

**DEMOLITION NOTE!**  
 REMOVE EXISTING HARD SURFACES, VEGETATION & STRUCTURES AS REQUIRED

⊕	Power Dome
○	Power Pole
⊠	Phone Pits
⊞	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

**LOT MISCLOSE**  
 0.006 m

**DISCLAIMER:**  
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**EXISTING SITE PLAN**  
 1:200

**DISCLAIMER:**  
 HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.



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 W: www.cottage.com.au

**JOB #** 528097  
**CLIENT** Roth  
**ADDRESS** #60 Mindarie Drive  
**SUBURB** Quinns Rocks  
**LGA** CITY OF WANNEROO  
**DRAWN** T.Currey

**GPS** Lat: -31.673245 Long: 115.698370  
**LOT** Lot 463 (Plan 7798)  
**AREA** 814m<sup>2</sup> **VOL.** 1311 **FOL.** 547  
**DATE** 24 Jun 22 **SSA No.**

**ROADS** Bitumen  
**KERBS** Mountable / Semi-Mount  
**FOOTPATH** Nil  
**SOIL** Sand, L'Stone(Poss)  
**DRAINAGE** Good  
**VEGETATION** Refer to Survey

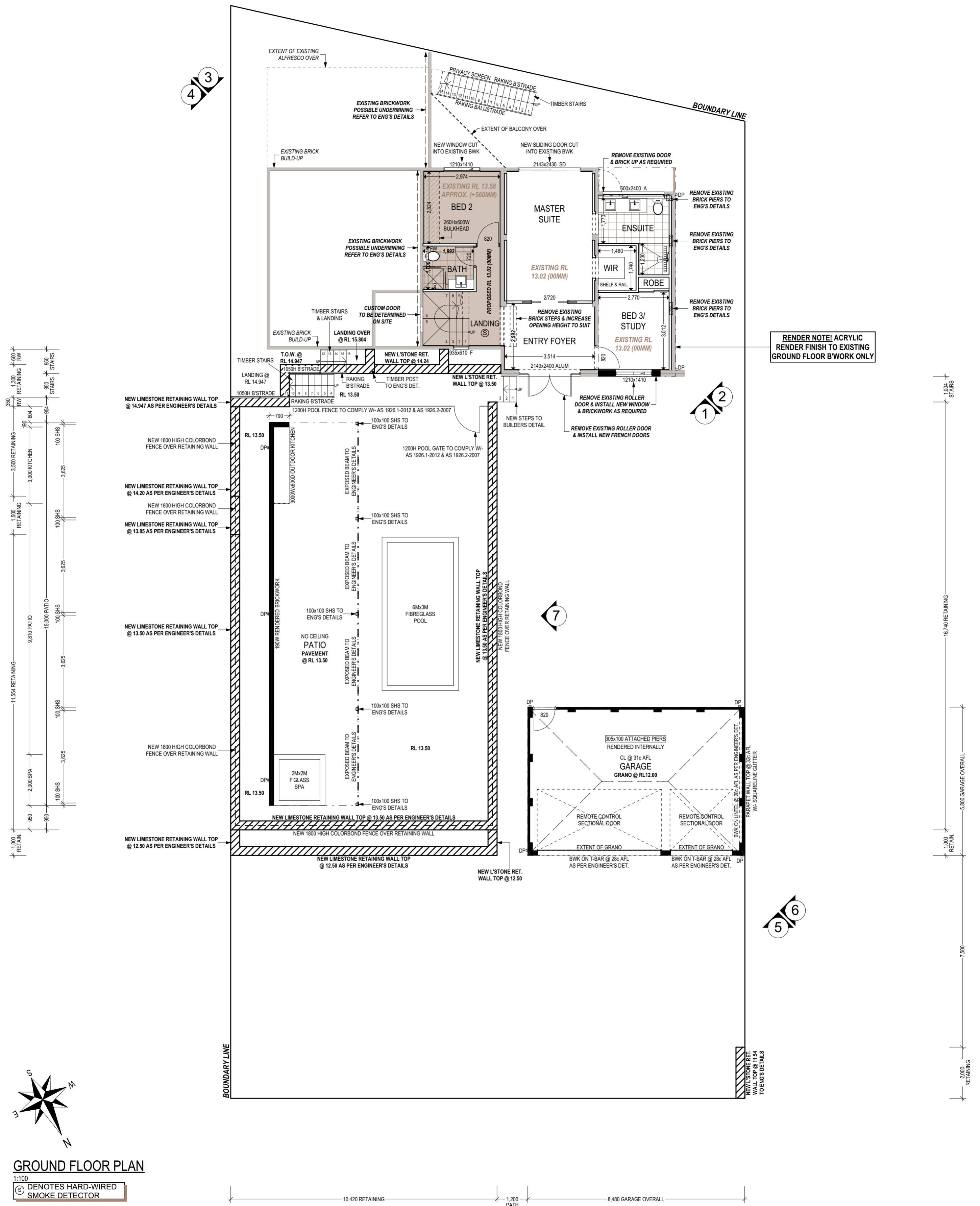
**ELEC.** O/Head  
**COMMS.** Yes  
**WATER** Yes  
**GAS** Check Alinta  
**SEWER** Yes  
**COASTAL** 700m To Ocean (Approximate Only Confirm With Shire)





