

CLIENT:	PLAN: DP 421472	LOT AREA: 578m <sup>2</sup>	SURVEY DATE: 07/10/22
BUILDER: DISTINCT DESIGN & DRAFTING	C/T Vol: 4007 Fol: 814		MAP REFERENCE:
BUILDER JOB #	HEIGHT DATUM: AHD	COASTAL ZONE: 0.33KM	
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

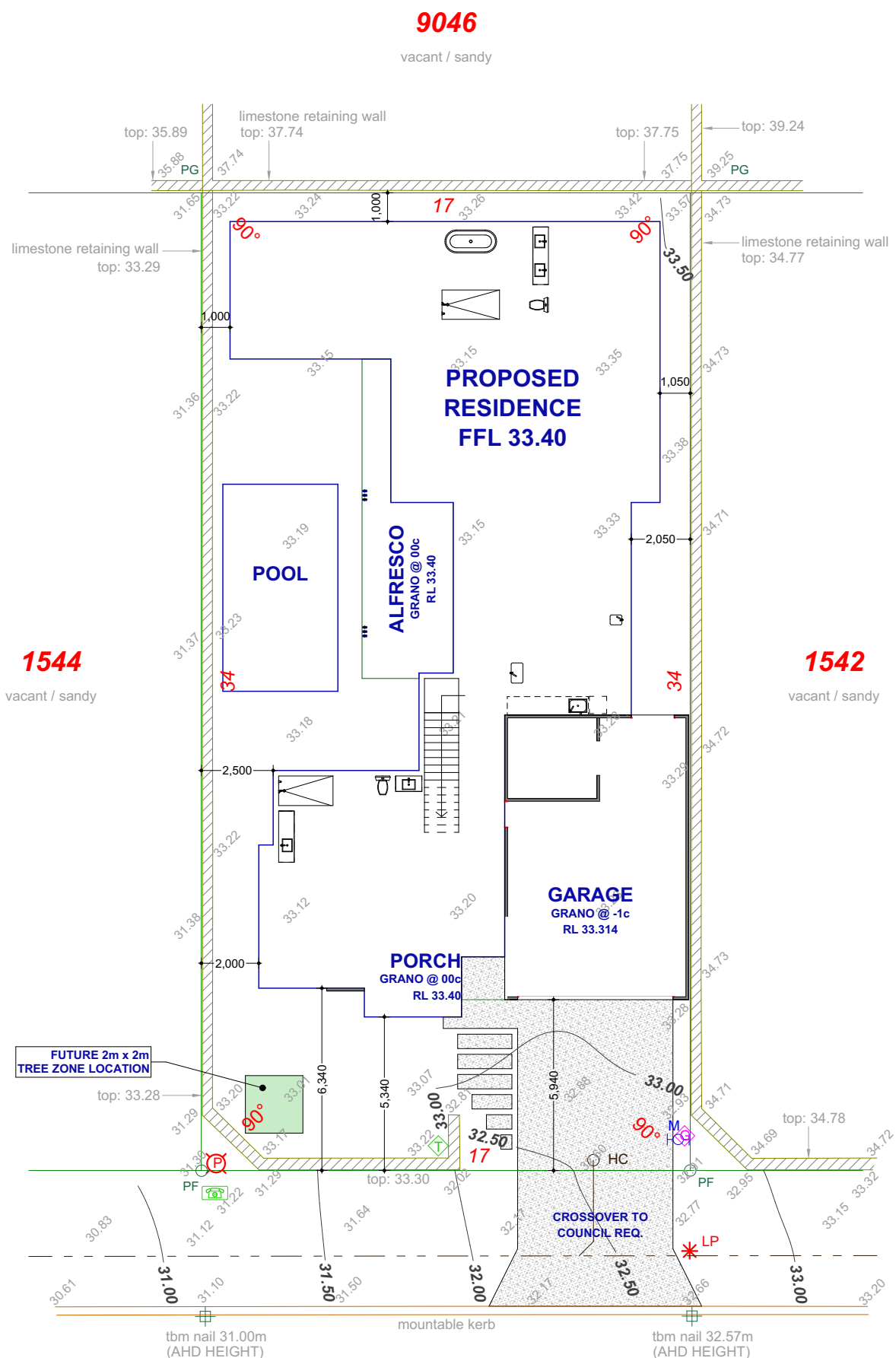
**FEATURE SYMBOL LEGEND**

NOTES  
 (1) ALL FEATURES IN GOOD CONDITION  
 (2) DEVELOPMENT AREA: NEW

**REVISED**



POWER	
CABLE DOME	POWER POLE  PP
CABLE BOX	CONSUMER POLE  CP
POWER MARKER	EXPOSED CABLES  EC
LIGHT POLE  LP	STAYWIRE ANCHOR  SWA
WATER	
WATER METER / TAP  M	FIRE HYDRANT  H
TAP	STOP VALVE  SV
FLUSHING POINT  FP	RETIC VALVE  RV
BORE	WATER MARKER  W
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT  IS	INSPECTION OPENING  IO
HOUSE CONNECTION	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)  D
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER  GM	GAS VALVE  GV
GAS MARKER	
SURVEY MARKS	
PEG FOUND  PF	PEG GONE  PG
DRILL HOLE  DH	BENCH MARK
PEN MARK  PM	NAIL & PLATE  NPL
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT  10.16
