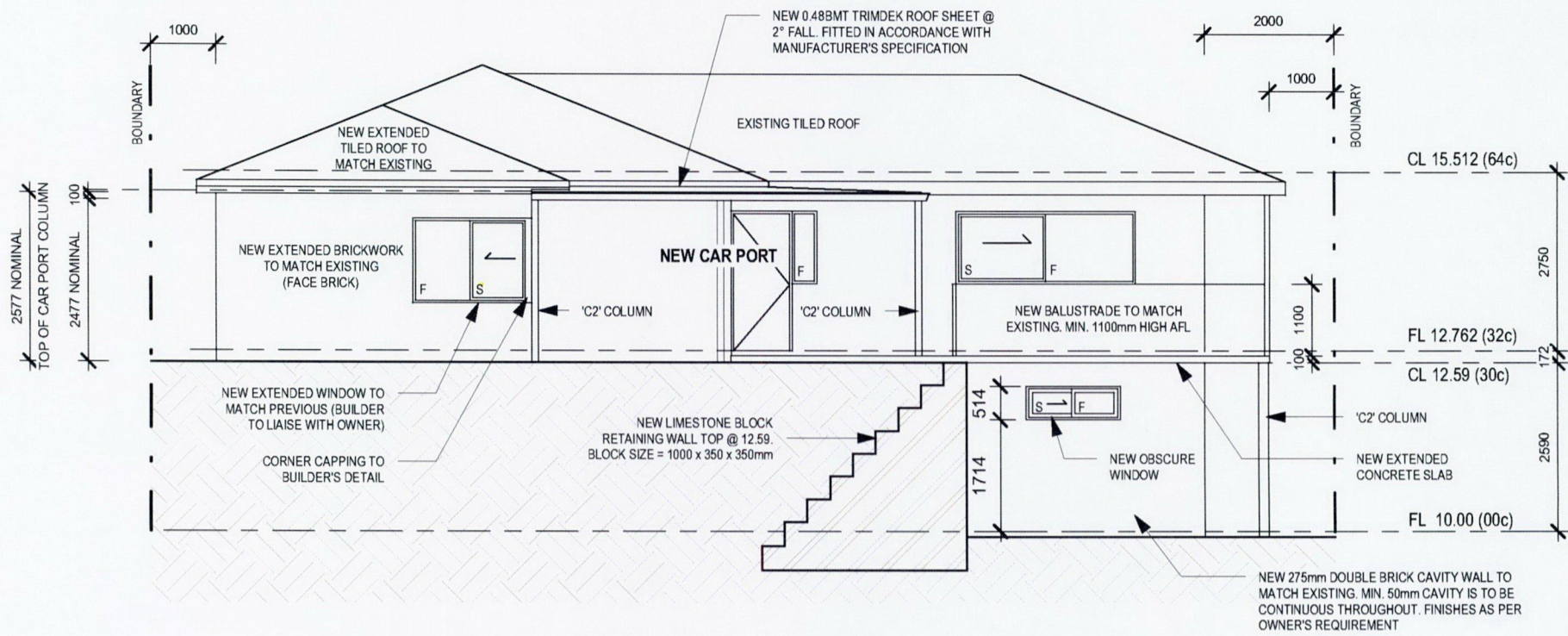
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- d) A building survey conducted by a licensed Land Surveyor is recommended for accurate positions of features / improvements relative to the dwelling is required
- e) All new construction work is to comply with all relevant regulations, standards, policies and codes. All work is to be completed by licensed and authorized professionals. Construction materials and products are to match existing.
- f) Final finishes, renders, appliances, fixtures and fittings as per owner's discretion and are subject to change
- g) No up-to-date drawings were available during completion of drawings (including site plan, floor plans, elevations etc.)
- h) Finished floor levels have been calculated from an assumed RL of 10.00
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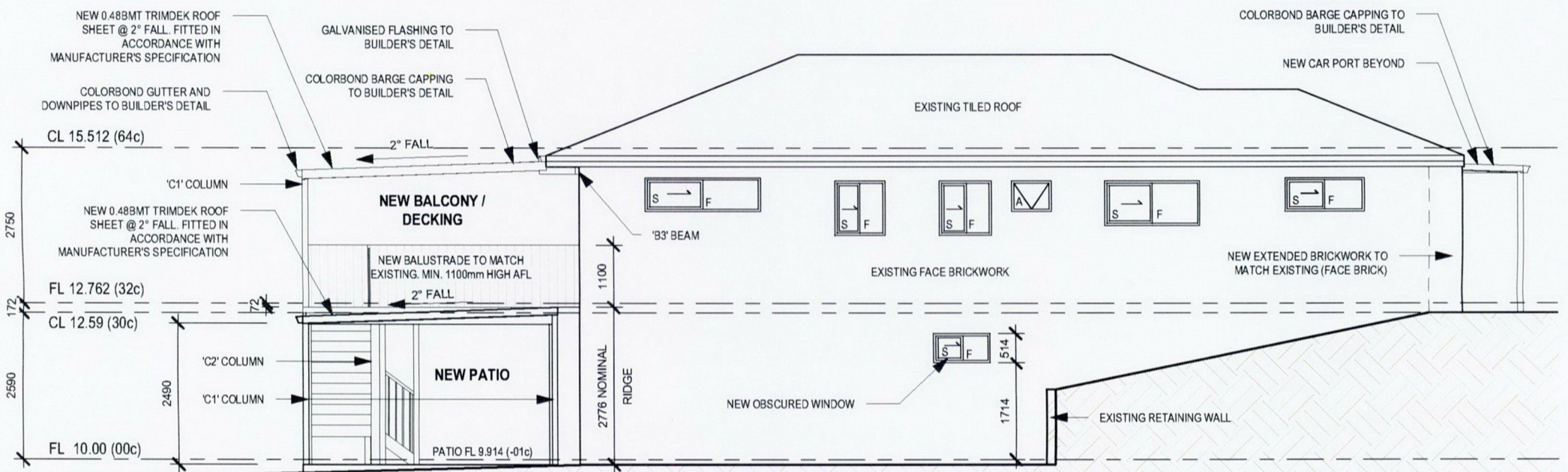
Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPEng (Structural) NPBR
 Signature: *[Signature]*
 Date: **21 / 05 / 2022**

FOR INFORMATION ONLY
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<p>P.A.I.D Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com</p>	Drawing Title RENOVATION PLAN - FIRST FLOOR		SCALE: 1 : 100	REV No. A	DRAWING No. A004	JOB No. -
	No. A		Description ISSUED FOR COUNCIL APPROVAL		Date 19/05/2022	
PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA			DATE: 19/05/2022			



1 ELEVATION 1
1 : 100



2 ELEVATION 2
1 : 100

Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPEng (Structural) NPER
 Signature: *[Signature]*
 Date: **21 / 05 / 2022**

BRICK NOTE:
 - NEW BRICKWORK TO MATCH EXISTING GENERALLY.
 - RENDER FINISH TO OWNER'S REQUIREMENT

IMPORTANT:
 - ALLOW SARKING / WATER PROOFING MEMBRANE TO ROOF. INSTALLED AS PER MANUFACTURER'S SPECIFICATION
 - ALL DOORS AND WINDOWS TO MANUFACTURER'S SPECIFICATIONS.
 - ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES, NOT FINISHED SIZES
 - PROVIDE HOLDING DOWN STRAPS FOR ROOF IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1684

GLAZING NOTE:
 - ALL GLAZING TO COMPLY WITH AS 2047 & AS 1288
 - ALL GLAZING TO BE SINGLE GLAZED, FITTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
 - ALL EXTERNAL GLAZED WINDOWS AND DOORS TO BE FITTED WITH FLYSCREEN

TIMBER
 All timber work to be in accordance with
 a) AS 1684 - timber framing code
 b) AS 1720 - Timber structural code
 Roof to be tied down to resist uplift as required in AS 1684 - timber framing code

 All timber to be protected against fungal and termite attack in accordance with AS 3660 & AS 1604. Timber above ground not exposed to weather to be treated to hazard grade H2. Timber above ground exposed to weather to be treated to hazard grade H3. Timber in contact with ground to be treated to hazard level H4.

