



PROPOSED RESIDENCE

**JONATHAN WILLIAM
HOMES**

Unit 2/17 Foley St, Balcalta WA 6021
Phone 0401 062 583
www.jonathanwilliam.com.au

Jonathan William Homes reserves the right to alter or vary construction methods/details, dimensions and materials from those documents as required. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All drawings to be read in conjunction with engineer's details.

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REV	VARIATIONS	DATE DWN	BY
A	DA PLANS	29/08/22	JJ
B	DA AMENDMENTS	02/10/22	JJ

Residence Areas / Perimeters		
AREA NAME	AREA	PERIMETER
Balcony	23.25	23.88
Garage	44.74	26.78
Ground Floor	172.91	57.16
Upper Floor	217.64	70.96
Verandah	19.48	23.88
	478.02 m²	202.66 m
ROOF AREAS		
AREA NAME	MEASURED AREA	
GF ROOF	10.47	
UF ROOF	265.60	

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT

DATED: / /

OWNER

OWNER

BUILDER

CLIENT NAME:
WILKINS

SITE ADDRESS:
LOT 358 (#3) PENRYN LANE,
MINDARIE

SHIRE:
CITY OF WANNEROO

JOB NO.	UD0053
HOUSE TYPE:	ITALIAN TUSCAN
SPECIFICATION: STANDARD	COASTAL: YES WIND: -
DRAWING NAME:	PROPOSED RESIDENCE
REVISION No:	B
SALESPERSON:	JJ
DATE PRINTED:	

LOT 358

DISCLAIMER:
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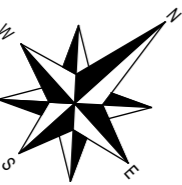
OWNER _____

OWNER _____

BUILDER _____

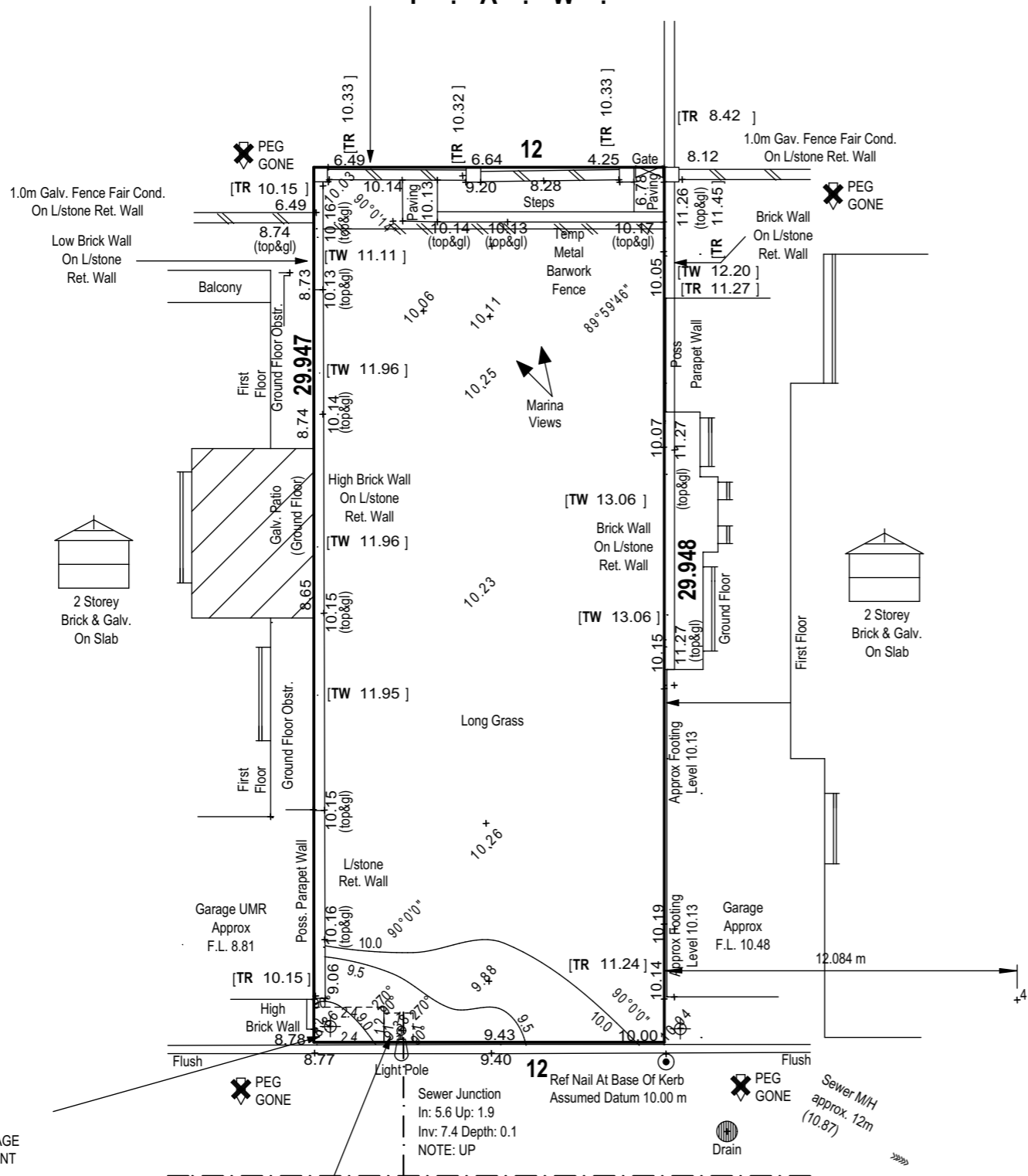
NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT I793544

LOT MISCLOSE
0.002m



Montrose Walk

P . A . W .



