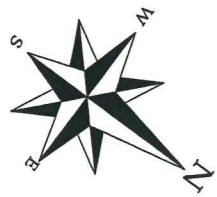


LOT 1679



NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

SOIL DESCRIPTION Sand / L/Stone(Poss) Light Grass Cover

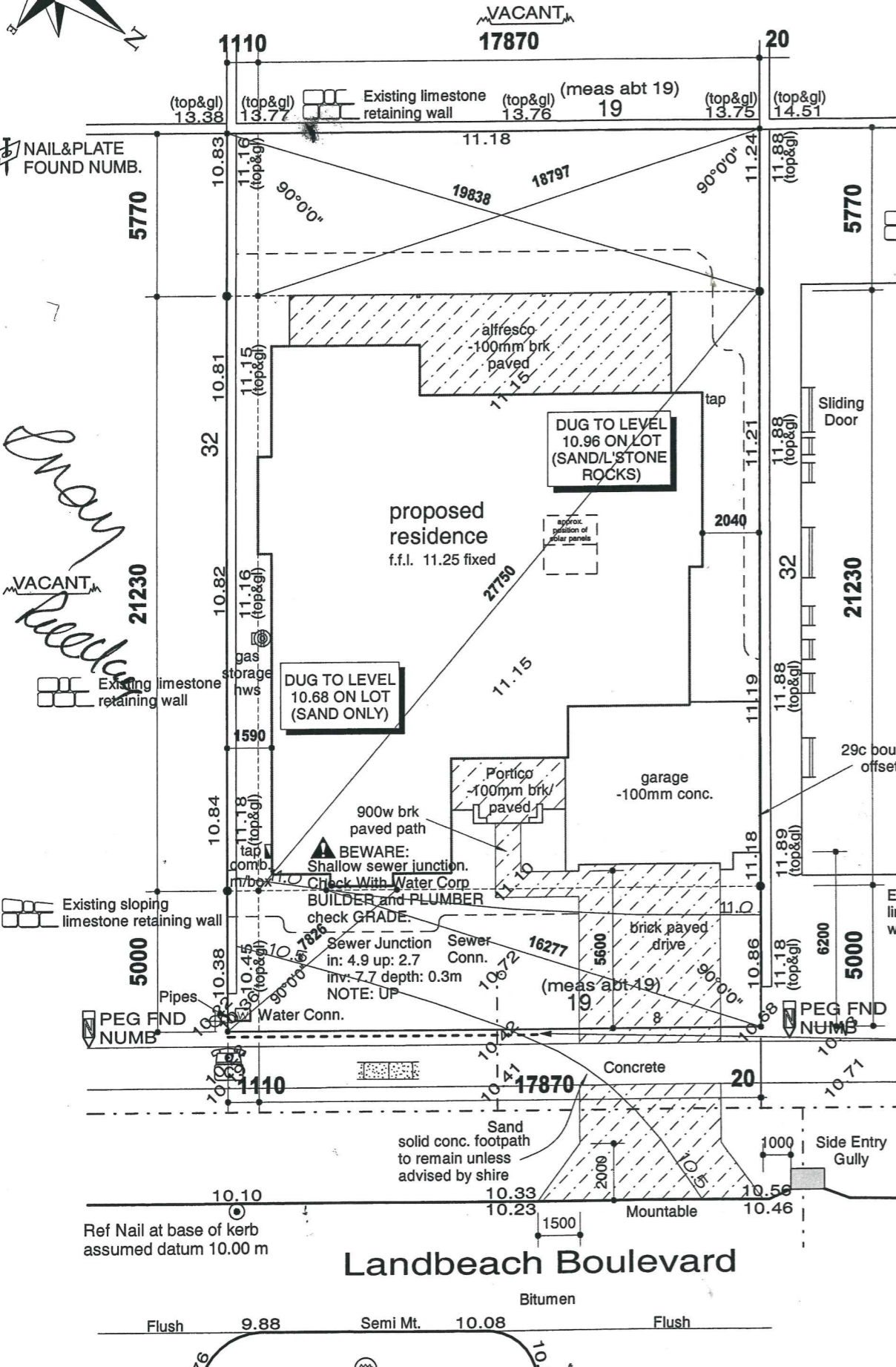
NOTE: LOT MISCLOSE (0.000 m)



136 HASLER ROAD, OSBORNE PARK W.A. 6017. TELEPHONE: (08) 9242 9100 FACSIMILE: (08) 9242 9101 A.C.N. 009 217 887

CLIENT: May CONTRACT / JOB NO. 21242 MAP REF. 159 7138 SITE SURVEY LOT 1679 COASTAL NO (Scaled from StreetSmart Directory Only) Landbeach Boulevard Suburb Butler Loc. Auth. CITY OF WANNEROO D. Plan 54861 Volume Folio Location Check Title

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.



