



SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
 - POWER POLE ○ PP
 - LIGHT POLE ○ LP
 - STAY POLE ○ SP
 - S. WIRE ANCHOR ○ SWA
 - UNI PILLAR ○ UP
 - EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
 - METER ○ GM
- SEWERAGE**
- MANHOLE ○ SMH
 - INSPECT. SHAFT ○ IS
 - INSPECT. OPENING ○ IO
 - HOUSE CONNECTION ○ HC
 - HOUSE CONN. INDICATOR ○ HCI
 - INSPECT. SHAFT CONNECTION ○ IBC
- TELE.**
- PIT ○ TEL
 - PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
 - GULLY PIT ○ GPP
 - LOT PIT ○ LDP
 - HOUSE CONN. ○ DHC
 - SIDE ENTRY PIT ○ SEP
 - COMBINATION ENTRY PIT ○ CEP
- WATER**
- STOP VALVE ○ WSV
 - HYDRANT ○ HY
 - FLUSH POINT ○ FP
 - WATER TAP ○ WTP
 - WATER METER ○ WM
 - PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ○ DN
 - PEG FOUND ○ PF
 - PEG DISTURBED ○ PD
 - PEG GONE ○ PG
 - STAKE FOUND ○ STF

LOT RECORDS

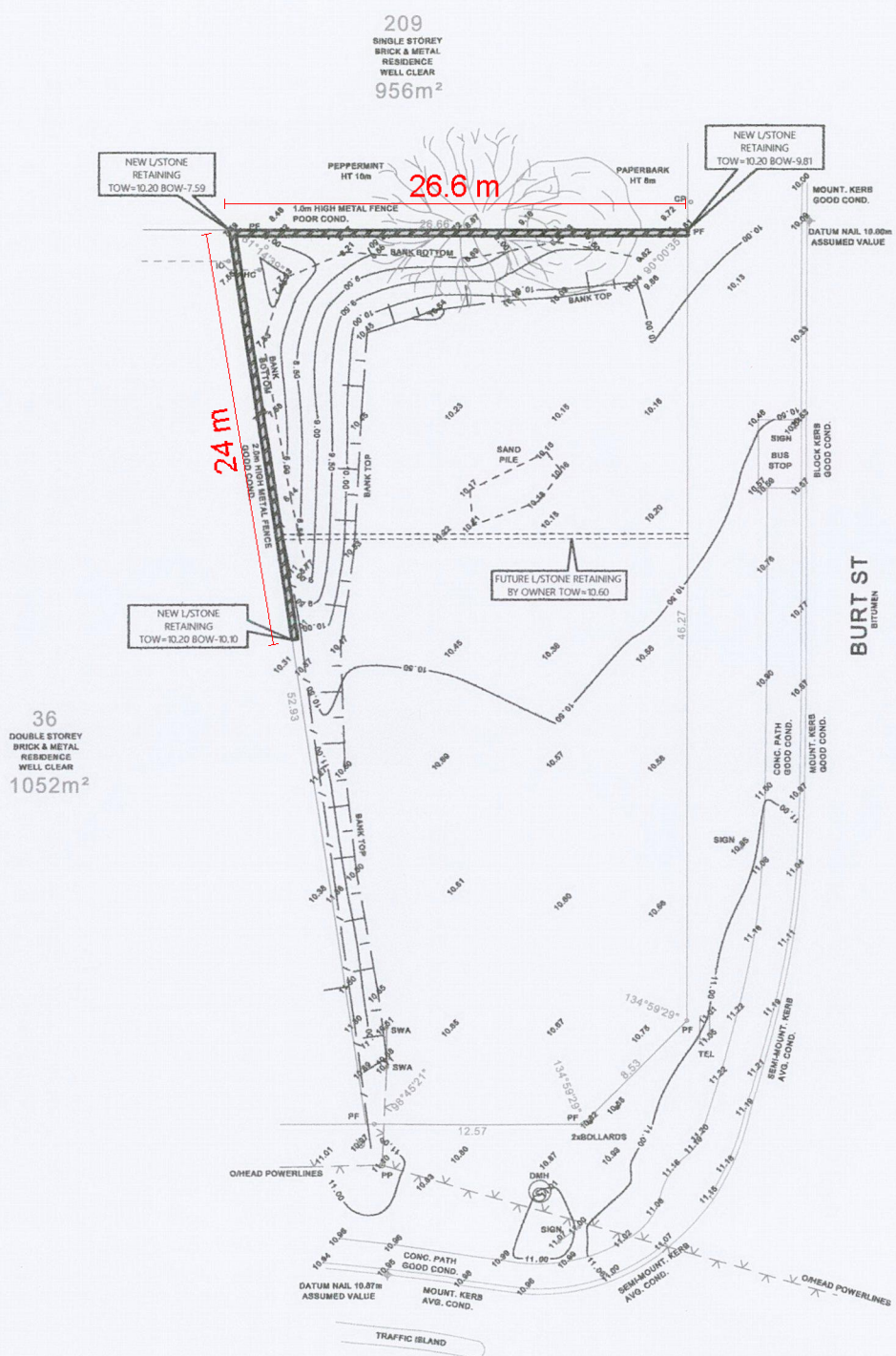
LOT SERVICE	STATUS	
	LOCATED	CONFIRM
WATER	✓	✓
SEWERAGE	✓	✓
GAS	✓	✓
TELE.	✓	✓
DRAINAGE	✓	✓
POWER	✓	✓