**ENGINEERING NOTES:**

- THESE PLANS ARE NOT FOR CONSTRUCTION PURPOSES UNLESS FULLY CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS



RENDER NOTE! ACRYLIC RENDER FINISH TO EXISTING GROUND FLOOR B'WORK ONLY

Floor Areas - All Stories			
Floor	Location	Area	Perimeter
1st floor	EXISTING HOUSE	96.05	42.24
	EXISTING ALFRESCO	25.23	20.70
	NEW BALCONY	4.22	9.92
		<b>125.50 m<sup>2</sup></b>	<b>72.86 m</b>
Ground floor	EXISTING HOUSE	79.75	40.76
	NEW GARAGE	52.50	37.00
	NEW GARAGE	49.18	28.56
		<b>181.43 m<sup>2</sup></b>	<b>106.32 m</b>
		<b>306.93 m<sup>2</sup></b>	<b>179.18 m</b>

**PR**  
Premier Residential  
*The Way You Want To Live*  
51 Glomach Circuit Kinross WA 6028  
Mobile: 0466 672 189  
Email: admin@premierresidential.com.au  
ABN: 69 305 673 609

**Project details**  
Client: Clinton Roth  
Address: Lot 463 (#60) Mindarie Drive Quinns Rocks City of Wanneroo

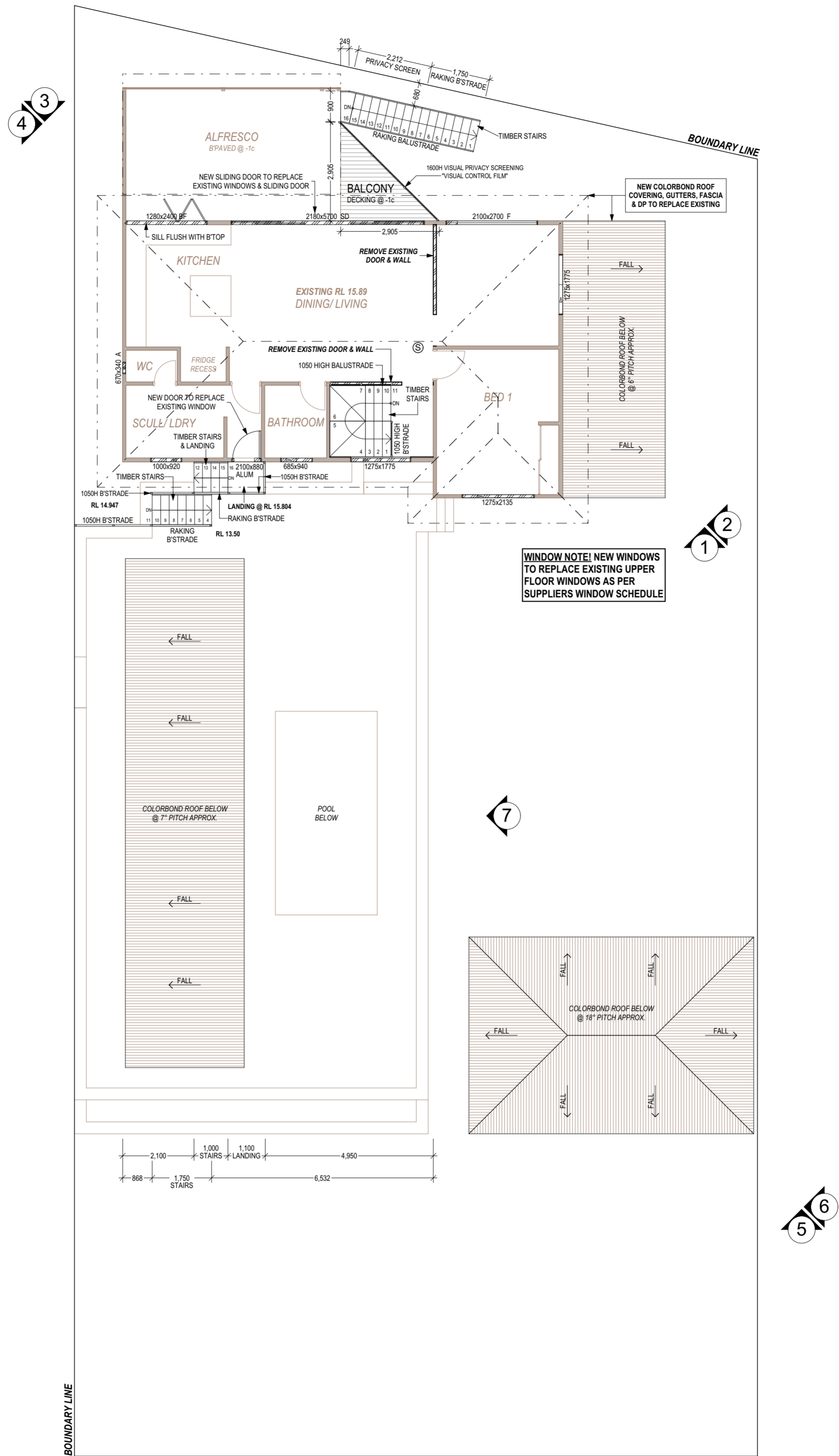
**Revisions**

Rev No.	Date/Dwn.	Chkd.
DA Plans	31.08.22	MM MM

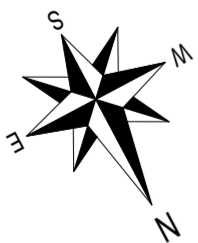
Note: Dimensions on plan do not allow for plastering/finishing

Sheet 3 of 7  
Job No: 239  
Ground Floor Plan  
Drawn Date Chkd.  
MM 31/08/2022 nochk  
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**WINDOW NOTE!** NEW WINDOWS TO REPLACE EXISTING UPPER FLOOR WINDOWS AS PER SUPPLIERS WINDOW SCHEDULE