- SEWERAGE EASEMENT
- WATER SUPPLY EASEMENT
- ELECTRICITY EASEMENT
- GAS SUPPLY EASEMENT

ABOVE GROUND ELECTRICITY EASEMENT

Penryn Lane

Bitumen

BEWARE:
Shallow sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

EXISTING SITE PLAN

1:200

Scale 1:200



LEGEND	
	Power Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

JONATHAN WILLIAM HOMES

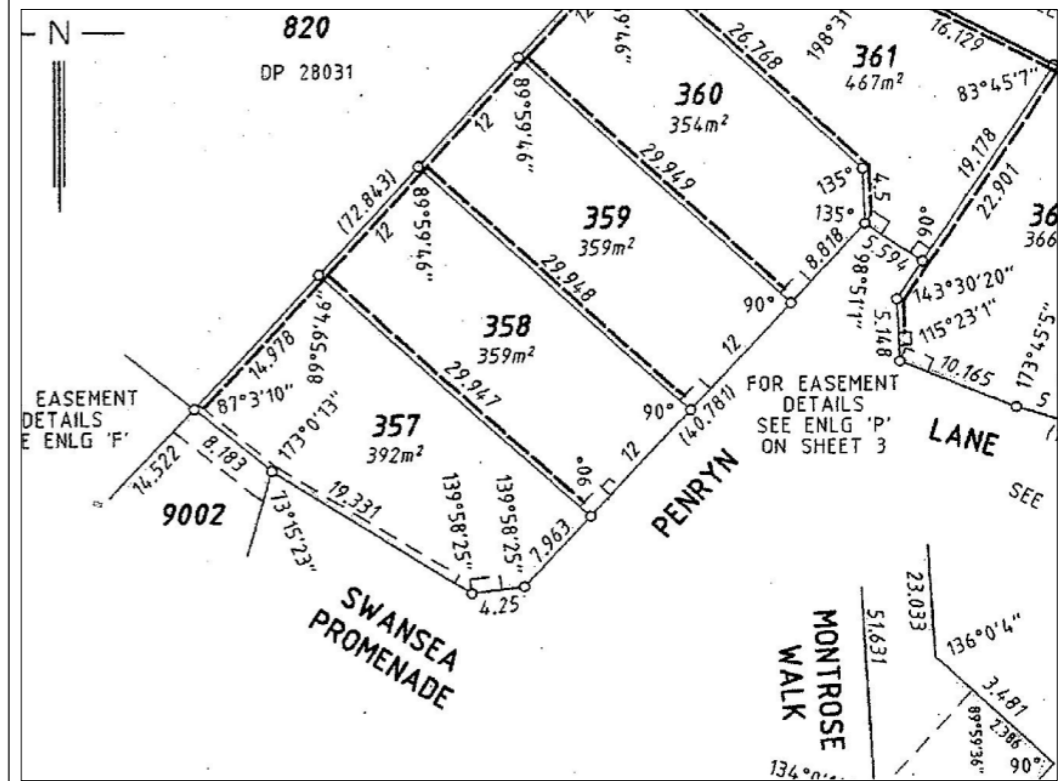
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CONTOUR & FEATURE SURVEY

LOT Lot 358 (DP 38761)
ADDRESS #3 Penryn Lane, Mindarie
LGA CITY OF WANNEROO
CLIENT Jonathan William Homes Pty Ltd
GPS Lat: -31.689544 Long: 115.704128
SSA Yes AREA 359m² VOL. 2557 FOL. 670



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	50m To Ocean (Approx. Only - Confirm With Shire)
GAS	Check Alinta	COMMS	Not Loc.	PATH	Nil	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Mountable	VEG.	Long Grass Cover



COTTAGE SURVEYS

LICENSED SURVEYORS

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Osborne Park
WA 6017

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Osborne Park BC
WA 6917

P: (08) 9446 7361
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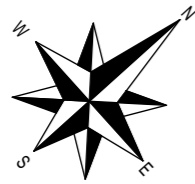
NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELSTRA.