UNKNOWN SERVICE MARKER	BOLLARD  B
OVERHEAD POWER LINE	SEWER LINE  S
FENCE LINE	WINDOW / OPENING  W
SERVICE DETAILS	
WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: L SEWER: L	
SERVICE NOTES	
L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED	



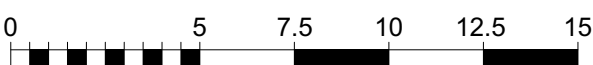
**LANYARD OUTLOOK**

(bitumen)

**SEWER JUNCTION DETAILS**

HOUSE CONNECTION (HC) IL:	29.85
UP DISTANCE:	2.4
DEPTH TO CONNECTION:	0.35

SCALE 1:200 AT A3 SIZE



**IMPORTANT FEATURE SURVEY NOTES**

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

**REVISED**

SITE AREA = 578 m<sup>2</sup>  
 BUILDING AREA = 302.17 m<sup>2</sup>  
 SITE COVERAGE = 52.37 %  
 ZONING = R20  
 CITY OF WANNEROO

NOTE:  
 PLAN IS SUBJECT TO FURTHER  
 ADJUSTMENT UPON RECEIPT  
 OF SURVEY

NOTE: BCA REGULATION IN REGARDS  
 TO ENERGY EFFICIENCY REQUIREMENTS  
 TO NEW DWELLINGS MAY ALTER THIS  
 DESIGN

**BUILDING AREA**

GROUND FLOOR	236.574
UPPER FLOOR	72.034
GARAGE	63.360
BALCONY	50.116
ALFRESCO	24.164
PORCH	2.235
<b>TOTAL</b>	<b>448.483 m<sup>2</sup></b>

