

**PAVING AREAS**

EXPOSED CONCRETE PAVING 75m<sup>2</sup>

**ROOF AREA**

TOTAL 251m<sup>2</sup>

**STORMWATER CALCULATIONS**

IMPERVIOUS AREA 326m<sup>2</sup>

REQUIRED SOAKWELL CAPACITY

AREA X 0.0122

REQUIRED 3.97m<sup>3</sup>

1500Ø x 1200D

1500Ø x 1200D 4.24m<sup>3</sup>

ALL STORMWATER PIPES MUST BE

90mm PVC ON MIN 1:60 FALL

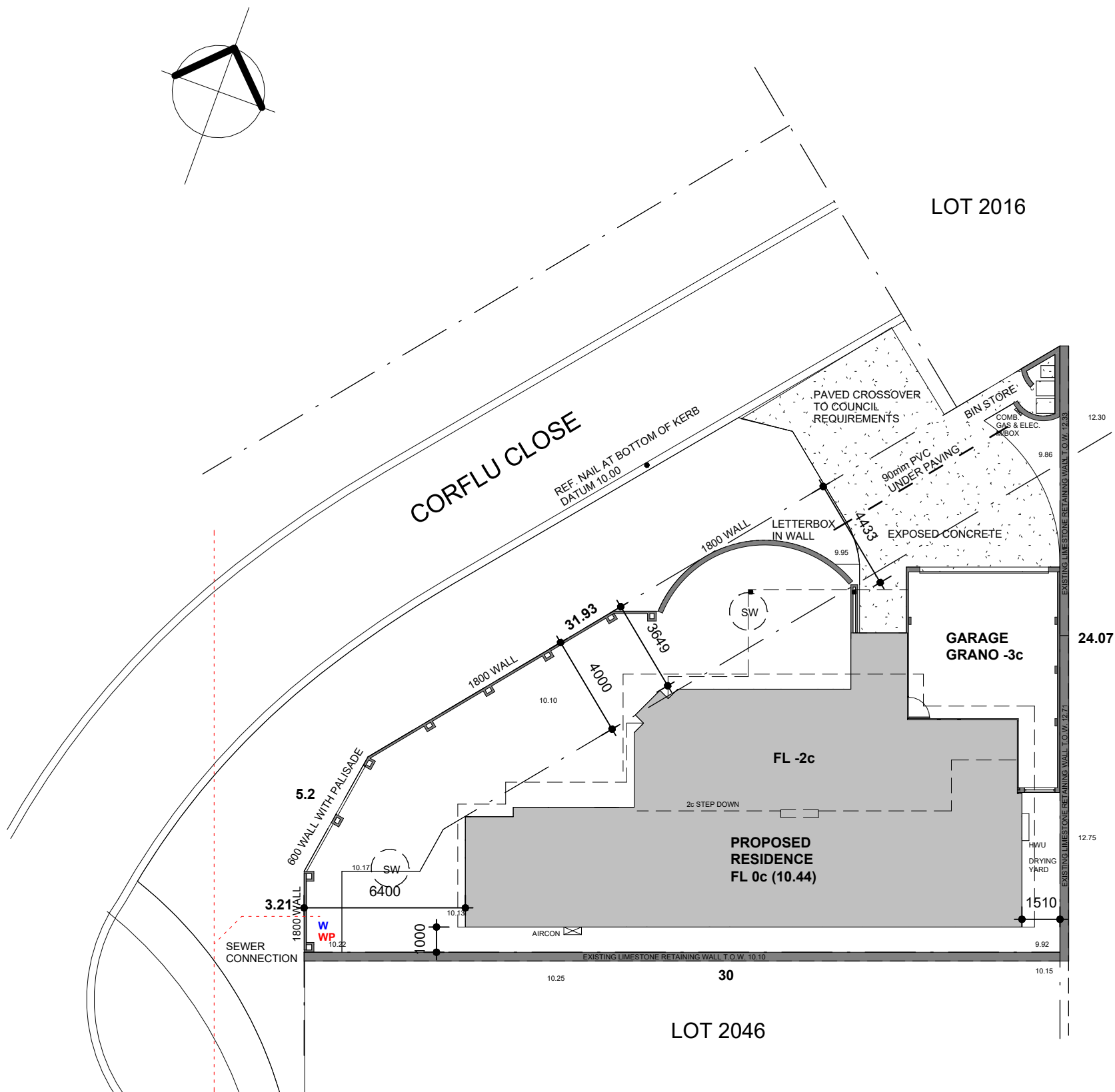
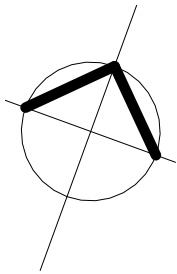
OPEN GRATES TO THE BASE OF ALL