 Termite treatment to be termite resistant materials in accordance with AS 3660.1

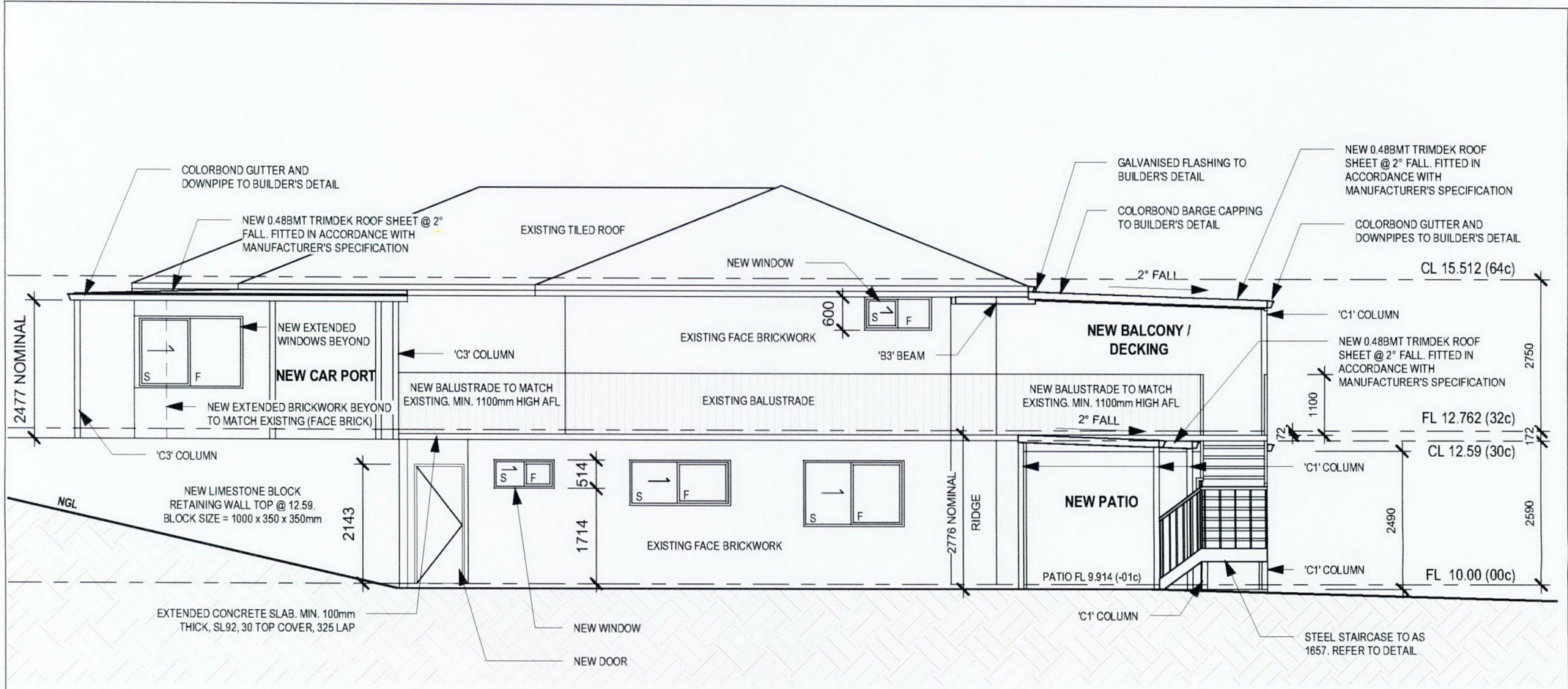
GENERAL NOTES:

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 - IT IS THE BUILDERS RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS
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 - THIS DRAWING MUST BE READ IN CONJUNCTION WITH ENERGY EFFICIENCY REPORT AND ANY OTHER RELEVANT CONSULTANTS DRAWINGS.
 - KITCHEN LAYOUT AND FIXTURES SHOWN ARE INDICATIVE ONLY FOR THE PURPOSE OF PRESENTATION. CLIENT TO LIAISE WITH SUB-CONTRACTOR FOR FINAL LAYOUT
- DIMENSION NOTE:**
 - DIMENSIONS SHOWN ON PLAN ARE NOMINAL ONLY, SIZES WILL VARY ONSITE, DUE TO ALLOWANCE FOR WALL FINISHES.
- INSULATION NOTE:**
 - INSTALL SARKING UNDER ROOF SHEET AND BATTS INSULATION THROUGHOUT CEILING SPACE IN ACCORDANCE WITH BCA, NCC, AND ENERGY EFFICIENCY REQUIREMENTS.
- WET AREA NOTES:**
 - WATERPROOFING TO WET AREAS AND EXTERNAL WALLS IN ACCORDANCE WITH AS3740 & NCC REQUIREMENTS.
 - TILED UPTURN MIN. 300mm ABOVE FINISH FLOOR LEVEL TO ALL WET AREAS
 - LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED BY PLUMBER. ALL PLUMBING PENETRATIONS TO BE FULLY WATERPROOF SEALED TO PLUMBER'S DETAIL.

FOR INFORMATION ONLY

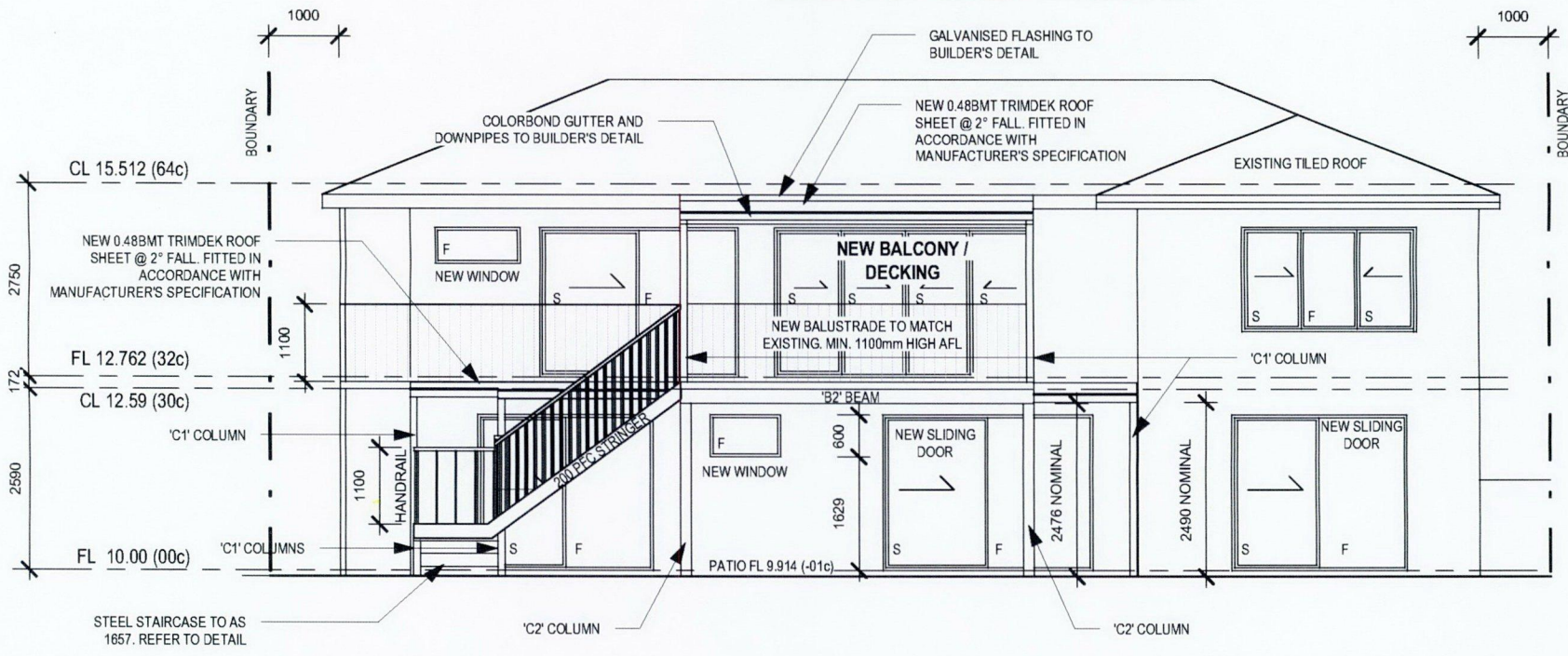
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	ELEVATION 1 AND 2		SHEET SIZE: A3	PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA							
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No.	Description	Date									
A	ISSUED FOR COUNCIL APPROVAL	19/05/2022									



3 ELEVATION 3
1 : 100

STAIRS CALCULATION:
15x EQUAL RISERS
TREAD DEPTH (G) = 250mm MIN. EACH
RISER HEIGHT (R) = 190mm MAX. EACH
2R + G = 650mm MAX.