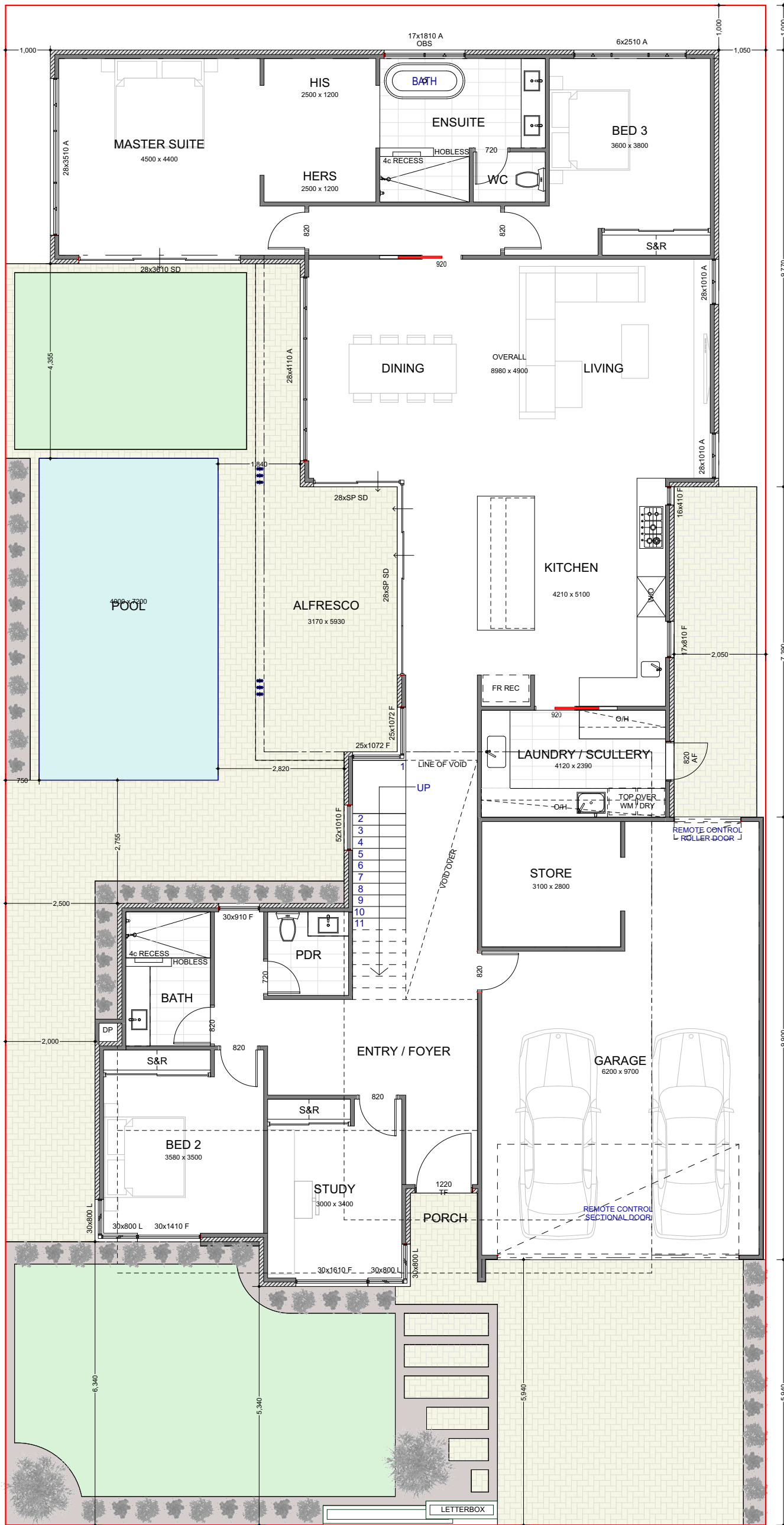
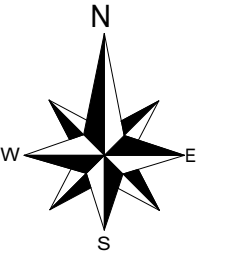
**NOTES**

CONCEPT SKETCH ONLY DESIGN  
 SUBJECT TO LOCAL COUNCIL &  
 DEVELOPER APPROVAL

**COASTAL REQUIRED**

**PLANNING REQUIRED**

<b>STORMWATER REQUIREMENTS</b>	
SOAKWELLS	REQUIRED



**GROUND FLOOR PLAN**  
 1:100

PROJECT NO: **DD0093**  
 INDIVIDUAL DESIGN  
 CLIENT'S NAME: **BARELLA**  
 SITE ADDRESS: **LOT 1543 #18 LANYARD OUTLOOK, JINDALEE**