**UPPER FLOOR PLAN**

1:100  
 (S) DENOTES HARD-WIRED SMOKE DETECTOR

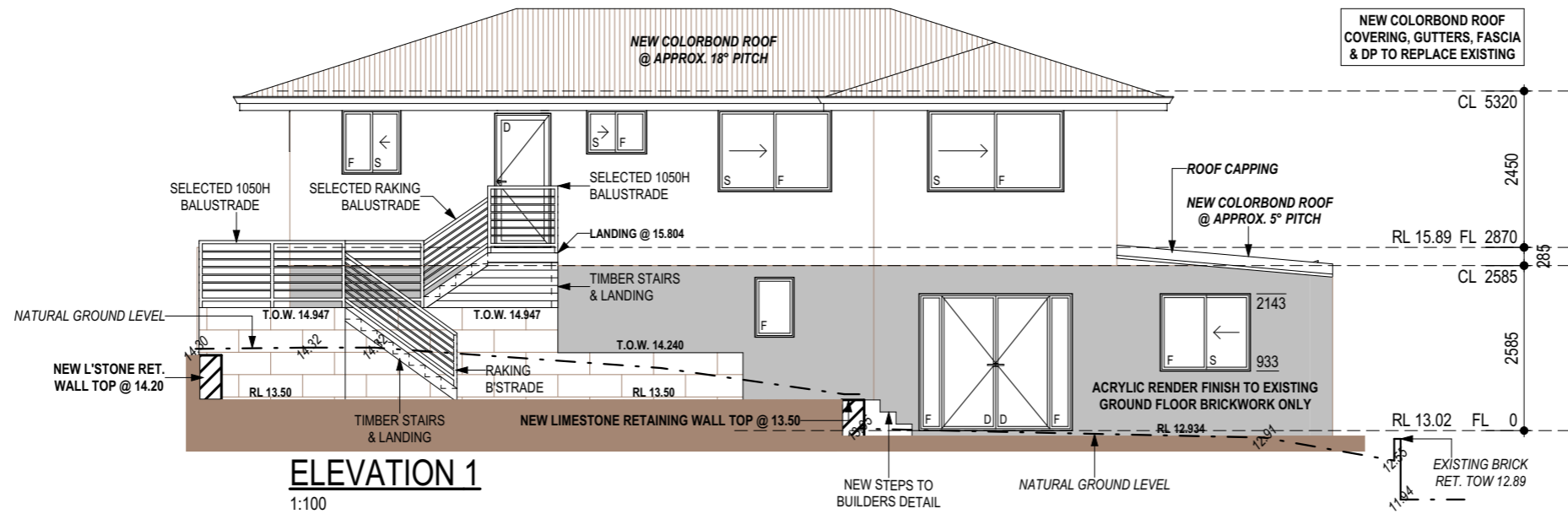