4 ELEVATION 4
1 : 100

Registered Professional Engineer
Mr. Lipeng Cao 3103515
MIEAust CPEng (Structural) NPER
 Signature: *[Signature]*
 Date: **21 / 05 / 2022**

BRICK NOTE:
 - NEW BRICKWORK TO MATCH EXISTING GENERALLY.
 - RENDER FINISH TO OWNER'S REQUIREMENT

IMPORTANT:
 - ALLOW SARKING / WATER PROOFING MEMBRANE TO ROOF. INSTALLED AS PER MANUFACTURER'S SPECIFICATION
 - ALL DOORS AND WINDOWS TO MANUFACTURER'S SPECIFICATIONS.
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 - PROVIDE HOLDING DOWN STRAPS FOR ROOF IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1684

GLAZING NOTE:
 - ALL GLAZING TO COMPLY WITH AS 2047 & AS 1288
 - ALL GLAZING TO BE SINGLE GLAZED, FITTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
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TIMBER
 All timber work to be in accordance with
 a) AS 1684 - timber framing code
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 Termite treatment to be termite resistant materials in accordance with AS 3660.1

GENERAL NOTES:
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 - KITCHEN LAYOUT AND FIXTURES SHOWN ARE INDICATIVE ONLY FOR THE PURPOSE OF PRESENTATION. CLIENT TO LIAISE WITH SUB-CONTRACTOR FOR FINAL LAYOUT

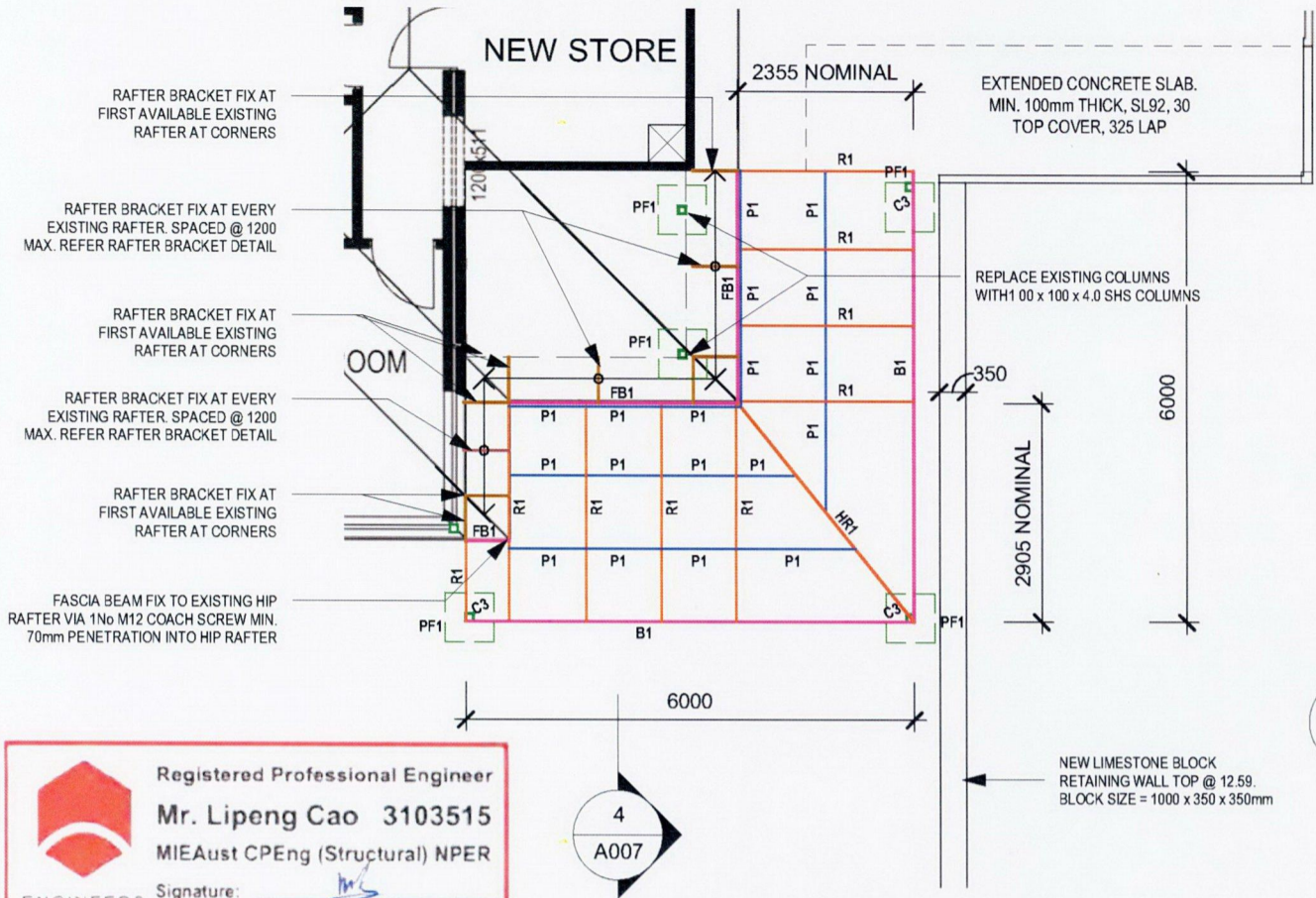
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INSULATION NOTE:
 - INSTALL SARKING UNDER ROOF SHEET AND BATTS INSULATION THROUGHOUT CEILING SPACE IN ACCORDANCE WITH BCA, NCC, AND ENERGY EFFICIENCY REQUIREMENTS.

WET AREA NOTES:
 - WATERPROOFING TO WET AREAS AND EXTERNAL WALLS IN ACCORDANCE WITH AS3740 & NCC REQUIREMENTS.
 - TILED UPTURN MIN. 300mm ABOVE FINISH FLOOR LEVEL TO ALL WET AREAS
 - LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED BY PLUMBER. ALL PLUMBING PENETRATIONS TO BE FULLY WATERPROOF SEALED TO PLUMBER'S DETAIL

FOR INFORMATION ONLY
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	No. A		SHEET SIZE: A3		PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA	
Description: ISSUED FOR COUNCIL APPROVAL		Date: 19/05/2022		DATE: 19/05/2022		