DOWNPIPES

**W** WATER CONNECTION

**WP** WESTERNPOWER

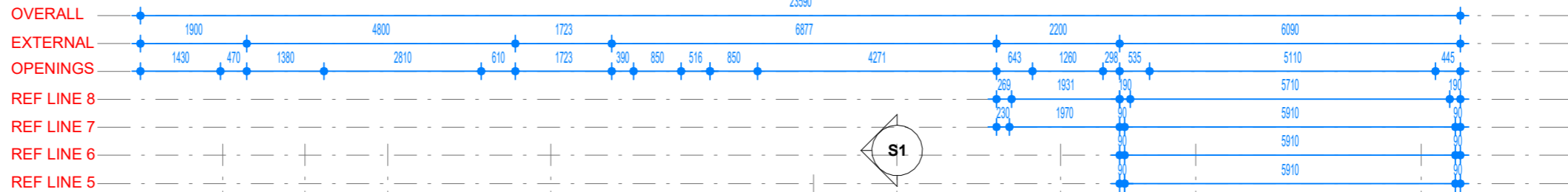
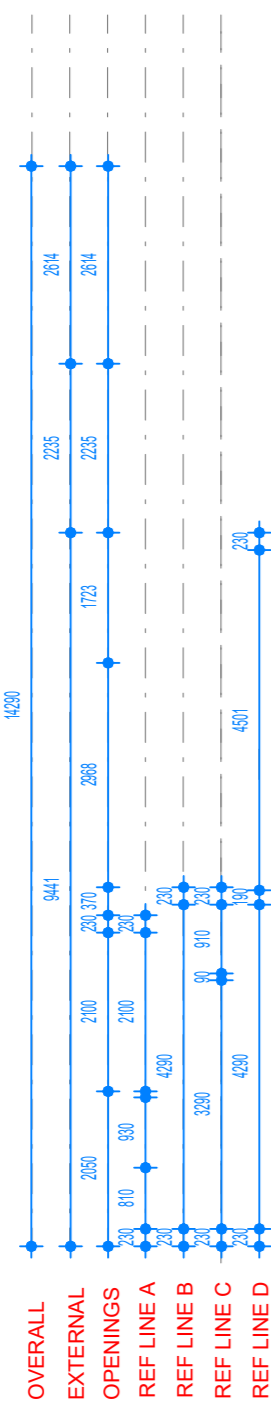
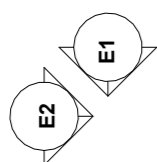
DP 423168