JOB: 527413

DATE: 21 Jun 22

DRAWN: J. Jee

LOT 358



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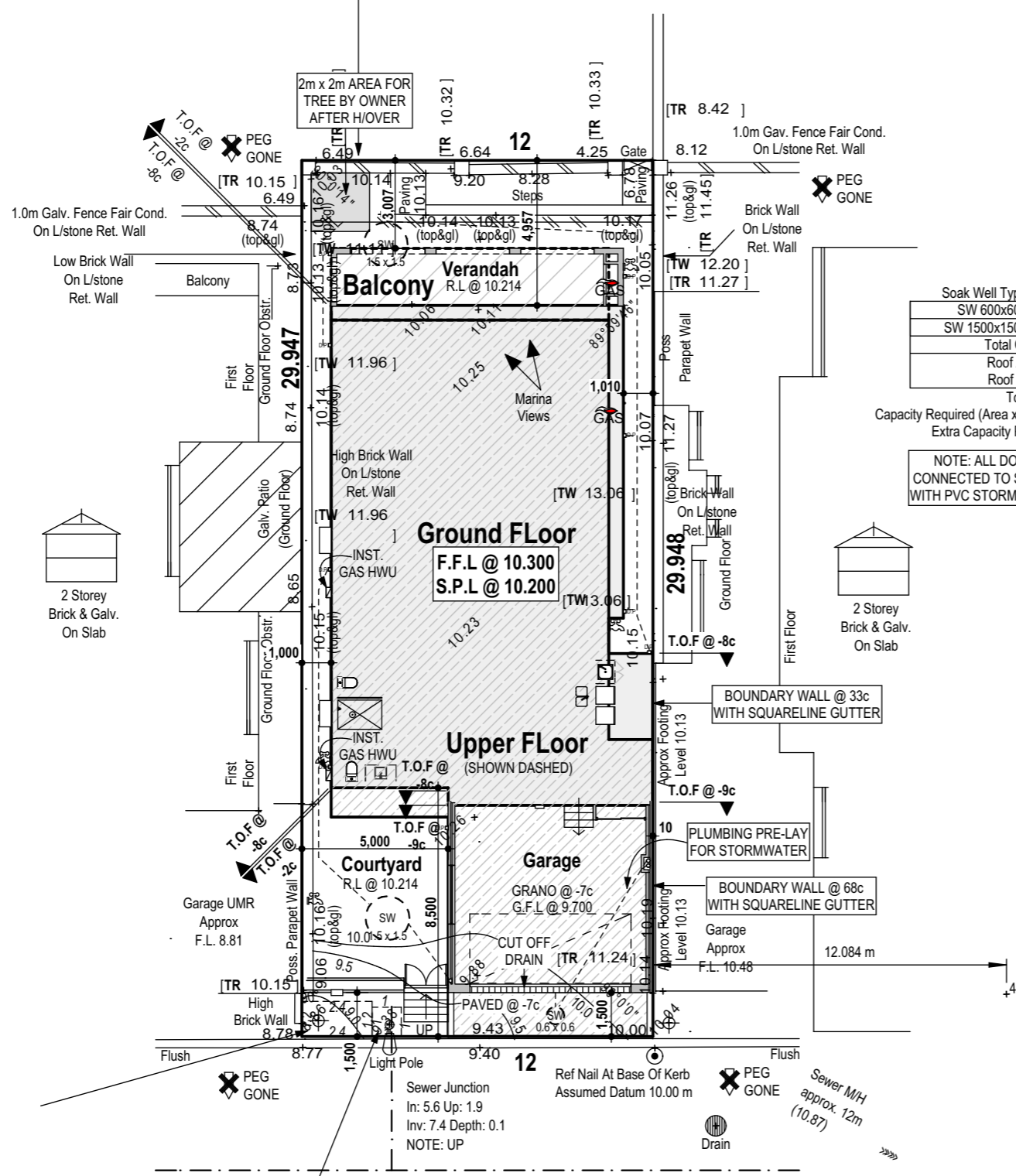
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Montrose Walk

P . A . W .



LEGEND	Symbol	Description
	⊕	Power Dome
	⊙	Power Pole
	⊖	Phone Pits
	□	Water Conn.
	⊕	Top Pillar/Post
	⊖	Top Wall
	⊖	Top Retaining
	⊖	Top Fence

Soak Well Type	No.	Capacity
SW 600x600	1	0.2 m3
SW 1500x1500	2	5.3 m3
Total Capacity		5.5 m3
Roof Area GF		10.5 m2
Roof Area UF		265.6 m2
Total Area		276.1 m2
Capacity Required (Area x 0.0125)		3.5 m3
Extra Capacity Provided		2.0 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

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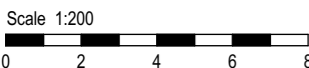
DATED: _____
OWNER: _____
OWNER: _____
BUILDER: _____

- SEWERAGE EASEMENT
- WATER SUPPLY EASEMENT
- ELECTRICITY EASEMENT
- GAS SUPPLY EASEMENT

NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT I793544

LOT MISCLOSE
0.002m

SITE PLAN
1:200



NOTE: TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

CONTOUR & FEATURE SURVEY

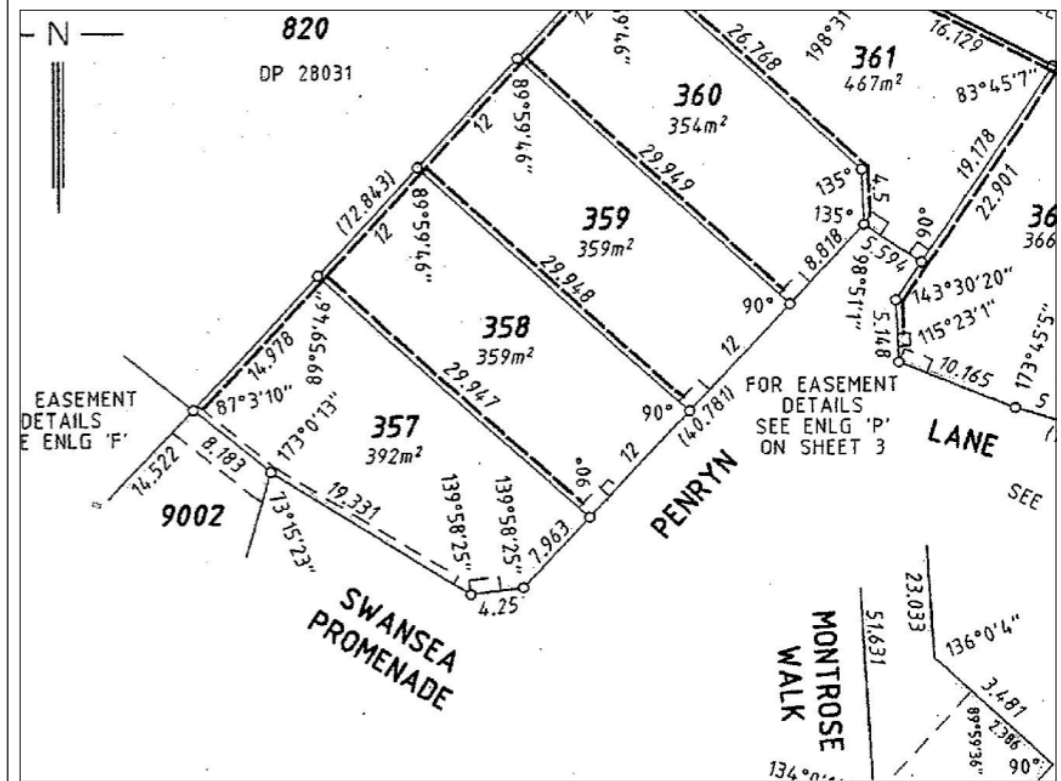
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JOB: 527413