PAD FOOTING SCHEDULE		
FOOTING TYPE	'W' - WIDTH	'D' - DEPTH
PF1	650mm	900mm
PF2	800mm	1200mm

FOR PURLIN TO TRUSS / TRUSS TO BEAM:
3 No. 14g TEKS IN WEB
2 No. 14g TEKS IN EACH FLANGE



INTERNAL 75 x 50 CONNECTION BRACKET

*ALL BRACKETS TO BE MIN. 1.6mm THICK GALVANISED STEEL

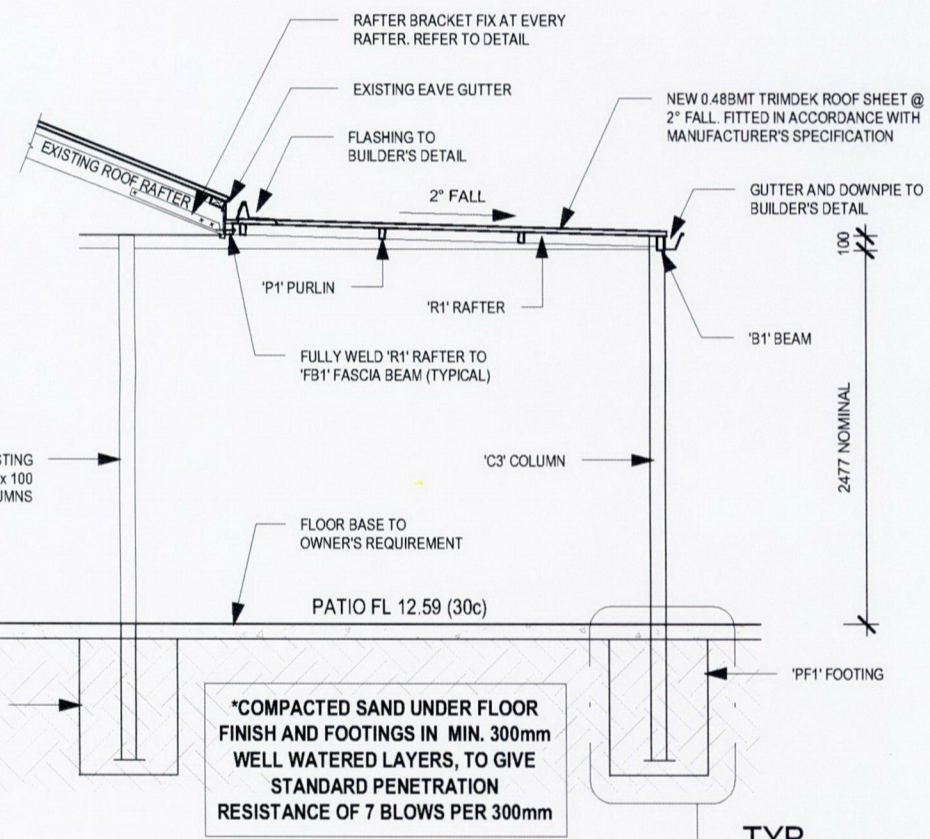
INTERNAL BRACKET - TYPICAL

1:5

Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPEng (Structural) NPER
 Signature: _____
 Date: 21 / 05 / 2022

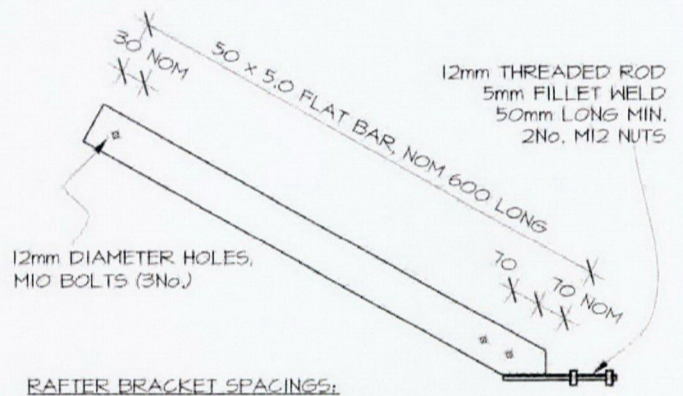
CARPORT LAYOUT PLAN

1:100



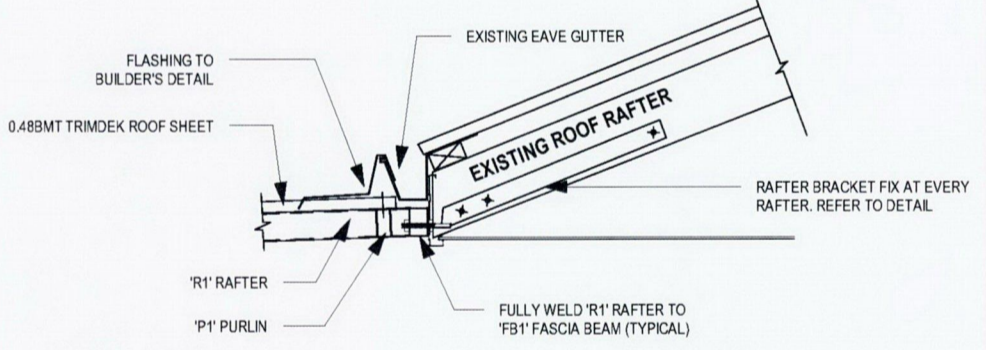
CAR PORT SECTION

1:50



TYPICAL RAFTER BRACKET N.T.S

SPACING BETWEEN RAFTER BRACKETS TO BE 1200mm MAX.



RAFTER TO FASCIA BEAM CONNECTION

1:20

*IMPORTANT: NO CEILING SHOULD BE ADDED TO THE CAR PORT STRUCTURE

*ALL CAPPINGS, GUTTER, DOWNPIPE, DRIP RAILS, FLASHING, POP-INS & CLIPS FITTED TO BUILDER'S DETAIL

STEEL WORK NOTES:
 ALL STEEL WORK TO COMPLY WITH NASH STANDARDS AND AUSTRALIAN STANDARDS:
 - AS 4100, AS 4600, AS 3623, AS 1554, AS 3678, AS 3679 AND/OR AS 1163.
 ALL STEELWORK TO BE FULLY GALVANISED
 ALL CONSTRUCTION WITHIN 1.5KM OF THE COAST OR 100M OF THE RIVER IS TO HAVE MARINE GRADE ROOF SHEETING, FLASHING, FIXINGS AND STEEL FINISH TO MEET THE MANUFACTURER'S RECOMMENDATIONS FOR MARINE EXPOSURE
 REFER TO SHEET S-01 FOR FULL STEEL WORK NOTES

FOOTING SCHEDULE	
PF1:	650 x 650 x 900mm DEEP MASS CONCRETE PAD FOOTING - TYPICAL

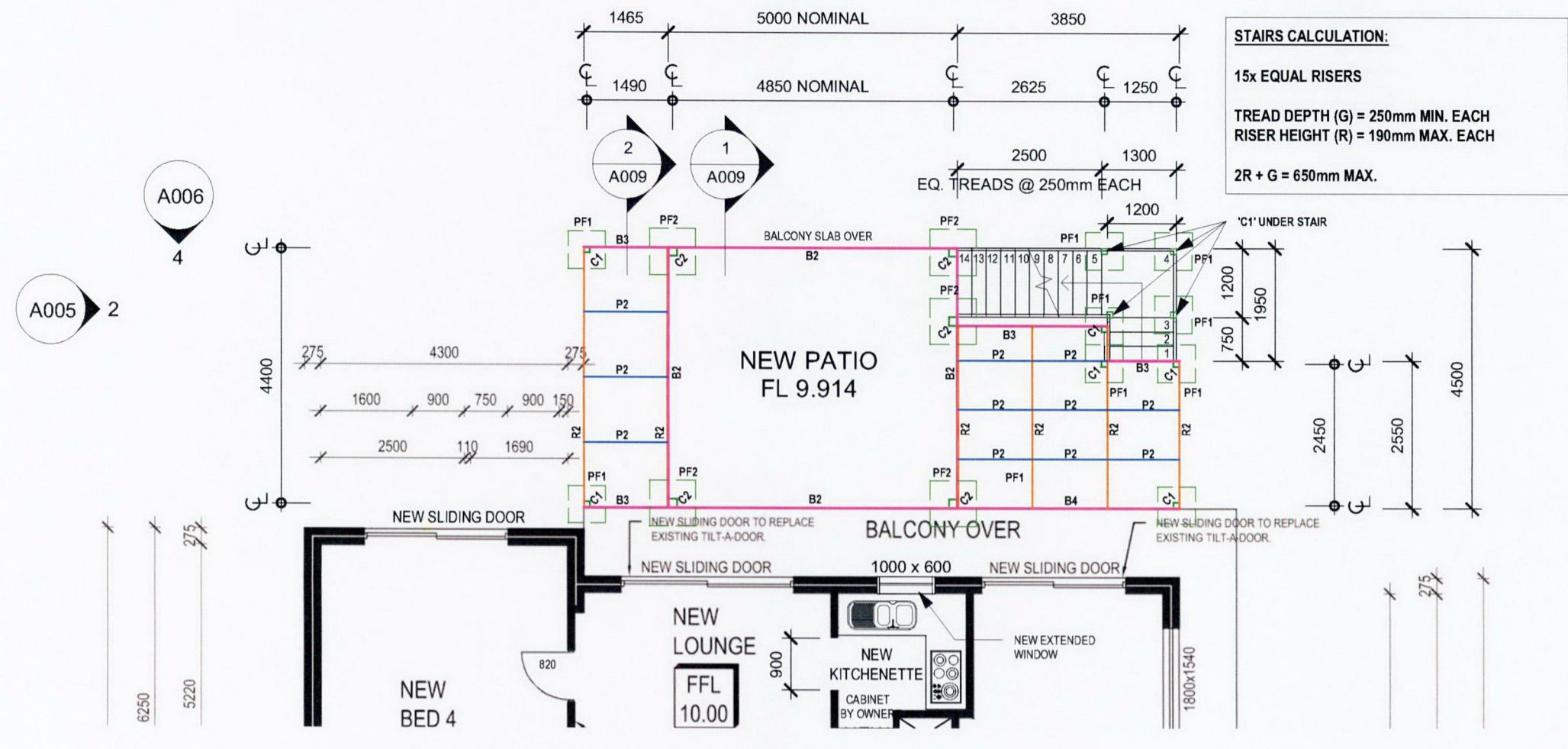
STEEL MEMBERS SCHEDULE - * ALL STEEL COMPONENTS TO BE FULLY GALVANISED	
R1:	75 x 50 x 3.0 DURAGAL RHS RAFTER. FULLY WELD TO 'C1' COLUMN AND 'FB1' FASCIA BEAM - TYPICAL
P1:	75 x 50 x 2.5 DURAGAL RHS PURLIN SPACED @ 1200mm C/C MAX. FIX TO 'R1' RAFTER VIA STANDARD INTERNAL BRACKET, 4x 14G TEK SCREWS. REFER DETAIL - TYPICAL
B1:	100 x 50 x 6.0 DURAGAL RHS BEAM. FULLY WELD TO 'C1' COLUMN. FULLY WELD BEAMS TOGETHER AT EDGE - TYPICAL
FB1:	75 x 50 x 2.5 DURAGAL RHS FASCIA BEAM. FIX TO EXISTING ROOF RAFTER VIA RAFTER BRACKET. REFER DETAIL - TYPICAL
C3:	100 x 100 x 4.0 DURAGAL SHS COLUMN. NOTCH TOP FOR 'B1' BEAM. FULLY WELD TO BEAM - TYPICAL