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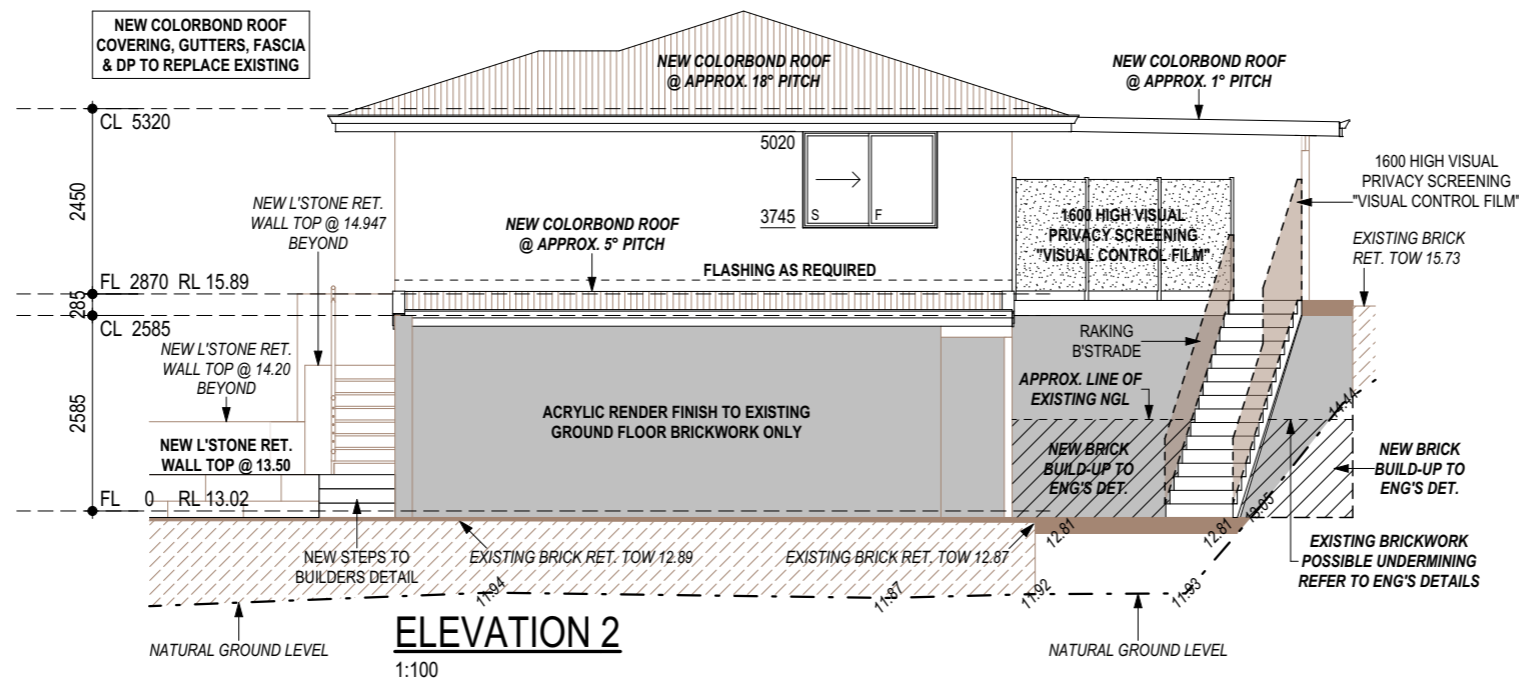
Revisions		
Rev No.	Date/Dwn.	Chkd.
DA Plans	31.08.22 MM MM	