NAIL&PLATE FOUND NUMB.

Existing limestone retaining wall

SUPERVISOR NOTE SHEET 10 OF 10 DRGS 26/02/08 contract EDG

Client Note f.f.l shown on plan may vary to within 100mm either way.

Brick & Colorbond on slab Approx F.L 12.05

Existing sloping limestone retaining wall

NOTE: NOTIFICATION. REFER TO SEC 12A T.P.&D. ACT SEE DOCUMENT K 203572 U.X.O

NOTE: NO ACCESS RESTRICTIVE COVENANT. REFER TO SEC 129BA T.L.A. SEE DOCUMENT K 203574

NOTE: NOTIFICATION. REFER TO SEC 12A T.P.&D. ACT SEE DOCUMENT K 207945 Non drinking water scheme

NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT K 203573

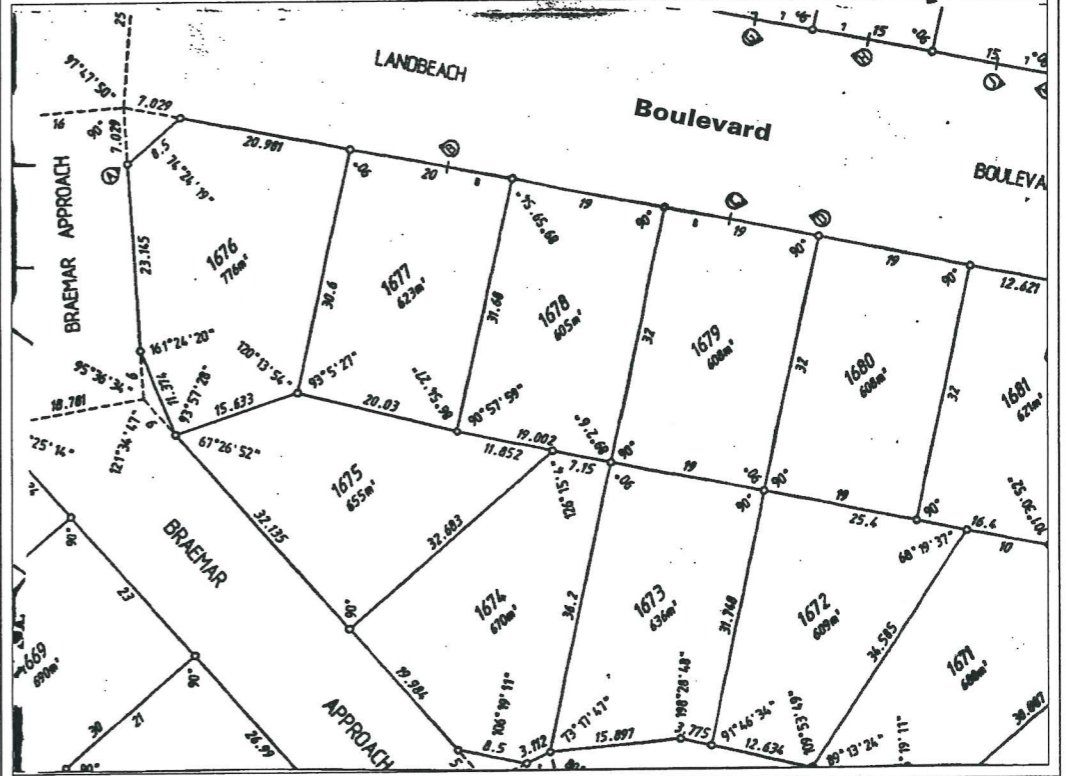
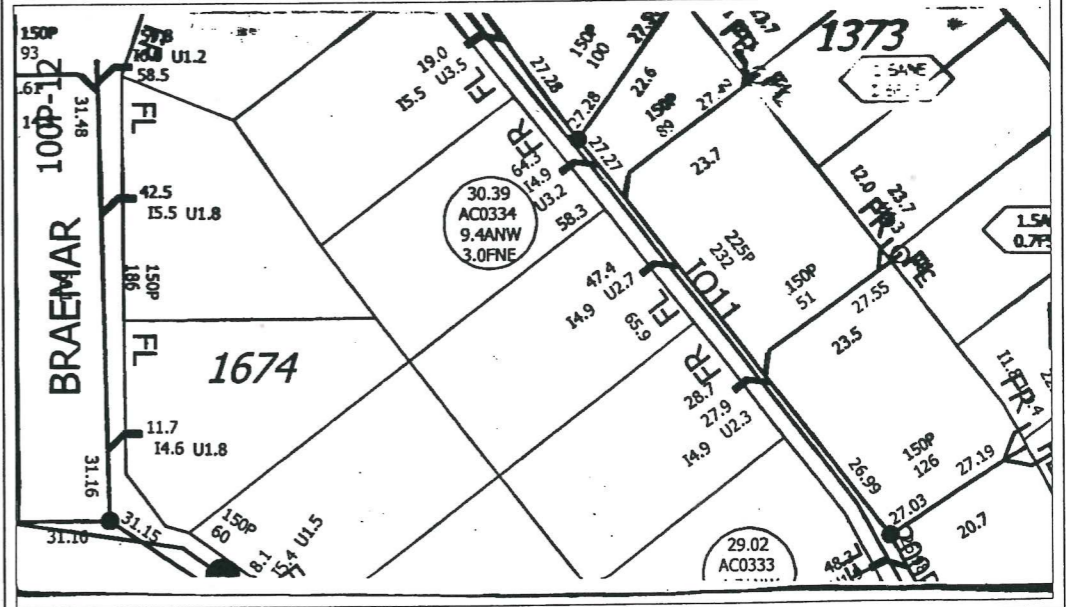