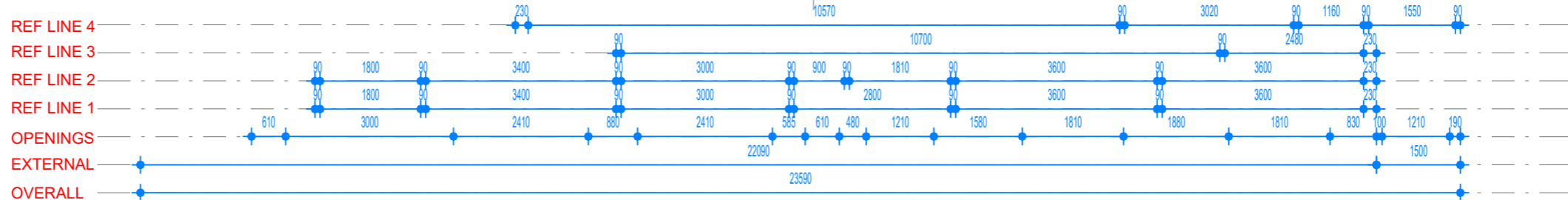
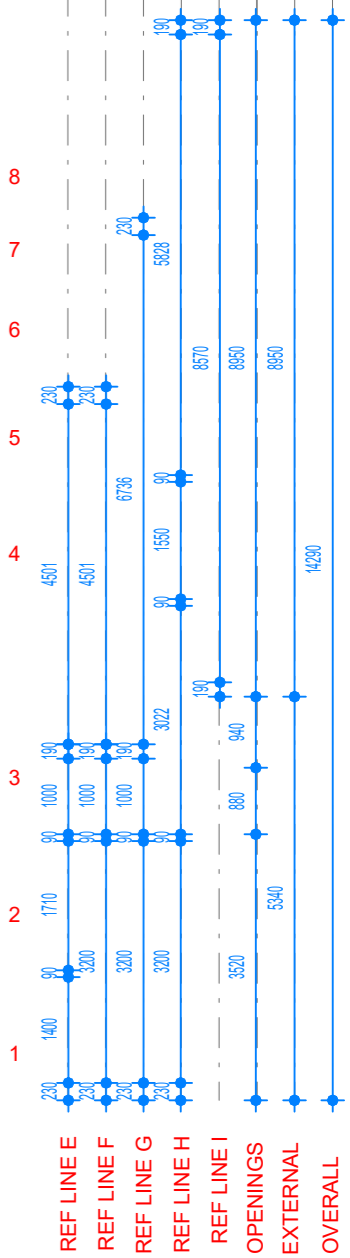
**AREAS**

GROUND FLOOR  
GARAGE & STORE  
TOTAL

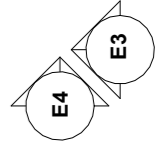
174.5m<sup>2</sup>  
41.6m<sup>2</sup>  
216.1m<sup>2</sup>



Boundary wall @ 29c with non combustible squareline gutter  
Physical termite barrier to boundary wall