NOTES:
 1. ALL WORK TO BE COMPLETED IN ACCORDANCE TO NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS.
 2. IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS
 3. ALL DIMENSIONS AND FFL SHOWN ON THESE DRAWINGS MUST BE CHECKED AND CONFIRMED ON SITE BY BUILDER PRIOR TO ANY CONSTRUCTION WORK COMMENCING. BUILDING DESIGNER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN DIMENSIONS. DO NOT SCALE FROM DRAWINGS.
 4. ENSURE NO EXISTING STRUCTURES OR SERVICES ON THIS OR ADJACENT PROPERTIES WILL BE SURCHARGED OR UNDERMINED BY THESE WORKS. IF UNSURE, CONTACT THE STRUCTURAL ENGINEER FOR PROPER ADVICE PRIOR TO PROCEEDING
 5. ALL CONCRETE TO BE IN ACCORDANCE WITH AS 3600. MINIMUM CONCRETE STRENGTH TO BE 32MPa
 6. DOWNPIPES TYPE, SIZE AND LOCATION TO BE DETERMINED BY PLUMBER / BUILDER
 7. ANY DISCREPANCIES TO BE NOTIFIED TO THE OWNER OR STRUCTURAL ENGINEER PRIOR TO WORK COMMENCING.
 8. DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.

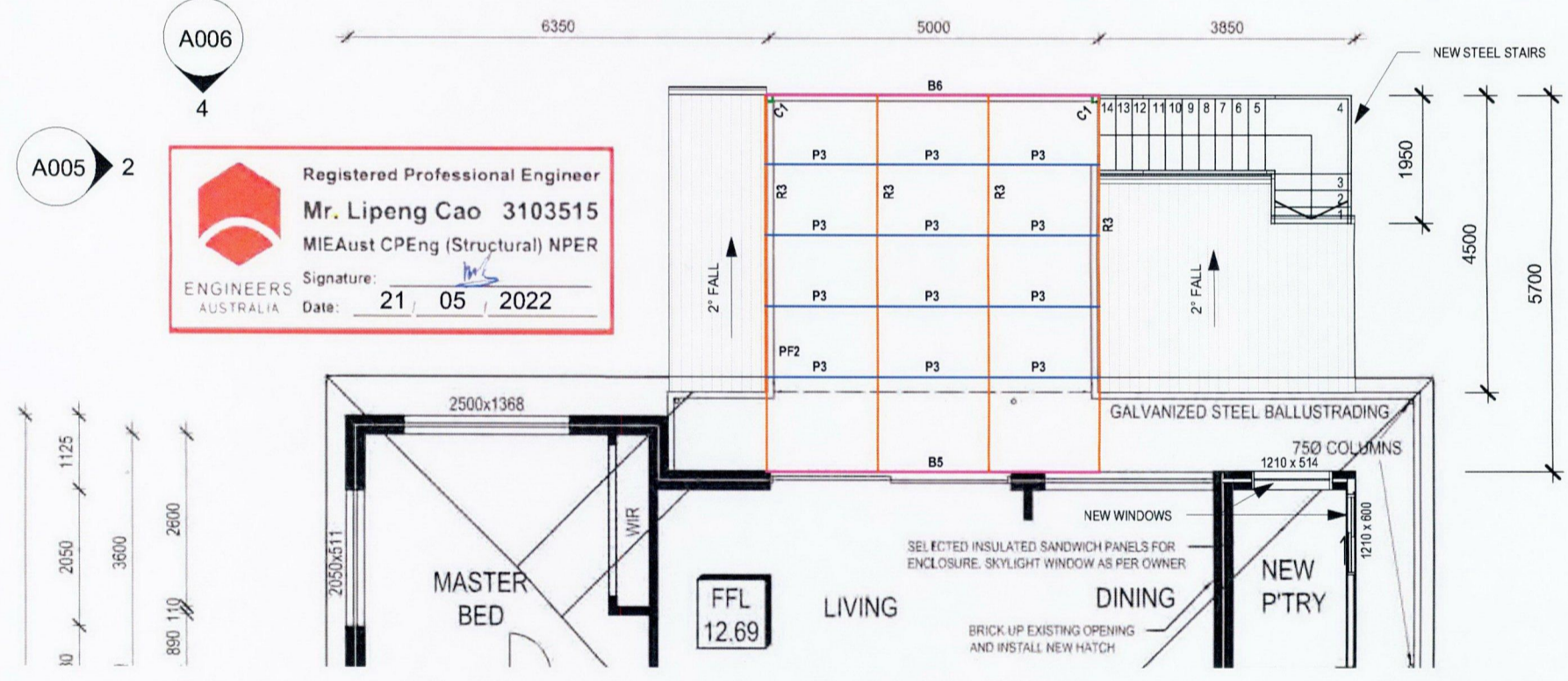
STEEL NOTES:
 1. ALL STEEL FRAMING TO HAVE POWDER COAT FINISHES AND PRIMER IN ACCORDANCE WITH AS 4506
 2. ALL STEEL CONSTRUCTION WITHIN 1.5KM OF THE COAST OR 100M OF THE RIVER IS TO HAVE MARINE GRADE ROOF SHEETING, FLASHING, FIXINGS AND PATIO TUBE FINISH TO MEET THE MANUFACTURER'S RECOMMENDATIONS FOR MARINE EXPOSURE
 3. USE ONLY CLASS 3 FIXINGS UNLESS PATIO LOCATION IS WITHIN 1.5KM OF THE COAST OR SALT WATER LAKE, THEN CLASS 4 FIXINGS ARE REQUIRED
 4. ALL NUTS, WASHERS AND BOLTS TO BE HOT-DIPPED GALVANISED IN ACCORDANCE WITH AS 1680 AND AS 1214
 5. PAINT ALL WELDS WITH COLD GALVANISING PAINT
 6. ALL WELDING TO BE UNDERTAKEN BY A QUALIFIED WELDER. ALL WELDS TO BE IN ACCORDANCE WITH AS 1554
 7. HOLLOW SECTIONS TO HAVE ENDS SEALED WITH MINIMUM 5mm STEEL PLATE