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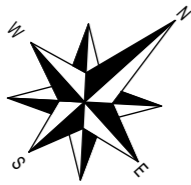
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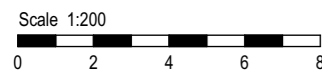
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0.002m

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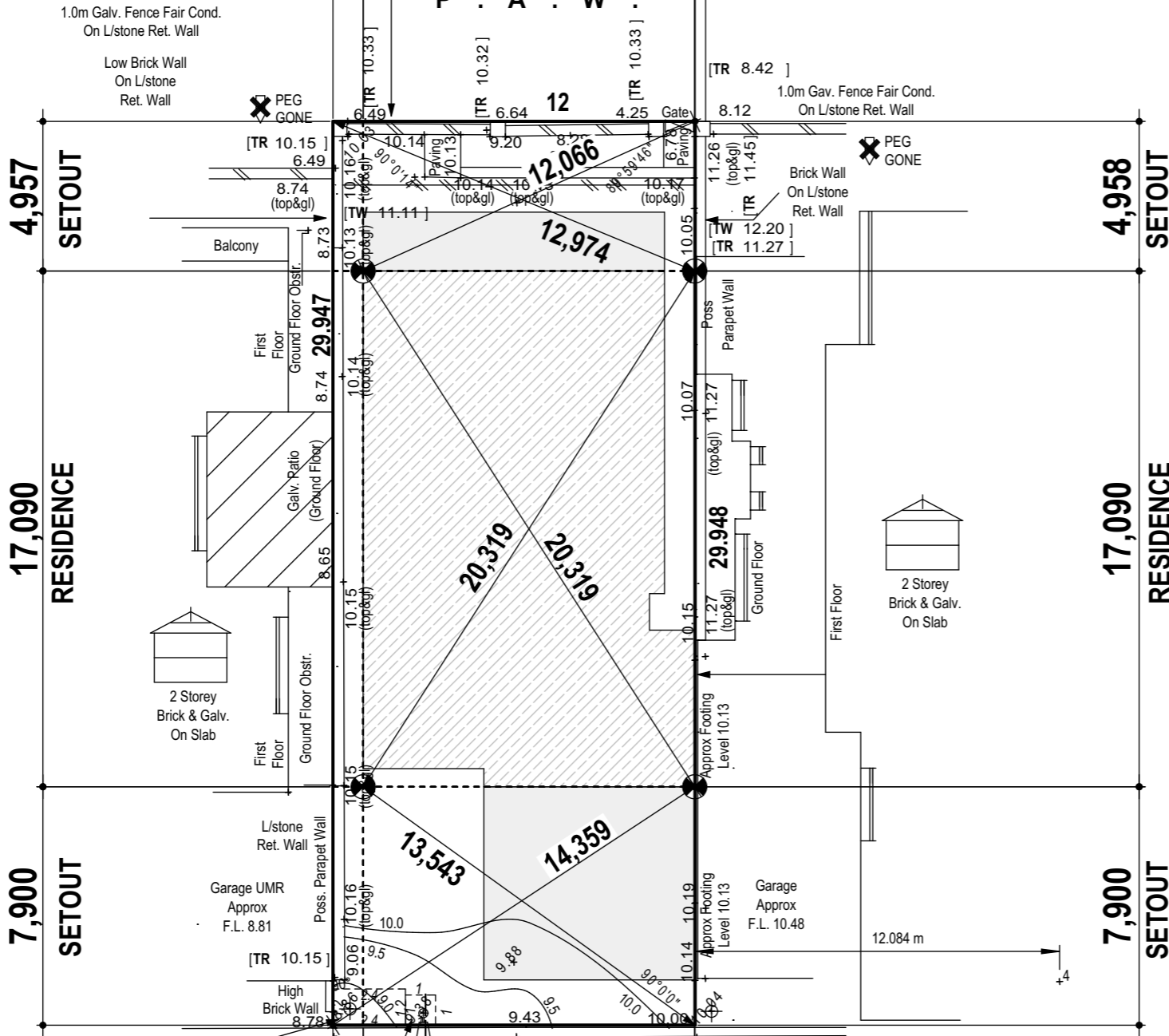


SETOUT PLAN
1:200

1,000 SETOUT 10,990 RESIDENCE 10 SETOUT

Montrose Walk

P . A . W .