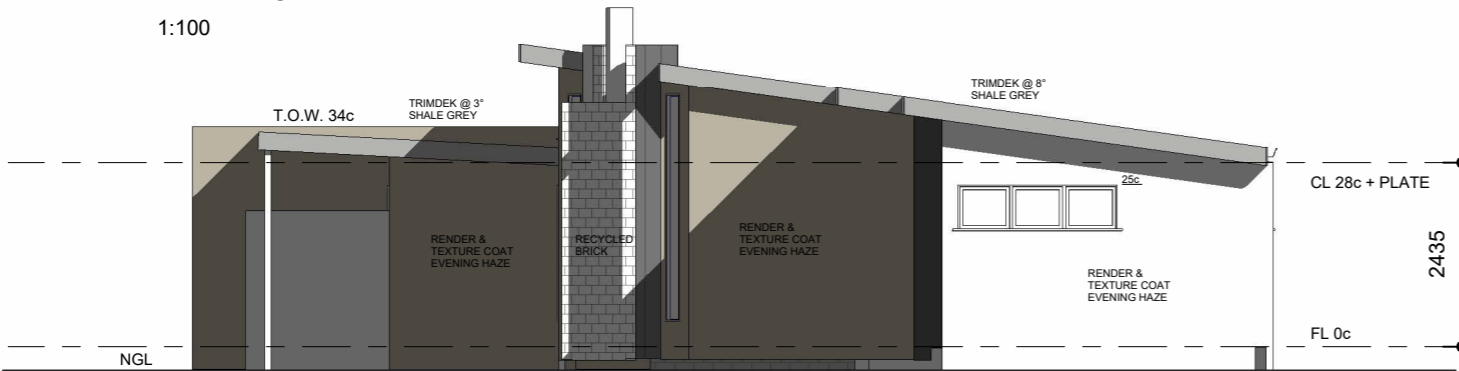
Ⓢ DENOTES HARD WIRED SMOKE DETECTOR





**ELEVATION 1**

1:100



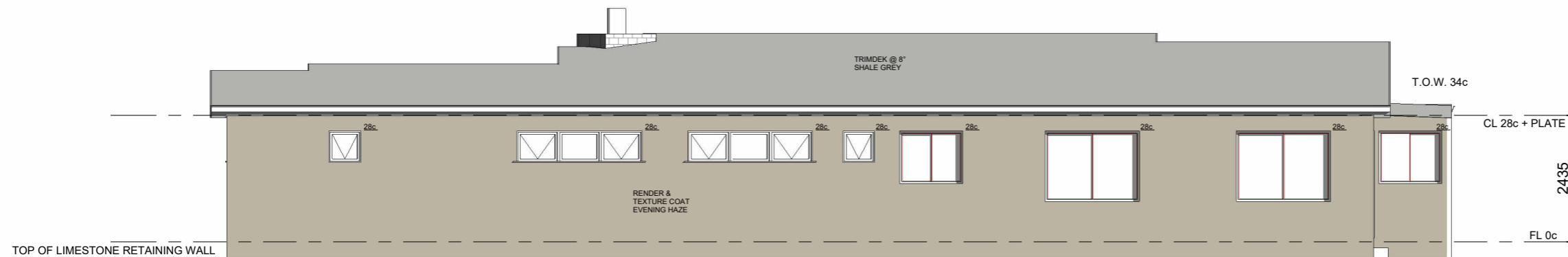
**ELEVATION 2**

1:100



**ELEVATION 3**

1:100



**ELEVATION 4**

1:100

Project number

P2021160

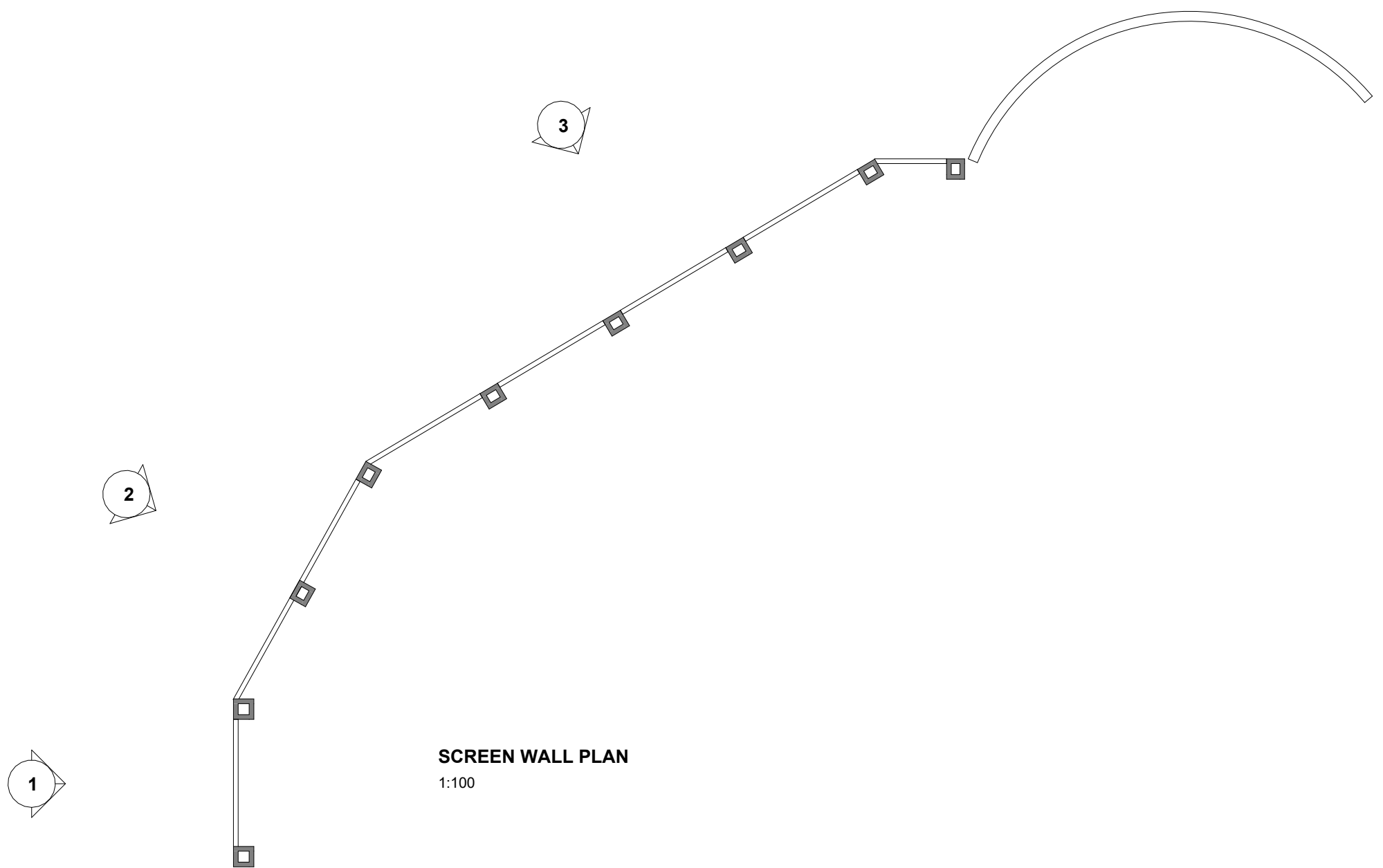
Date