Sheet 4 of 7  
 Job No: **239**  
**Upper Floor Plan**  
 Drawn Date Chkd.  
 MM 31/08/2022 nochk  
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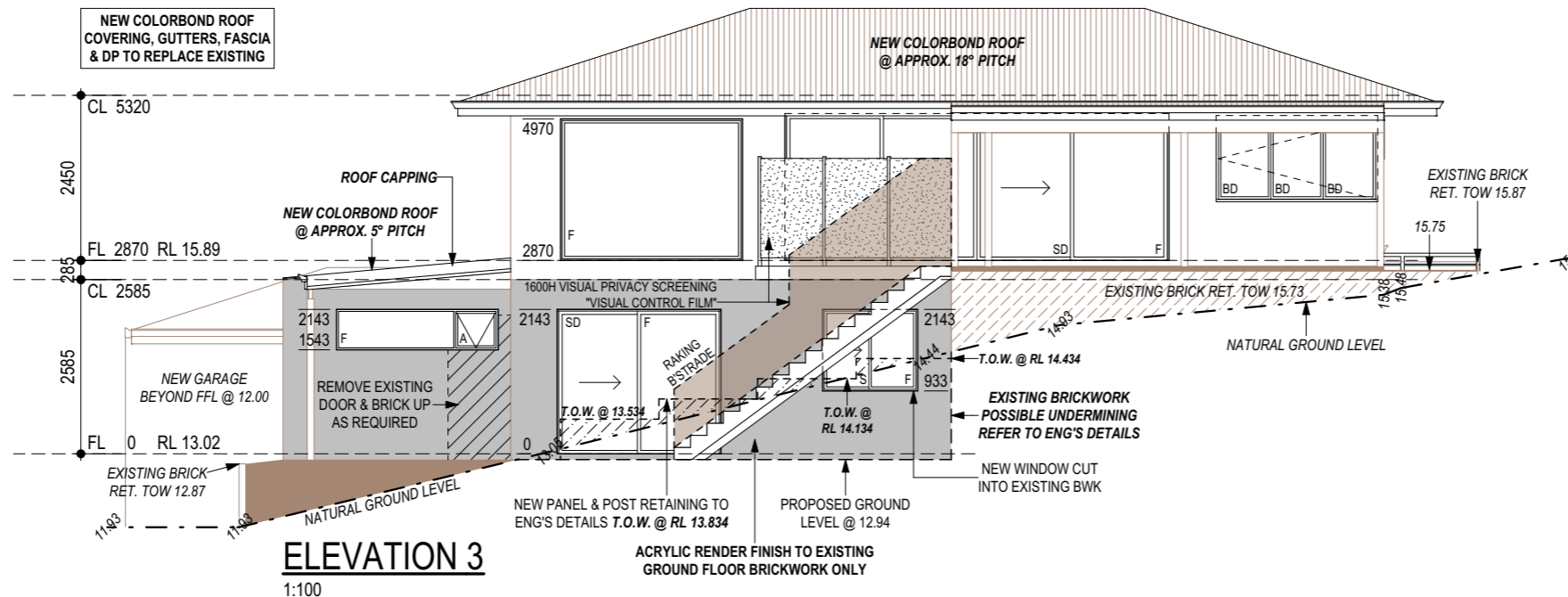
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**ELEVATION 1**  
1:100