FOR INFORMATION ONLY
 *THIS DRAWING IS STRICTLY TO BE USED ONLY FOR COUNCIL APPROVAL APPLICATION

<p>P.A.I.D Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com</p>	Drawing Title: CARPORT DETAILS		SCALE: AS INDICATED	REV No. A	DRAWING No. A007	JOB No. -
	SHEET SIZE: A3		PROJECT: PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA			
A ISSUED FOR COUNCIL APPROVAL		19/05/2022		DATE: 19/05/2022		



1 PATIO LAYOUT PLAN - GROUND FLOOR
1 : 100



2 BALCONY DECK LAYOUT PLAN - FIRST FLOOR
1 : 100

*** IMPORTANT: NO CEILING SHOULD BE ADDED TO THE PATIO AND BALCONY STRUCTURE**

*** ALL CAPPINGS, GUTTER, DOWNPIPE, DRIP RAILS, FLASHING, POP-INS & CLIPS FITTED TO BUILDER'S DETAIL**

STEEL WORK NOTES:
ALL STEEL WORK TO COMPLY WITH NASH STANDARDS AND AUSTRALIAN STANDARDS:
- AS 4100, AS 4600, AS 3623, AS 1554, AS 3678, AS 3679 AND/OR AS 1163.
ALL STEELWORK TO BE FULLY GALVANISED
ALL CONSTRUCTION WITHIN 1.5KM OF THE COAST OR 100M OF THE RIVER IS TO HAVE MARINE GRADE ROOF SHEETING, FLASHING, FIXINGS AND STEEL FINISH TO MEET THE MANUFACTURER'S RECOMMENDATIONS FOR MARINE EXPOSURE
REFER TO SHEET S-01 FOR FULL STEEL WORK NOTES

FOOTING SCHEDULE

PF1:	650 x 650 x 900mm DEEP MASS CONCRETE PAD FOOTING - TYPICAL
PF2:	800 x 800 x 1200mm DEEP MASS CONCRETE PAD FOOTING - TYPICAL

PAD FOOTING SCHEDULE

FOOTING TYPE	'W' - WIDTH	'D' - DEPTH
PF1	650mm	900mm
PF2	800mm	1200mm

STEEL MEMBERS SCHEDULE - * ALL STEEL COMPONENTS TO BE FULLY GALVANISED

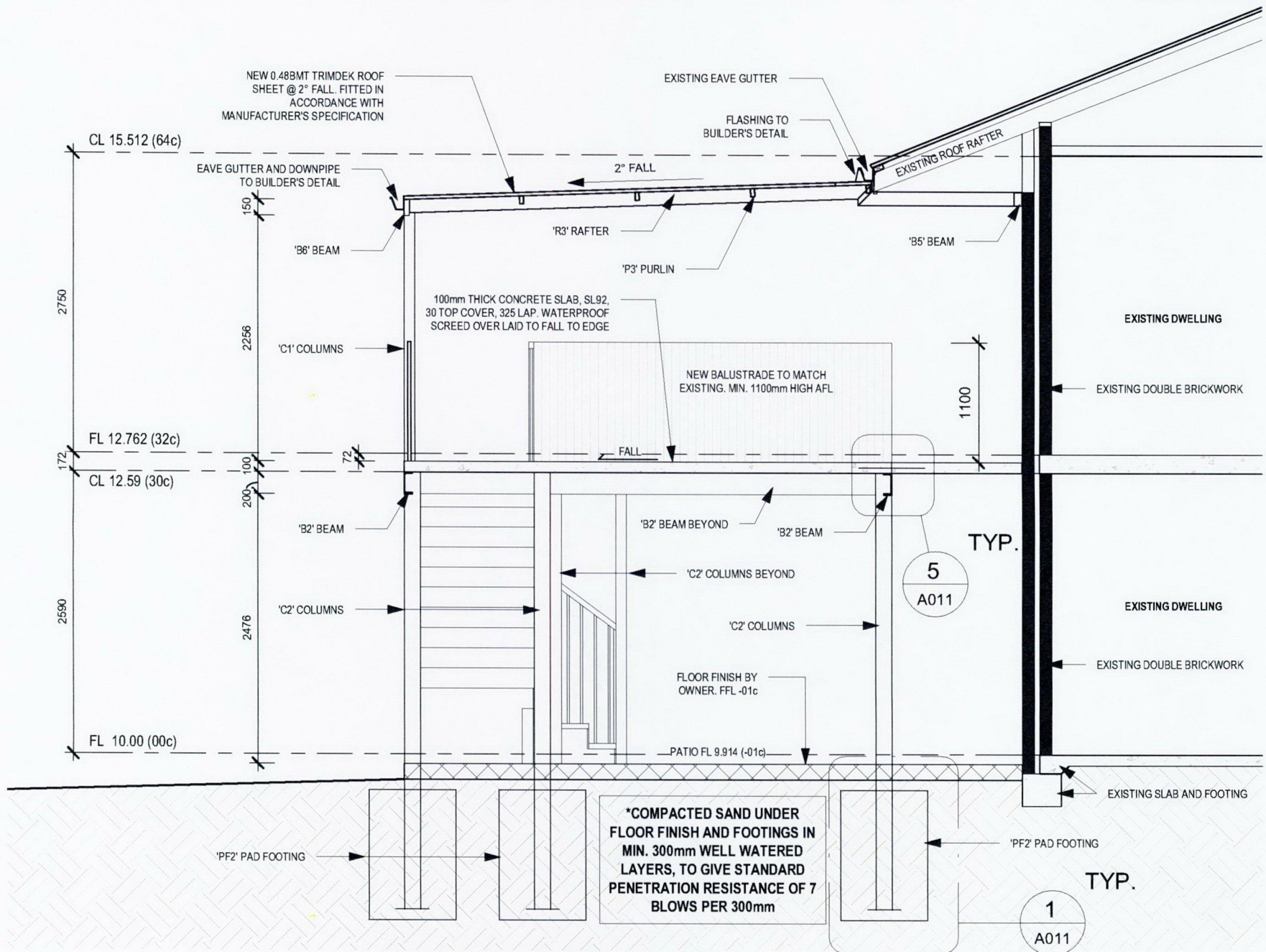
R2:	100 x 50 x 5.0 DURAGAL RHS RAFTER. FULLY WELD TO 'C'1' COLUMN AND 'B'3' BEAM - TYPICAL
R3:	125 x 75 x 5.0 DURAGAL RHS RAFTER. FULLY WELD TO 'C'1' COLUMN 'B'5' & 'B'6' BEAM - TYPICAL
P2:	75 x 50 x 2.5 DURAGAL RHS PURLIN SPACED @ 1200mm C/C MAX. FIX TO 'R'2' RAFTER VIA STANDARD INTERNAL BRACKET, 4x 14G TEK SCREWS. REFER DETAIL - TYPICAL
P3:	75 x 50 x 2.5 DURAGAL RHS PURLIN SPACED @ 1200mm C/C MAX. FIX TO 'R'3' RAFTER VIA STANDARD INTERNAL BRACKET, 4x 14G TEK SCREWS. REFER DETAIL - TYPICAL
B2:	200 PFC BEAM. FULLY WELD TO 'C'2' COLUMN. FULLY WELD BEAMS TOGETHER AT CORNER - TYPICAL
B3:	100 x 50 x 3.0 DURAGAL RHS BEAM. FULLY WELD TO 'C'1' COLUMN AND 'B'2' BEAM - TYPICAL
B4:	100 x 50 x 5.0 DURAGAL RHS BEAM. FULLY WELD TO 'C'1' COLUMN AND 'B'2' BEAM - TYPICAL
B5:	125 x 75 x 3.0 DURAGAL RHS BEAM. FIX ONTO EXISTING BRICKWORK VIA M12 CHEMICAL ANCHOR BOLT @ 900 C/C MAX. MIN. 80mm EMBEDMENT INTO BRICKWORK
B6:	150 x 50 x 3.0 DURAGAL RHS BEAM. FULLY WELD TO 'B'1' COLUMN - TYPICAL
C1:	100 x 100 x 3.0 SHS COLUMN. NOTCH TOP FOR BEAMS. FULLY WELD TO BEAMS - TYPICAL
C2:	150 x 150 x 9.0 SHS COLUMN. NOTCH TOP FOR 'B'2' BEAM. FULLY WELD TO BEAM - TYPICAL