LEGEND

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	Power Pole
	Phone Pits
	Water Conn.
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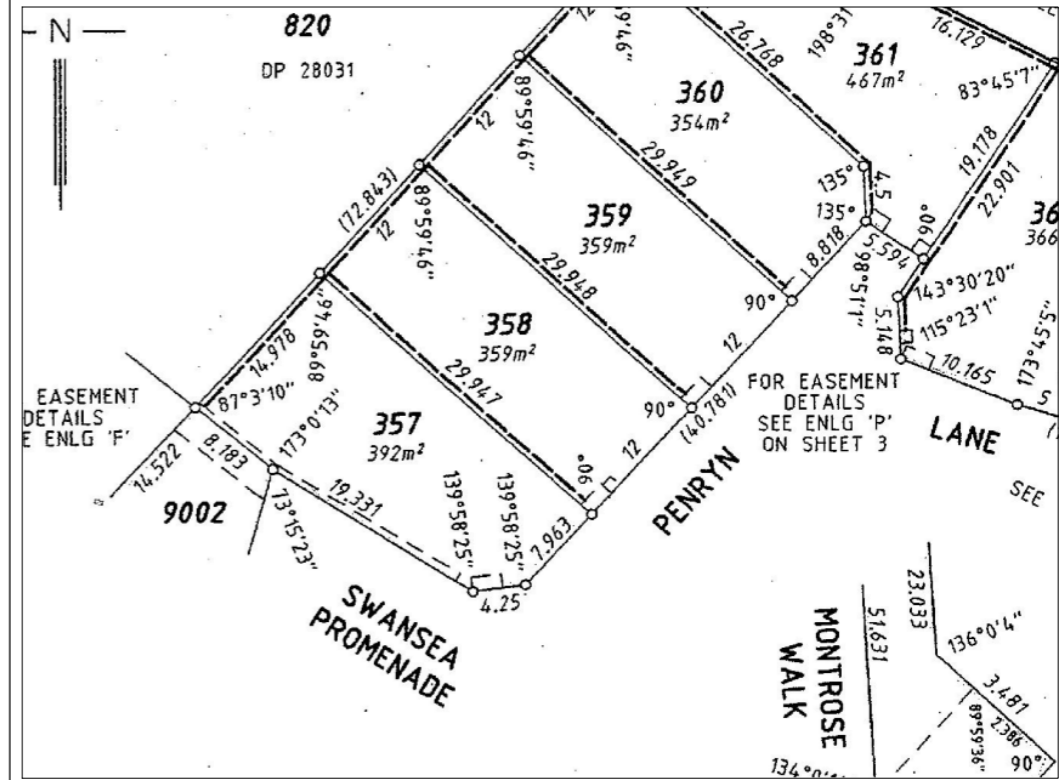
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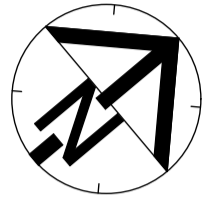
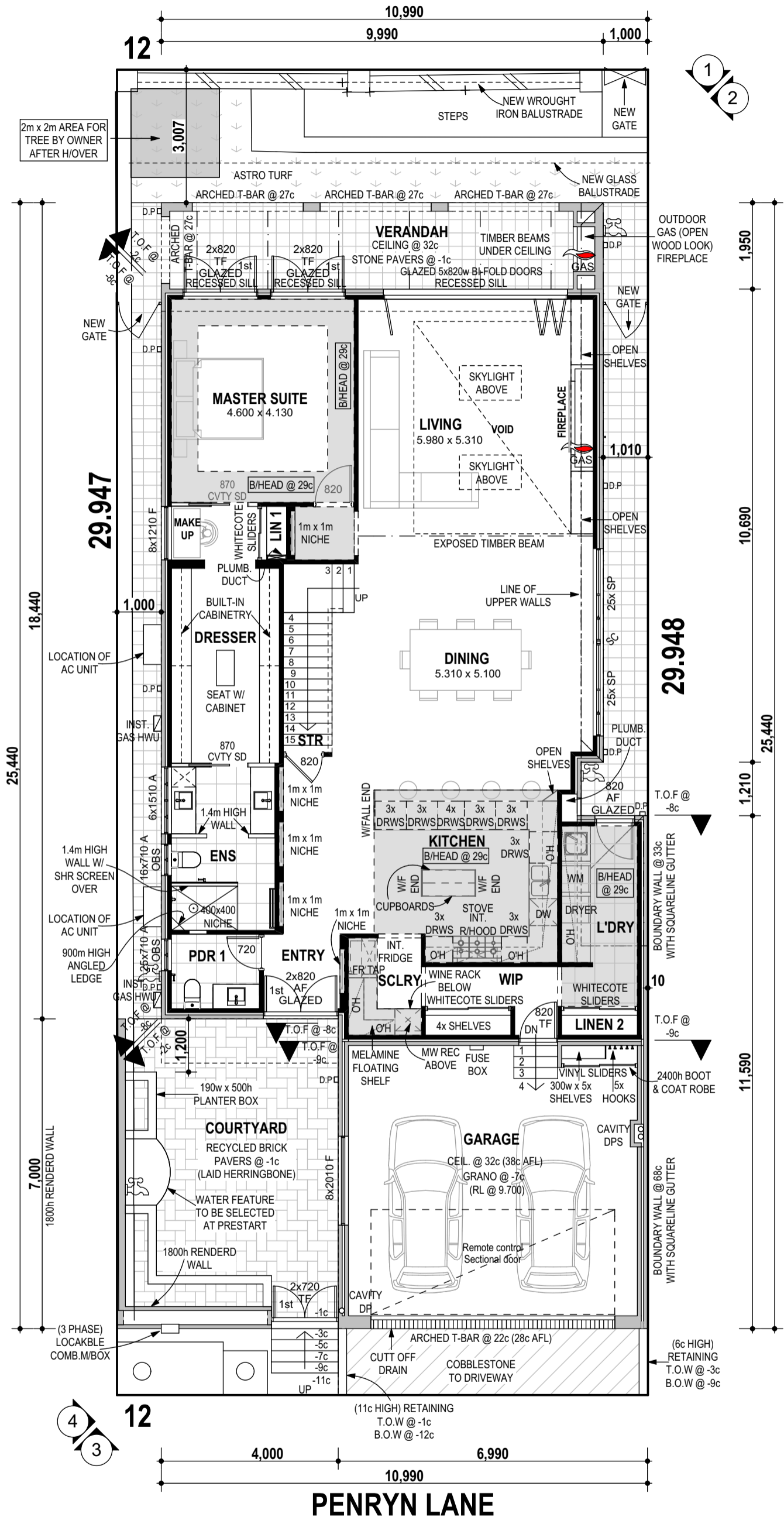
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VERIFY AVAILABILITY WITH TELSTRA.

JOB: 527413

DATE: 21 Jun 22

DRAWN: J. Jee

MONTROSE WALK



ZONING: R30 (INTRAMAPS)

BLOCK SIZE: 359m²
 HOUSE AREA: 215.19m²
 SITE COVER: 59.94%
 MAX. ALLOWED: 60%

DESIGNER: JASON JOSEPH
 CONTACT NUMBER: 0401 383 860

NOTE:
 GF CEILINGS @ 32c UNLESS NOTED OTHERWISE.
 UF CEILINGS @ 32c UNLESS NOTED OTHERWISE.