AREA: ESTAB 07/1980
 COASTAL DISTANCE 300m
 LOT: 35
 AREA: 1166 m²
 APPROX. AHD + 3.45m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODESIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL	6.76
SEWER BROUGHT UP	0.62
DEPTH TO CONNECTION	0.17



36
 DOUBLE STOREY
 BRICK & METAL
 RESIDENCE
 WELL CLEAR
 1052m²

209
 SINGLE STOREY
 BRICK & METAL
 RESIDENCE
 WELL CLEAR
 956m²

QUINNS RD
 BITUMEN

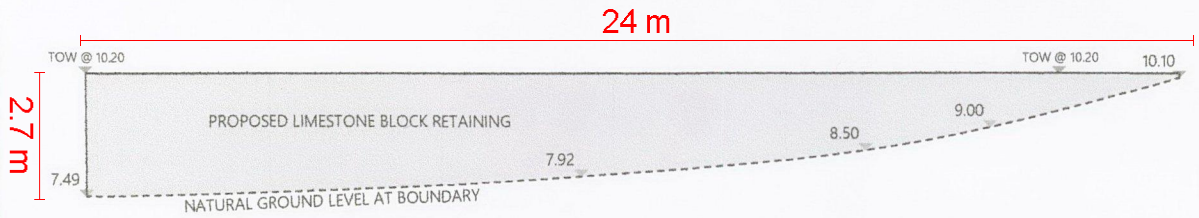
BURT ST
 BITUMEN

SHEET 1 OF 2

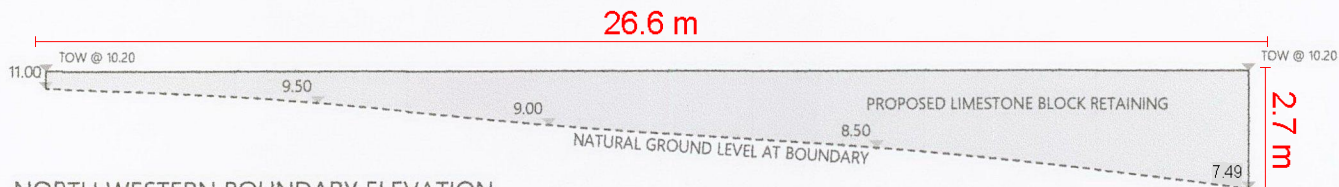
BEN MILLAR
 L. BEN CAMERON MILLAR, Licensed Surveyor certifies that the boundaries indicated on this plan and the survey were performed in accordance with the provisions of the LICENSED SURVEYORS REGULATIONS 1981.

GROUND COVER
 SANDY / GRASS / WEED / BUSHES
 SMALL TREES

TITLE : FEATURE SURVEY & BOUNDARY IDENTIFICATION		LOT : 35 No. 1 BURT ST	
CLIENT : MARTIN BIRD		SUBURB : QUINNS ROCKS P : 7318	
BUILDER : Z AND Z STONESCAPES PTY LTD		AUTHORITY : CITY OF WANNEROO C/T : 1280/369	
LINKS SURVEYING P: (08) 9354 8511 W: www.linksurveying.com.au E: info@linksurveying.com.au		UBD REF: 124 G 2 GPS: S 31.67660° E 115.69663°	
NOTE This PLAN is correct as of the Surveyed Date, NOT FOR CONSTRUCTION purposes without site verification. Check Landgate Plan & Certificate of Title for Easements including Easements, Covenants, Conditions etc. AS SERVICES require verification from the relevant AUTHORITY suggest contacting "The Future You Dig" for underground services & a site inspection. © STANDFAST HOMES 1998		SHEET 1 of 1 BUILDER'S REF SURVEYED 21/06/22 SCALE @ A2 1:200 DWG No 44271-02-200 REV A	



SOUTH WESTERN BOUNDARY ELEVATION
SCALE 1:100



NORTH WESTERN BOUNDARY ELEVATION
SCALE 1:100

**K&B HOME DEVELOPMENTS
PTY. LTD.**

CLIENT:
MARTIN BIRD

SITE ADDRESS:
LOT 35 (#1)
BURT STREET
QUINNS ROCKS

CONTRACT INITIALS:

CLIENT:
CLIENT:
BUILDER:
DATE:

DRAWING REVISION RECORD			
No.	DESCRIPTION	BY	DATE
A	PRELIMINARY DESIGN DRAWINGS	JB	13-08-2022

CUSTOM DESIGN



DRAWING SIZE: **A3**

JOB NO: TBA

SHEET NO: 2 OF 2

DATE: 13-08-2022

REVISION NO: A