**ELEVATION 2**  
1:100



**ELEVATION 3**  
1:100

Sheet 5 of 7

Job No: **239**

External Elevations (1-3)

Drawn	Date	Chkd.
MM	31/08/2022	nochk

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Revisions	Rev No.	Date/Dwn.	Chkd.
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Note: Dimensions on plan do not allow for plastering/flooring finish.

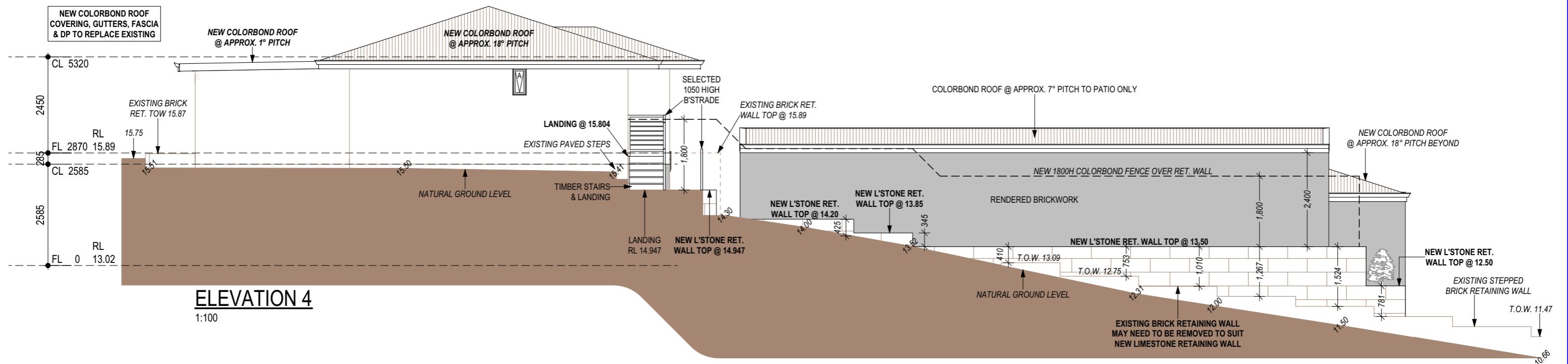
**Project details**

Client: **Clinton Roth**

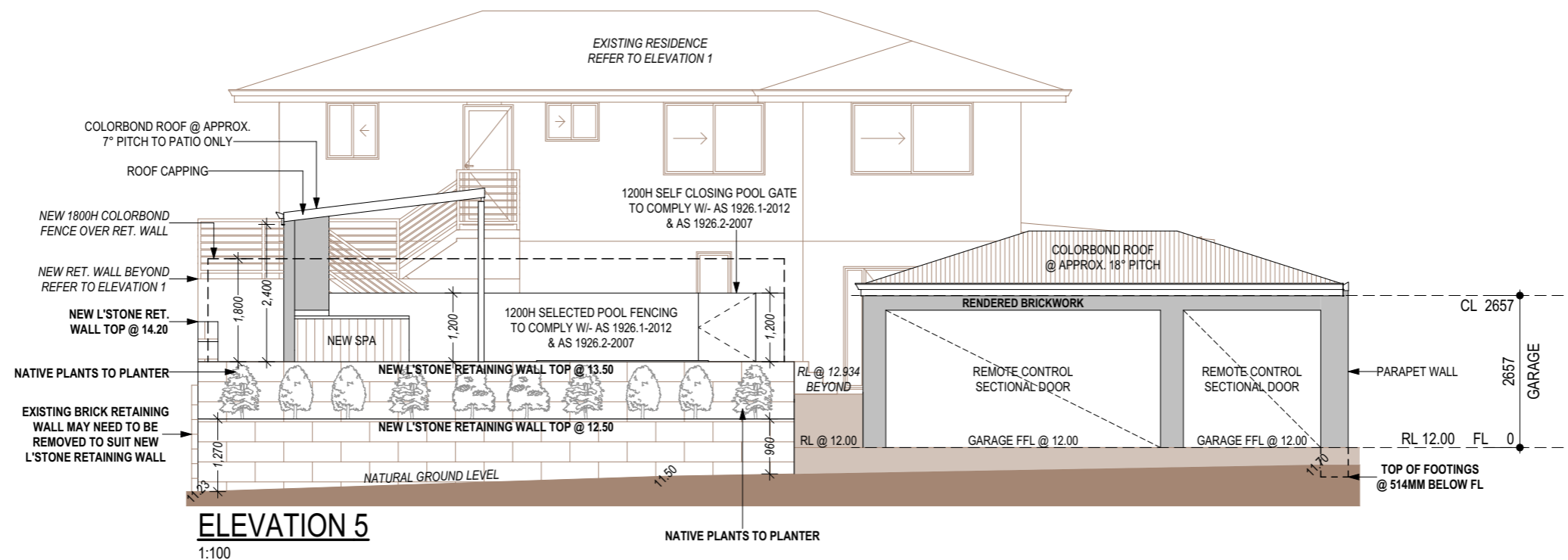
Address: **Lot 463 (#60)  
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Quinns Rocks  
City of Wanneroo**

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**ELEVATION 4**  
1:100



**ELEVATION 5**  
1:100

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**Project details**

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Address: Lot 463 (#60)  
Mindarie Drive  
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Sheet 6 of 7