NOTE:
 BUSHFIRE ATTACK LEVEL DOES NOT APPLY TO THIS BLOCK

NOTE:
 COASTAL CONDITIONS APPLY TO THIS BLOCK (50m FROM OCEAN)

NOTE:
 PLUMBER TO PROVIDE REFLUX VALVE FOR ENSUITE & BATHROOM SHOWER RECESSES

NOTE:
 2340mm HIGH INTERNAL DOORS THROUGHOUT INCLUDING GARAGE INTERNAL DOOR U.N.O

LANDSCAPING ITEMS:
 STONE PAVERS: 45.25m²
 RECYCLED BRICK PAVERS: 31.32m²
 COBBLESTONE PAVERS: 9.92m²
 GRASS: 17.19m²

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Total	478.02 m²	202.66 m
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AREA NAME	MEASURED AREA	
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OWNER

OWNER

BUILDER

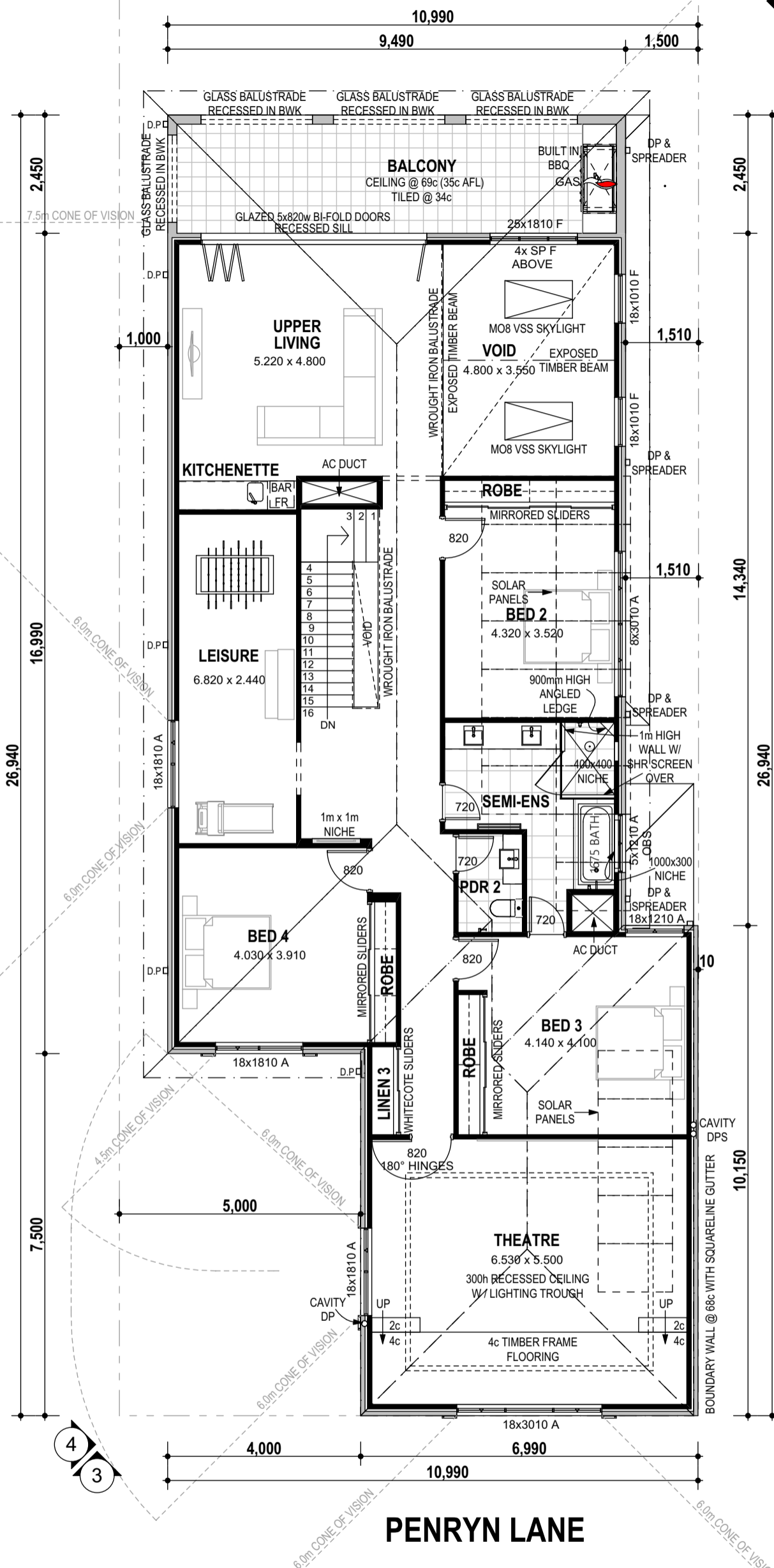
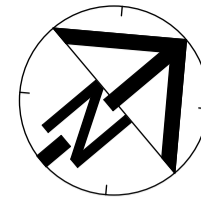
CLIENT NAME: WILKINS

SITE ADDRESS: LOT 358 (#3) PENRYN LANE, MINDARIE

SHIRE: CITY OF WANNEROO

JOB NO.	UD0053		
HOUSE TYPE:	ITALIAN TUSCAN		
SPECIFICATION:	STANDARD	COASTAL:	YES
WIND:	-		
DRAWING NAME:	GROUND FLOOR PLAN		
REVISION No:	B	SALESPERSON:	JJ
DATE PRINTED:			

MONTROSE WALK



ZONING: R30 (INTRAMAPS)