DECEMBER 2021

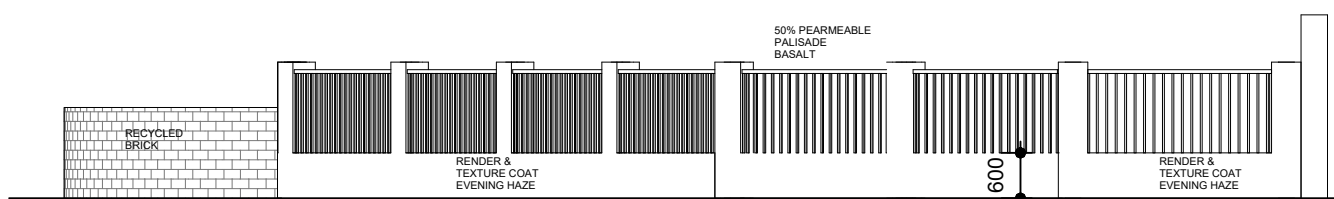
Drawn by

Author

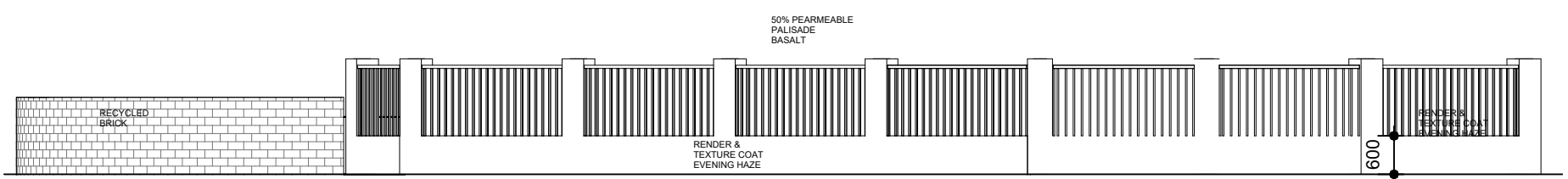
**LOT 2045 #24 BONAVISTA  
ROAD, MINDARIE**



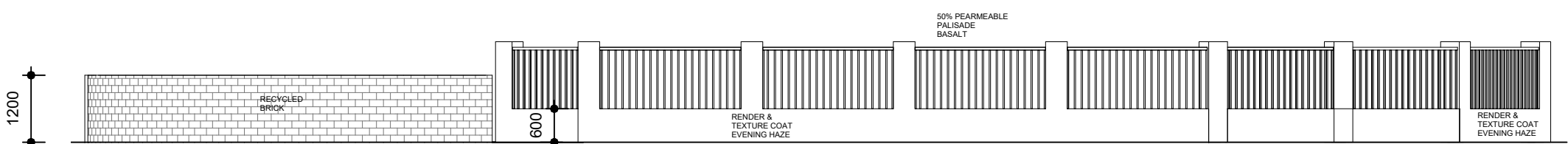
**SCREEN WALL PLAN**  
1:100



**ELEVATION 1**  
1:100



**ELEVATION 2**  
1:100



**ELEVATION 3**  
1:100