PROJECT NO:	<b>DD0093</b>
SHEET NO:	<b>1 of 4</b>
DESIGN BY:	<b>JF</b>

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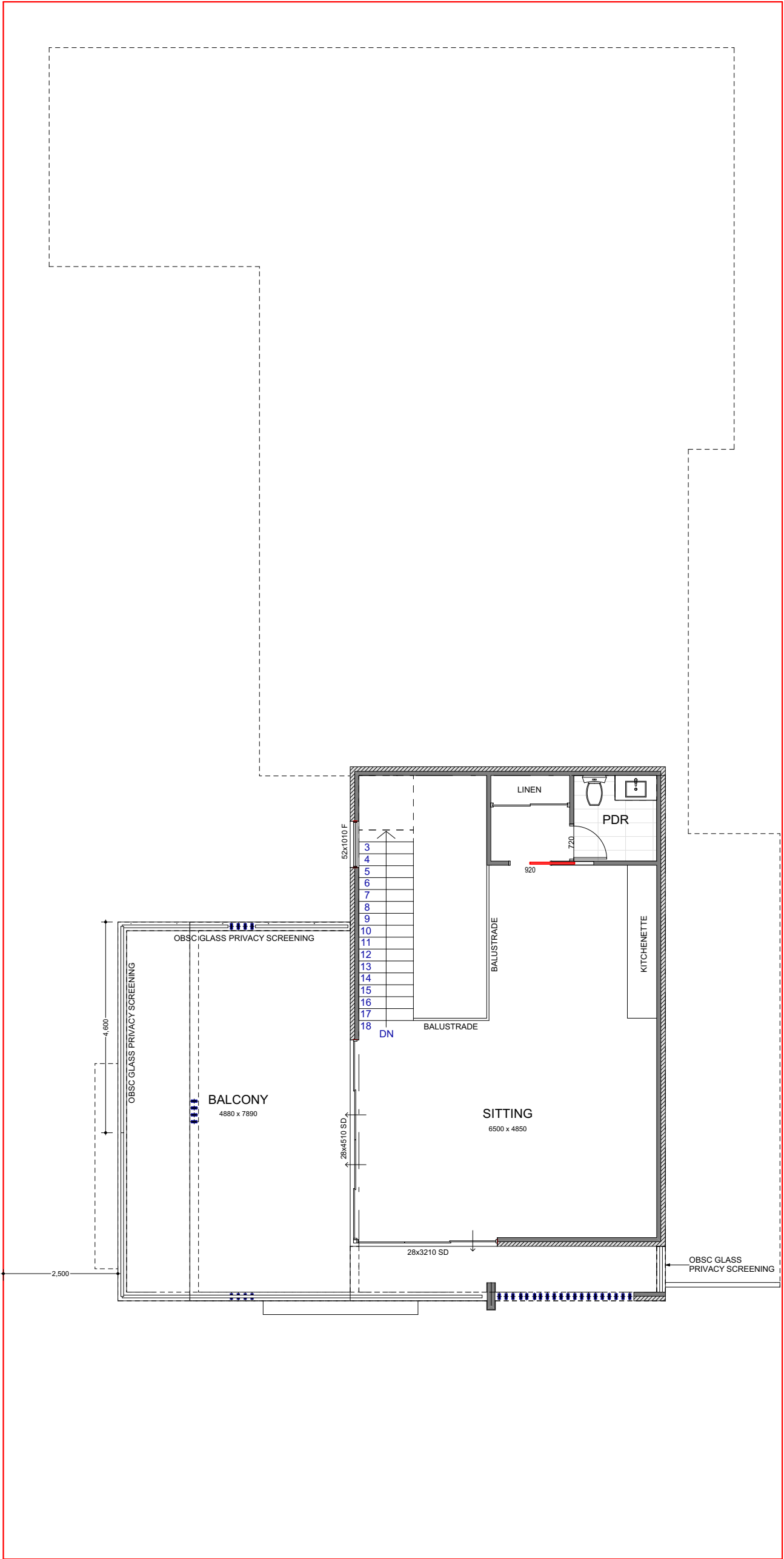
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DATE	28.09.22
DATE	07.10.22
DATE	10.10.22
DATE	13.10.22
DATE	26.10.22
DATE	02.11.22
DATE	03.11.22

DESCRIPTION	DESIGN - V1
DESCRIPTION	DESIGN - V2
DESCRIPTION	DESIGN - V3
DESCRIPTION	DESIGN - V4
DESCRIPTION	DRAWINGS - V1
DESCRIPTION	DRAWINGS - V2
DESCRIPTION	DRAWINGS - V3

ID	1
ID	2
ID	3
ID	4
ID	5
ID	6
ID	7
ID	8

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 M: 0422 177 094 E: distinctdesignanddrafting.com.au

**REVISED**



**UPPER FLOOR PLAN**  
1:100

SITE AREA = 578 m<sup>2</sup>  
 BUILDING AREA = 302.17 m<sup>2</sup>  
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**NOTES**

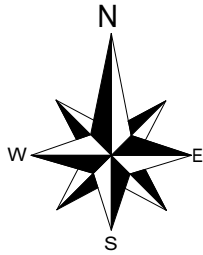
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**COASTAL REQUIRED**