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UPPER FLOOR
 1:100

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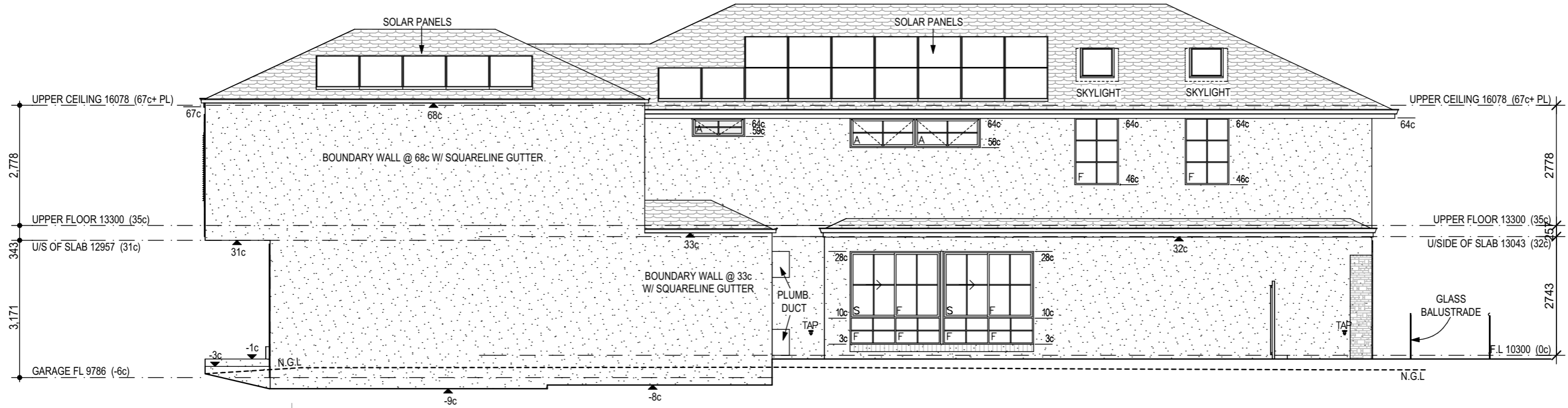
JOB NO.	UD0053
HOUSE TYPE:	ITALIAN TUSCAN
SPECIFICATION: STANDARD	COASTAL: YES WIND: -
DRAWING NAME:	UPPER FLOOR PLAN
REVISION No:	B
SALESPERSON:	JJ
DATE PRINTED:	



ELEVATION 1
1:100



VERANDAH / BALCONY



ELEVATION 2
1:100

JOB NO. **UD0053**

HOUSE TYPE: **ITALIAN TUSCAN**

SPECIFICATION: STANDARD COASTAL: YES WIND: -

DRAWING NAME: **ELEVATIONS 1**

REVISION NO: **B** SALES PERSON: **JJ**
DATE PRINTED:

CLIENT NAME: **WILKINS**

SITE ADDRESS: **LOT 358 (#3) PENRYN LANE,**

MINDARIE

SHIRE: **CITY OF WANNEROO**

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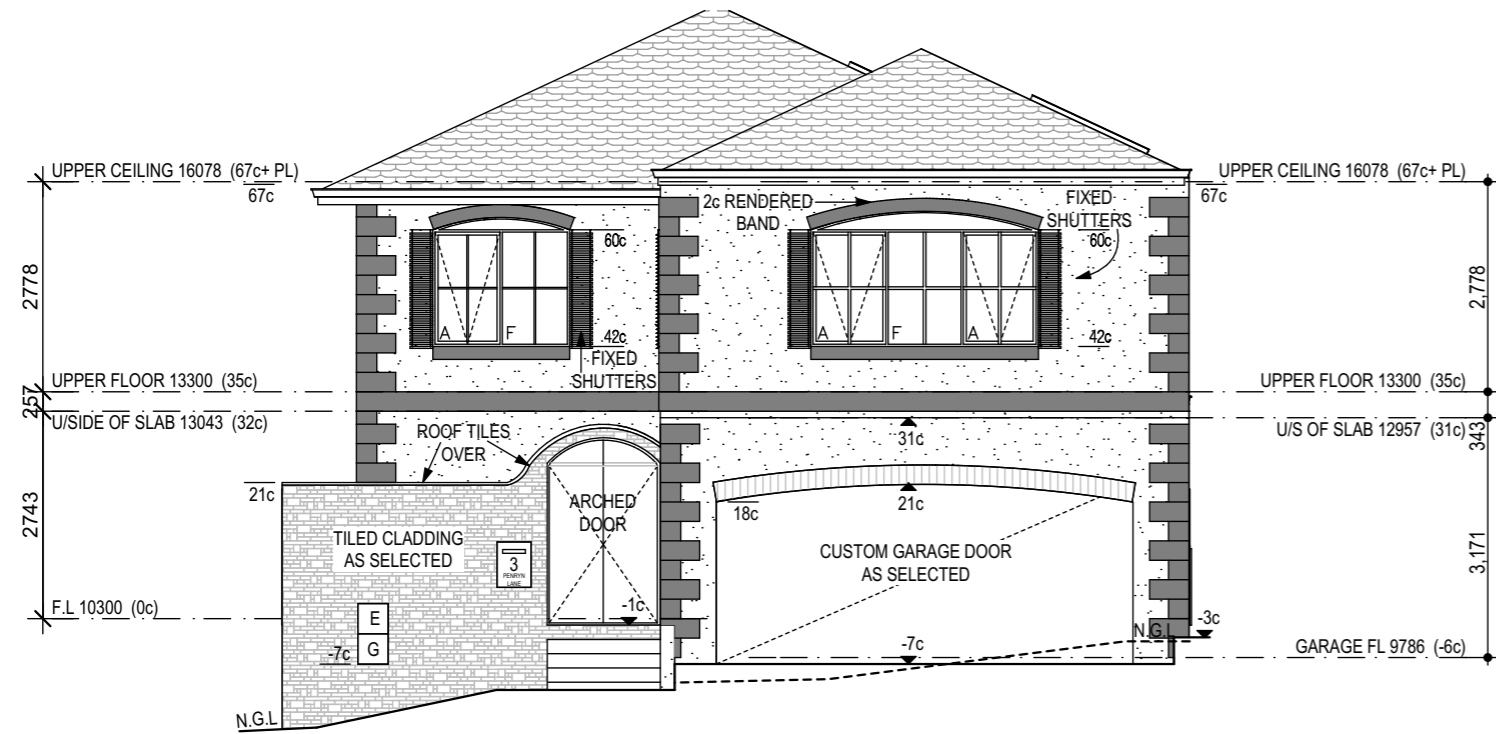
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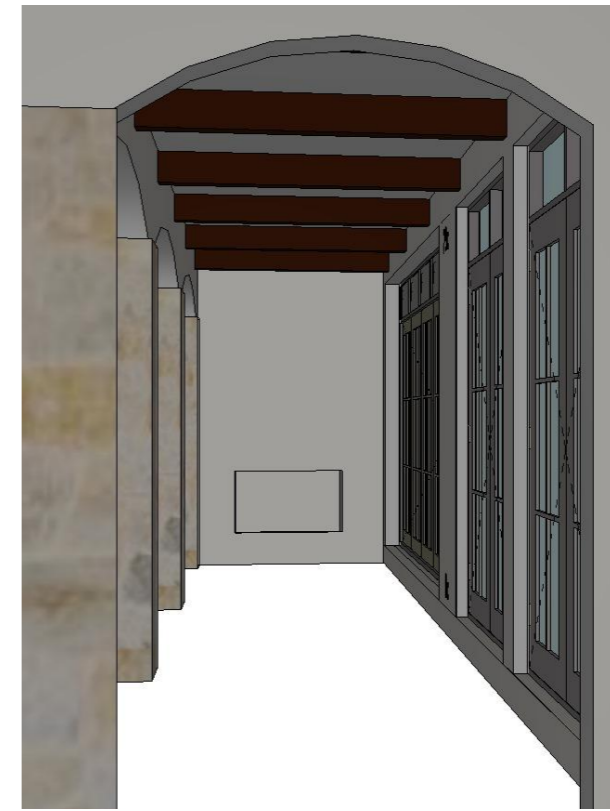
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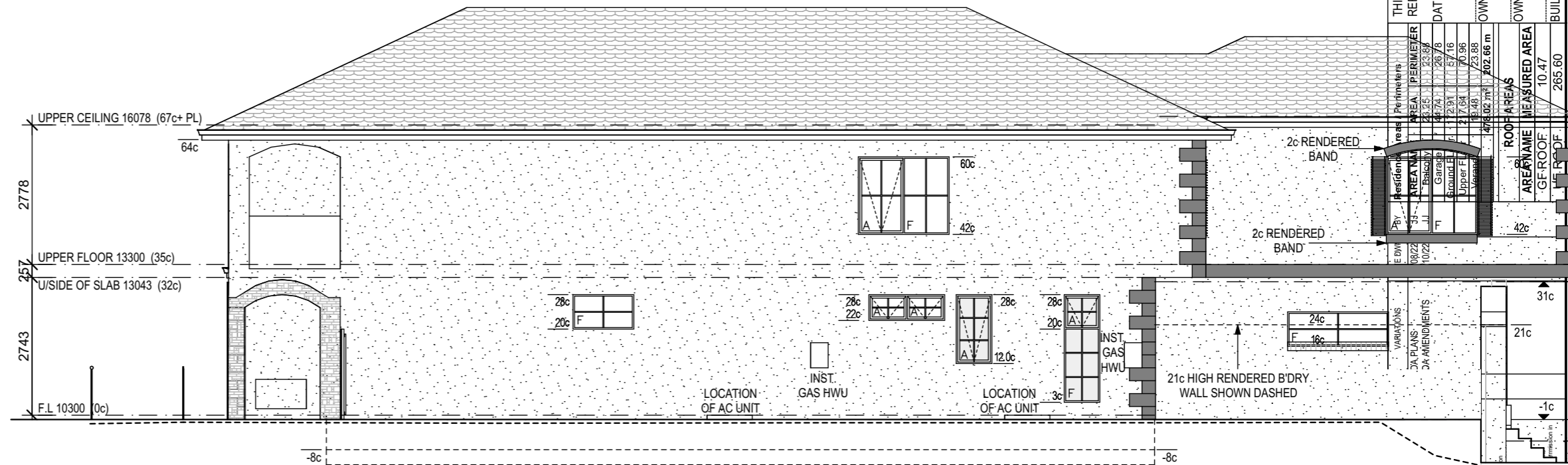
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ELEVATION 3
1:100



VERANDAH



ELEVATION 4
1:100

JOB NO. **UD0053**

HOUSE TYPE: **ITALIAN TUSCAN**

SPECIFICATION: STANDARD COASTAL: YES WIND: -

DRAWING NAME: **ELEVATIONS 2**

REVISION NO. **B**

SALESPERSON: **JJ**

DATE PRINTED:

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 SITE ADDRESS: **LOT 358 (#3) PENRYN LANE, MINDARIE**
 SHIRE: **CITY OF WANNEROO**

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED: / /

RESIDENTIAL	PERIMETER	AREA	PERIMETER	AREA
33	23.55	23.57	23.57	23.57
Basin	49.74	26.78		
Garage	12.91	57.16		
Ground	21.784	70.96		
Upper FL	13.48	73.88		
Verandah	4.76	202.66		
OWNER				
OWNER				
BUILDER				

ROOF AREAS	MEASURED AREA
GF ROOF	10.47
1ST FLOOR	265.60

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Jonathan Wilkins Homes reserves the right to alter or vary the drawings, dimensions and materials from those shown hereon without notice.
 All dimensions to be taken in conjunction with engineer.
 All drawings to be read in conjunction with engineer.
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