Table with utility details: Elec. U/Ground, Water Yes, Sewer Yes, Gas Alinta Gas Map Indicates Gas in Area, Phone Yes, Footpath Concrete, Road Bitumen, Kerb Mountable, Drainage Poor.



Scale 1:200 Date: 20/12/2008

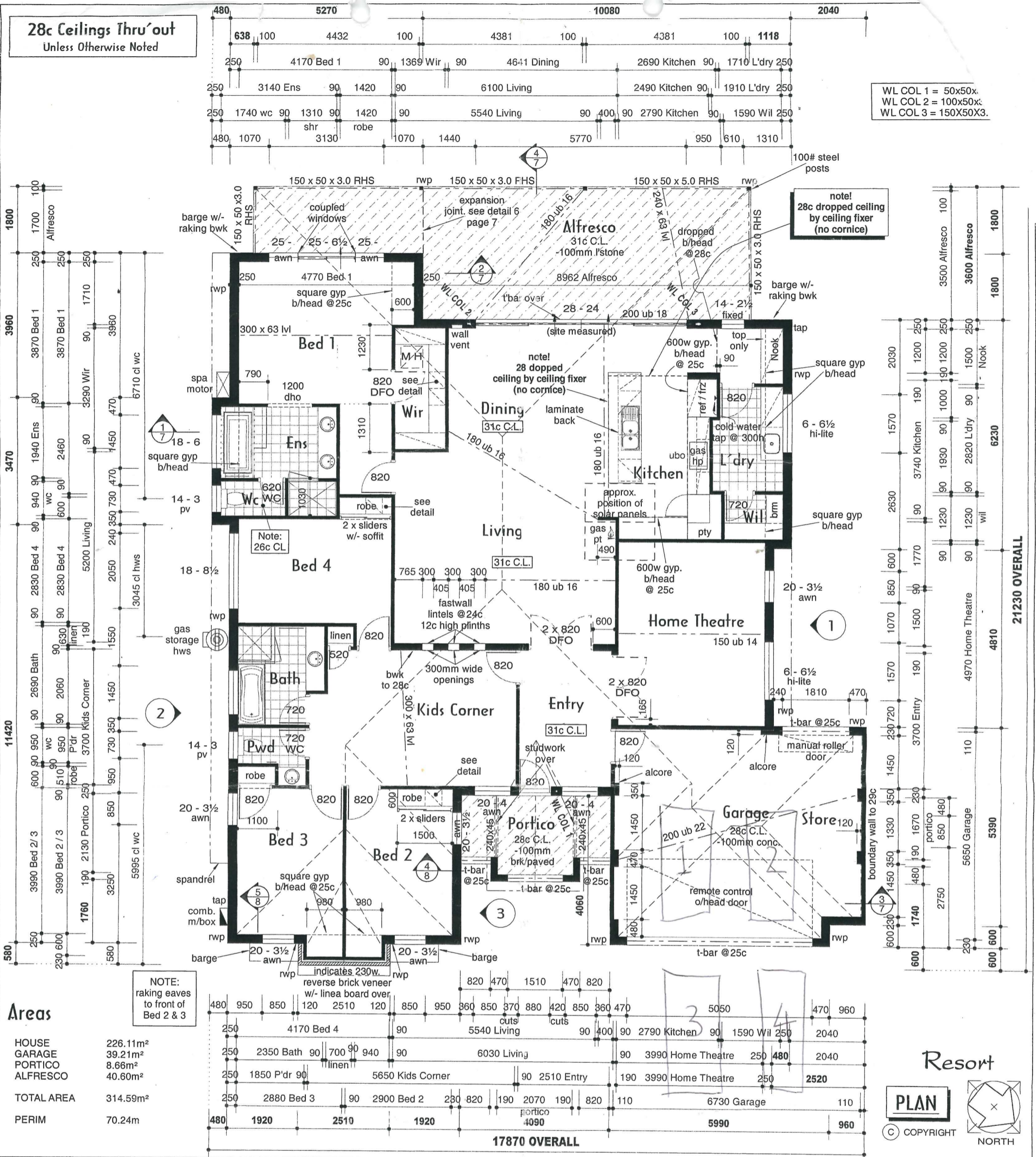
NOTE: All Sewer details plotted from information supplied by Water Corporation.

COTTAGE & ENGINEERING SURVEYS 219 ONSLOW ROAD, SHENTON PARK, 6008. Ph (08)9381 6211 Fax (08)9382 2503 Email perth@cottage.com.au www.cottage.com.au Licensed Surveyors J/No: 183985 Drawn: A.Smith

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / FENCES / CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

28c Ceilings Thru'out
Unless Otherwise Noted

WL COL 1 = 50x50x.
WL COL 2 = 100x50x.
WL COL 3 = 150x50x3.



Areas

HOUSE	226.11m ²
GARAGE	39.21m ²
PORTICO	8.66m ²
ALFRESCO	40.60m ²
TOTAL AREA	314.59m²
PERIM	70.24m

Resort

PLAN

© COPYRIGHT

NORTH

Client Note
dimensions shown on plan are brick sizes. please allow an extra 10mm to each wall for plaster & set.
this allowance should be considered when calculating clearances for future fittings.

Roof Plumber Note
total no. and positioning of rwp's is at the discretion of dale alcock homes.

Ceiling Fixer Note
ceilings to robes & linens to be at 2100, unless otherwise noted.

Fixing Carpenter Note
refer to page 9 for Bed 2 & 4 and wir details.
450mm wide shelf & rail 1650mm high to beds 3 only.
towel rail to be fixed 900mm above f.f.l.

Roof Frame Note
plans detailed for "traditional" roof frame construction conforming to a.s. 1684. dale alcock homes reserve the right to use an engineered truss roof alternative.
roof beam location & size shown are indicative only. dale alcock homes reserve the right to amend beams without notice whilst conforming to a.s. 1684

Bricklayer Note
roof to be anchored down w/ 30mm hoop iron straps n1 - down 18c min @ 1800 cis n2 - down 18c min @ 1800 cis n3 (tin) - down 18c min @ 900 cis n4 (tin) - down 18c min @ 1800 cis n4 (tin) - down 18c min @ 900 cis n4 (tiled) - down 18c min @ 1200 cis
all sill bricks under full height frames to be flush not recessed 10mm.
full height strap req'd each side of openings over 2400mm (for metal deck roofs only)
glazed doors denotes 3 hinge frames.
refer to engineer's details for masonry reinforcing & general construction notes.