NOTES:
1. ALL WORK TO BE COMPLETED IN ACCORDANCE TO NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS.
2. IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS AND REQUIREMENTS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS
3. ALL DIMENSIONS AND FFL SHOWN ON THESE DRAWINGS MUST BE CHECKED AND CONFIRMED ON SITE BY BUILDER PRIOR TO ANY CONSTRUCTION WORK COMMENCING. BUILDING DESIGNER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN DIMENSIONS. DO NOT SCALE FROM DRAWINGS.
4. ENSURE NO EXISTING STRUCTURES OR SERVICES ON THIS OR ADJACENT PROPERTIES WILL BE SURCHARGED OR UNDERMINED BY THESE WORKS. IF UNSURE, CONTACT THE STRUCTURAL ENGINEER FOR PROPER ADVICE PRIOR TO PROCEEDING
5. ALL CONCRETE TO BE IN ACCORDANCE WITH AS 3600. MINIMUM CONCRETE STRENGTH TO BE 32MPa
6. DOWNPIPES TYPE, SIZE AND LOCATION TO BE DETERMINED BY PLUMBER / BUILDER
7. ANY DISCREPANCIES TO BE NOTIFIED TO THE OWNER OR STRUCTURAL ENGINEER PRIOR TO WORK COMMENCING.
8. DRAINAGE REQUIREMENTS (SUBSOIL, SOAKWELLS, RUNOFF AND STORMWATER) ARE TO BE DETERMINED ON SITE. ENSURE THERE IS NO DISCHARGE OR POOLING OF WATER AGAINST THE SLAB AND / OR FOOTINGS.

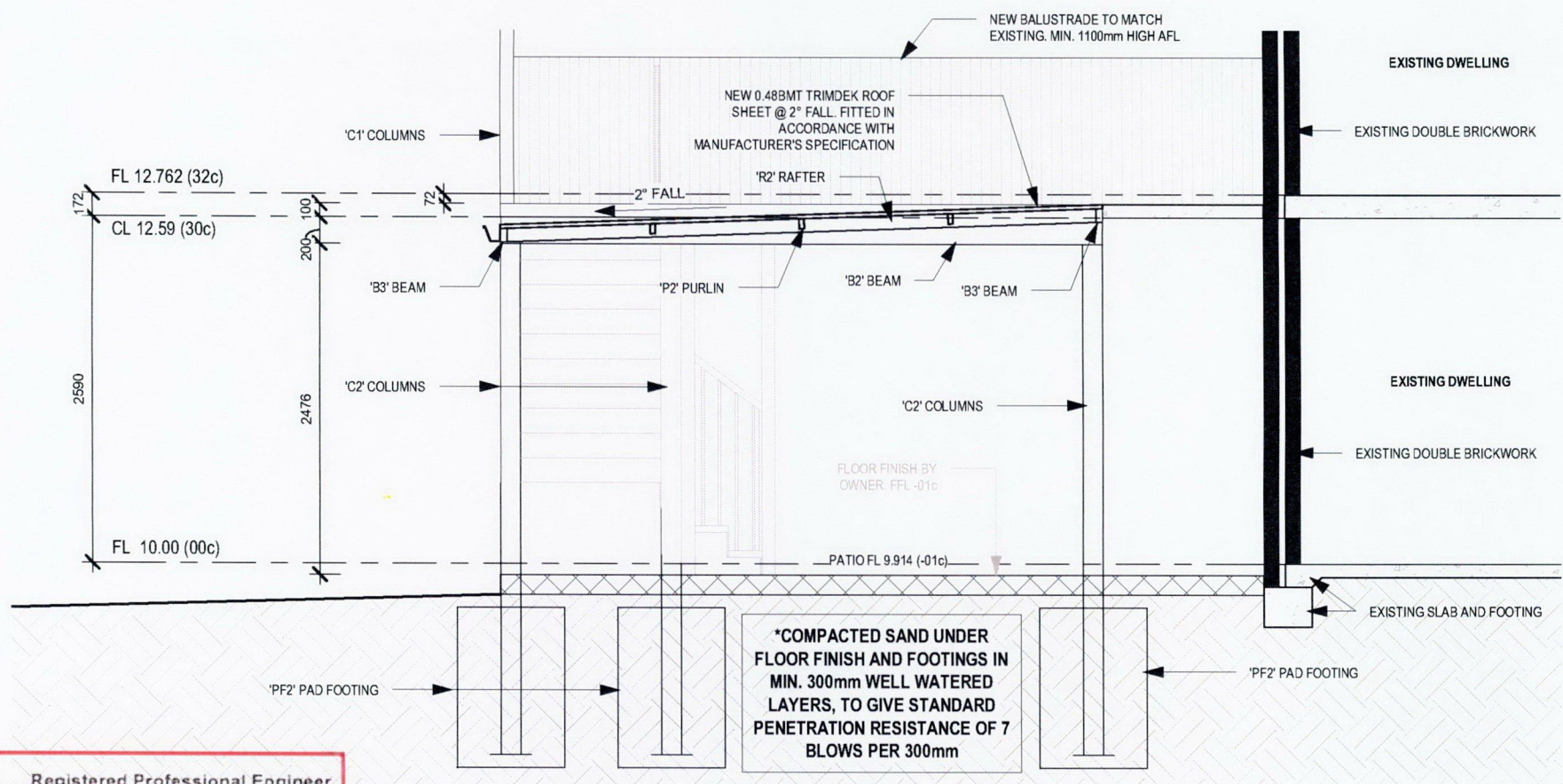
STEEL NOTES:
1. ALL STEEL FRAMING TO HAVE POWDER COAT FINISHES AND PRIMER IN ACCORDANCE WITH AS 4506
2. ALL STEEL CONSTRUCTION WITHIN 1.5KM OF THE COAST OR 100M OF THE RIVER IS TO HAVE MARINE GRADE ROOF SHEETING, FLASHING, FIXINGS AND PATIO TUBE FINISH TO MEET THE MANUFACTURER'S RECOMMENDATIONS FOR MARINE EXPOSURE
3. USE ONLY CLASS 3 FIXINGS UNLESS PATIO LOCATION IS WITHIN 1.5KM OF THE COAST OR SALT WATER LAKE, THEN CLASS 4 FIXINGS ARE REQUIRED
4. ALL NUTS, WASHERS AND BOLTS TO BE HOT-DIPPED GALVANISED IN ACCORDANCE WITH AS 1880 AND AS 1214
5. PAINT ALL WELDS WITH COLD GALVANISING PAINT
6. ALL WELDING TO BE UNDERTAKEN BY A QUALIFIED WELDER. ALL WELDS TO BE IN ACCORDANCE WITH AS 1554
7. HOLLOW SECTIONS TO HAVE ENDS SEALED WITH MINIMUM 5mm STEEL PLATE

***THIS DRAWING IS STRICTLY TO BE USED ONLY FOR COUNCIL APPROVAL APPLICATION**

<p>P.A.I.D. Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com</p>	<p>Drawing Title: PATIO AND BALCONY DECK LAYOUT PLANS</p>	<p>SCALE: 1 : 100</p>	<p>REV No. A</p>	<p>DRAWING No. A008</p>	<p>JOB No. -</p>
	<p>No. A</p>	<p>Description: ISSUED FOR COUNCIL APPROVAL</p>	<p>Date: 19/05/2022</p>	<p>PROJECT: PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA</p>	
<p>DATE: 19/05/2022</p>					



1 BALCONY DECK SECTION
1 : 50



2 PATIO SECTION
1 : 50

Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPEng (Structural) NPER
 Signature: _____
 Date: **21 / 05 / 2022**