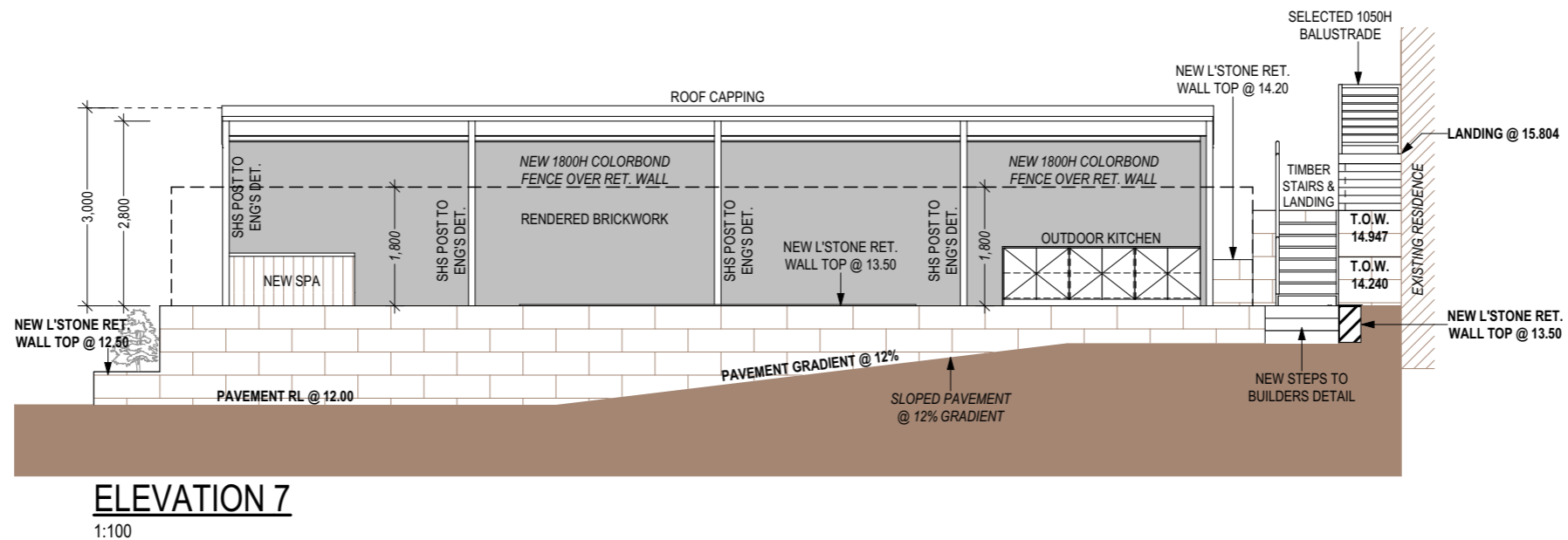
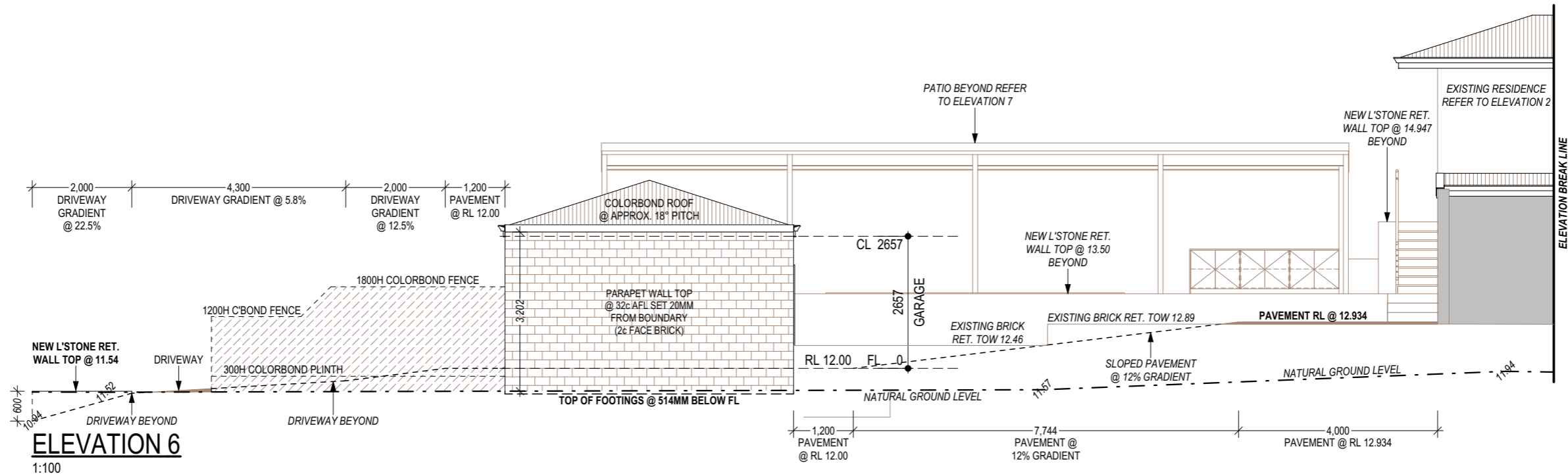
Job No: 239

External Elevations (4-5)

Drawn	Date	Chkd.
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Quinns Rocks  
City of Wanneroo

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DA Plans	31.08.22	MM MM

Sheet 7 of 7		
Job No: 239		
External Elevations (6-7)		
Drawn	Date	Chkd.
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