CONCRETOR NOTE
100# steel posts bolted to conc. footings at -3c
pre-lay required for kitchen island bench for plumbing & power

DALE ALCOCK HOMES

PROPOSED RESIDENCE TO BE ERRECTED ON -
LOT 1679 Landbeach Boulevard, Butler.

FOR -
Mr. R & Mrs. R May

AMENDMENT
07/05/08 Prestart SD
08/05/08 Drafting Check SD

DATE: 26/02/08
SCALE: 1 : 100
SHEET 1 OF 10DRGS

JOB No. 21242

QUALITY SYSTEM
Quality Endorsed Company
ISO 9001
Lic No QEC 6276/03
SAI GLOBAL



*City of Wanneroo
23 Dundobar Road
Wanneroo
WA 6065*

6th October 2022

Dear Sir/Madam

Re Lot 11679 on Plan 54861 – 143 Landbeach Boulevard Butler WA 6036

We would like to apply for the above property to have a change of use to allow the dwelling to be rented out for short term accommodation.

The property has four bedrooms – no more than 6 guests will be allowed on the property at any given time.

No group gatherings or parties will be allowed on the property

Guests will not be permitted to create noise which is offensive to occupiers of neighbouring properties, especially between the hours of 9pm and 7am on Monday to Saturday, and 9pm and 9am on Sunday and public holidays. This is mentioned in our short-term contract, plus a copy of the house rules are also inside the property and can be clearly seen.

Guests will need to sign a short-term contract agreeing to the above. Photo ID will also be required. If they do not abide by the contract, they will be asked to vacate the property immediately and forfeit the balance of their stay.

The neighbouring properties will be given the contact details of myself (Perth Holiday Stays) and also the owner Richard May. I will also put our contact details on the meter box. I can be contacted at any time. I personally live 7.7kms away which by car is approximately 10 minutes.

**Kim Willett T/A Perth Holiday Stays
ABN 55 692 833 745**

Contact details 08 9408 6212 Mobile 0402027948 email kim@perthholidaystays.com.au



Guest bookings will be between 3 – 89 days at a time.

There is ample parking for four cars on the property. Guests are informed that they must not park on the verge or any neighbouring property.

The property is managed by myself Kim Willett T/A Perth Holiday Stays, I am a member of the Wanneroo Business Association, Experience Perth, ASTRA (Australian Short-Term Rental Association) and I am also accredited by the Tourism Council of WA and have received their Tick of Approval.

I look forward to your kind consideration of this application.

Kind Regards

*Kim Willett
T/A Perth Holiday Stays
ABN 55 692 833 745
www.perthholidaystays.com.au
Mobile 0402 027948
Office 08 9408 6212*

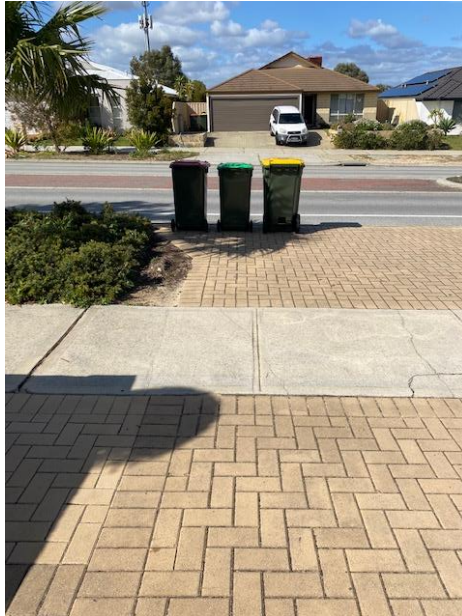
**Kim Willett T/A Perth Holiday Stays
ABN 55 692 833 745**

Contact details 08 9408 6212 Mobile 0402027948 email kim@perthholidaystays.com.au

Rubbish Collection

Rubbish collection days are Tuesday mornings. Please ensure the bin(s) are placed on the kerb Monday evening to ensure collection. In your welcome folder you will see the dates for the yellow lid bin (recycling) and the green lid bin (greens collection)

Please see below the position the bins must be placed in to ensure collection



After collection, please return to the side of the property



Any questions please just ask