* ALL CAPPINGS, GUTTER, DOWNPIPE, DRIP RAILS, FLASHING, POP-INS & CLIPS FITTED TO BUILDER'S DETAIL

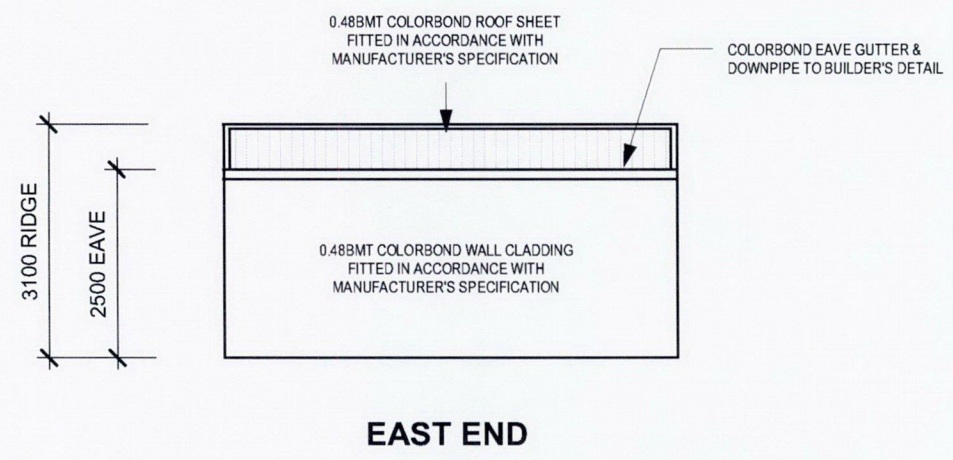
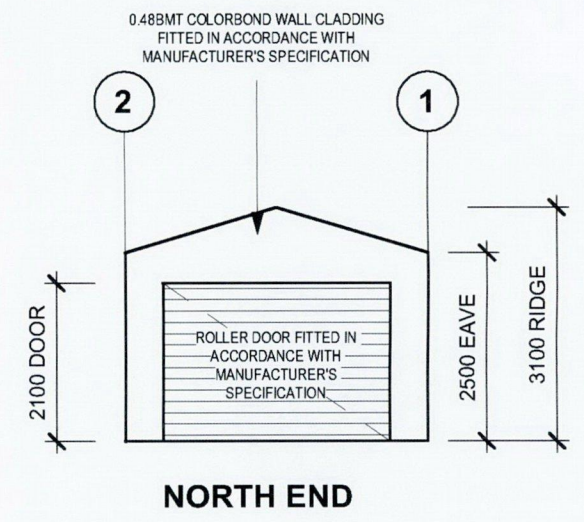
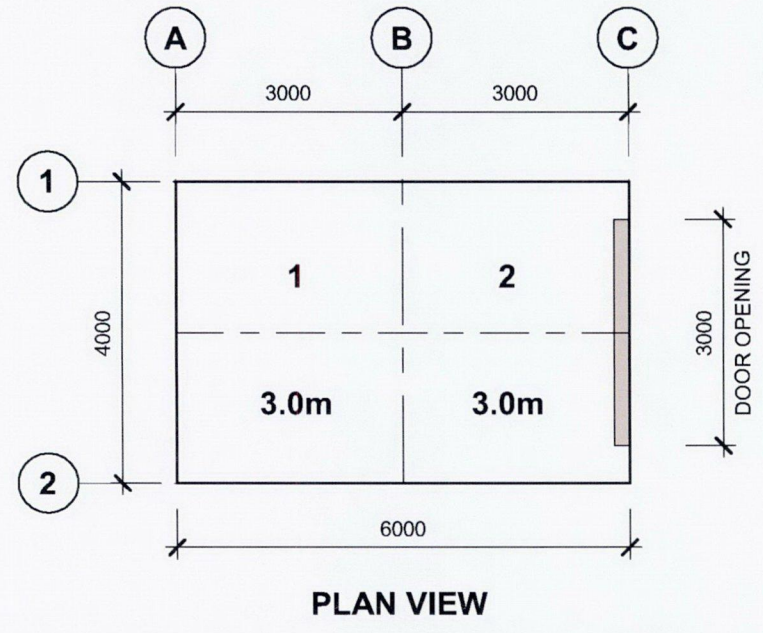
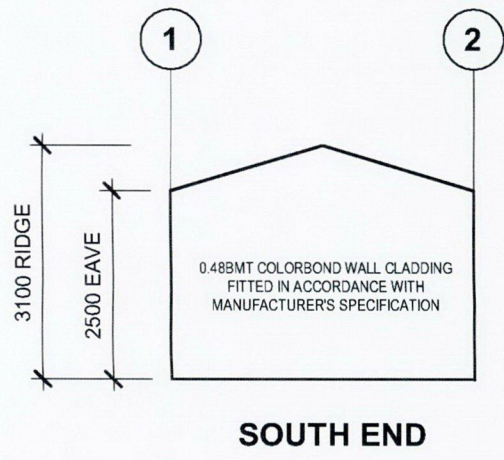
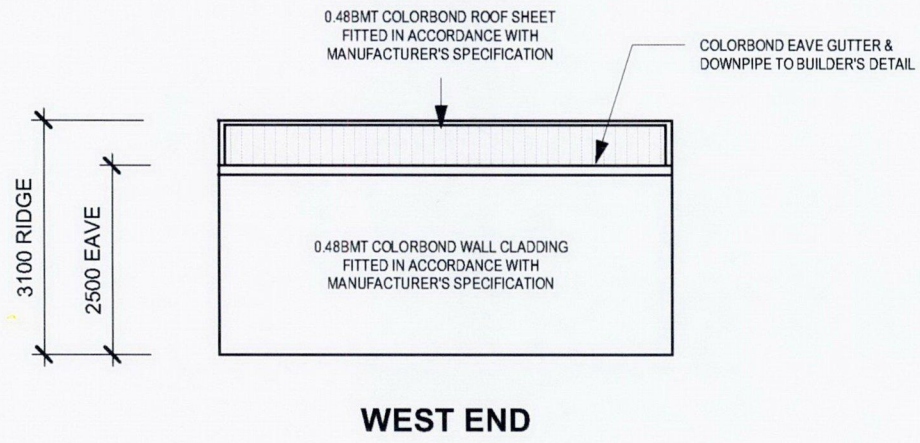
STEEL WORK NOTES:
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 REFER TO SHEET S-01 FOR FULL STEEL WORK NOTES

* IMPORTANT: NO CEILING SHOULD BE ADDED TO THE PATIO AND BALCONY STRUCTURE

STEEL NOTES:
 1. ALL STEEL FRAMING TO HAVE POWDER COAT FINISHES AND PRIMER IN ACCORDANCE WITH AS 4508
 2. ALL STEEL CONSTRUCTION WITHIN 1.5KM OF THE COAST OR 100M OF THE RIVER IS TO HAVE MARINE GRADE ROOF SHEETING, FLASHING, FIXINGS AND PATIO TUBE FINISH TO MEET THE MANUFACTURER'S RECOMMENDATIONS FOR MARINE EXPOSURE
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		PATIO AND BALCONY DECK SECTIONS	SHEET SIZE: A3	PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA		
	A ISSUED FOR COUNCIL APPROVAL No. Description Date					DATE: 19/05/2022



***IMPORTANT: NO INTERNAL WALL OR CEILING SHOULD BE ADDED TO THE SHED STRUCTURE**

*** ALL CAPPINGS, GUTTER, DOWNPIPE, DRIP RAILS, FLASHING, POP-INS & CLIPS FITTED TO BUILDER'S DETAIL**

STEEL WORK NOTES:
 ALL STEEL WORK TO COMPLY WITH NASH STANDARDS AND AUSTRALIAN STANDARDS:
 - AS 4100, AS 4800, AS 3623, AS 1554, AS 3678, AS 3679 AND/OR AS 1163.
 ALL STEELWORK TO BE FULLY GALVANISED
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NOTES:
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Registered Professional Engineer
Mr. Lipeng Cao 3103515
 MIEAust CPEng (Structural) NPER
 Signature: _____
 Date: **21 / 05 / 2022**

ENGINEERS AUSTRALIA

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 P.A.I.D Development Pty Ltd Address: PO Box 425 Leederville, Western Australia 6902 Website: www.paidgroup.com		Drawing Title	SCALE: 1 : 100	REV No. A	DRAWING No. A014	JOB No. -
		SHED LAYOUT PLANS	SHEET SIZE: A3	PROJECT PROPOSED NEW ADDITION TO EXISTING DWELLING ON LOT 161, #42 YALLAMBEE CRESCENT, WANNEROO WA		
	A ISSUED FOR COUNCIL APPROVAL No. Description Date					