**PLANNING REQUIRED**

**STORMWATER REQUIREMENTS**

SOAKWELLS	REQUIRED
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PROJECT TYPE  
**INDIVIDUAL DESIGN**

CLIENT'S NAME  
**BARELLA**

SITE ADDRESS  
**LOT 1543 #18 LANYARD OUTLOOK,  
JINDALEE**

PROJECT NO:  
**DD0093**

SHEET NO:  
**2 of 4**

DESIGN BY:  
**JF**

**NOTE: BCA REGULATION IN  
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REQUIREMENTS TO NEW DWELLINGS  
MAY ALTER THIS DESIGN**

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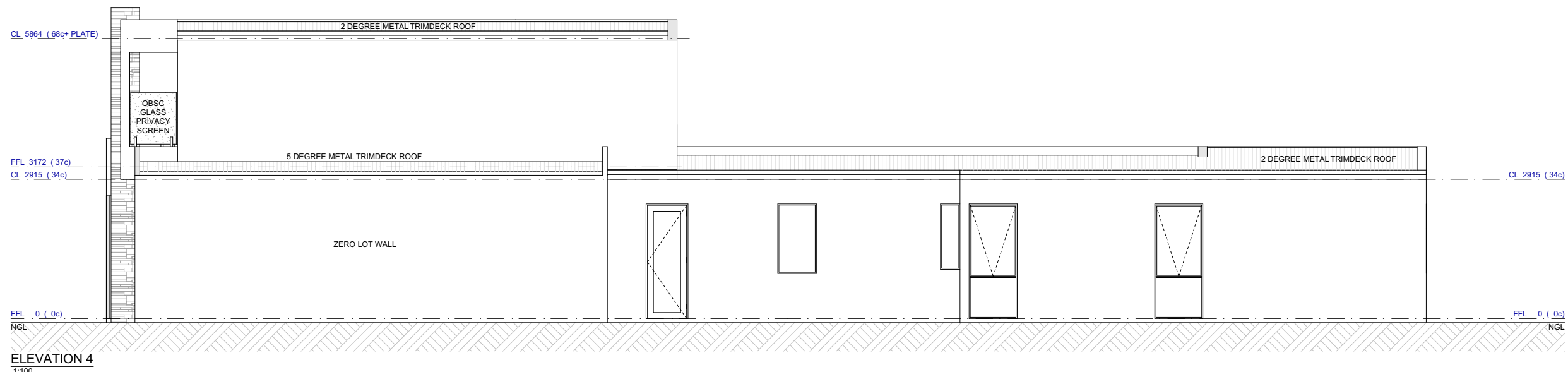
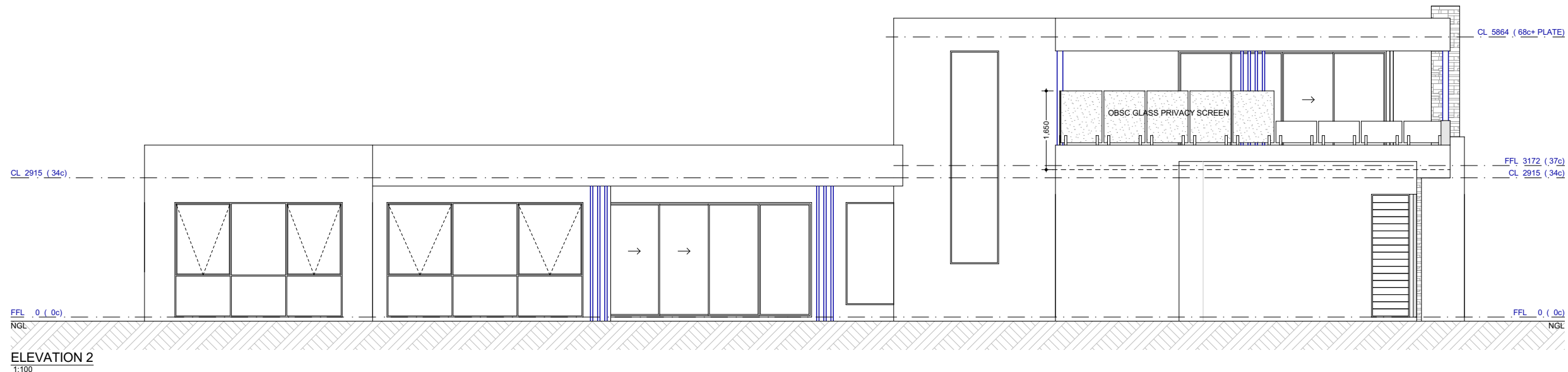
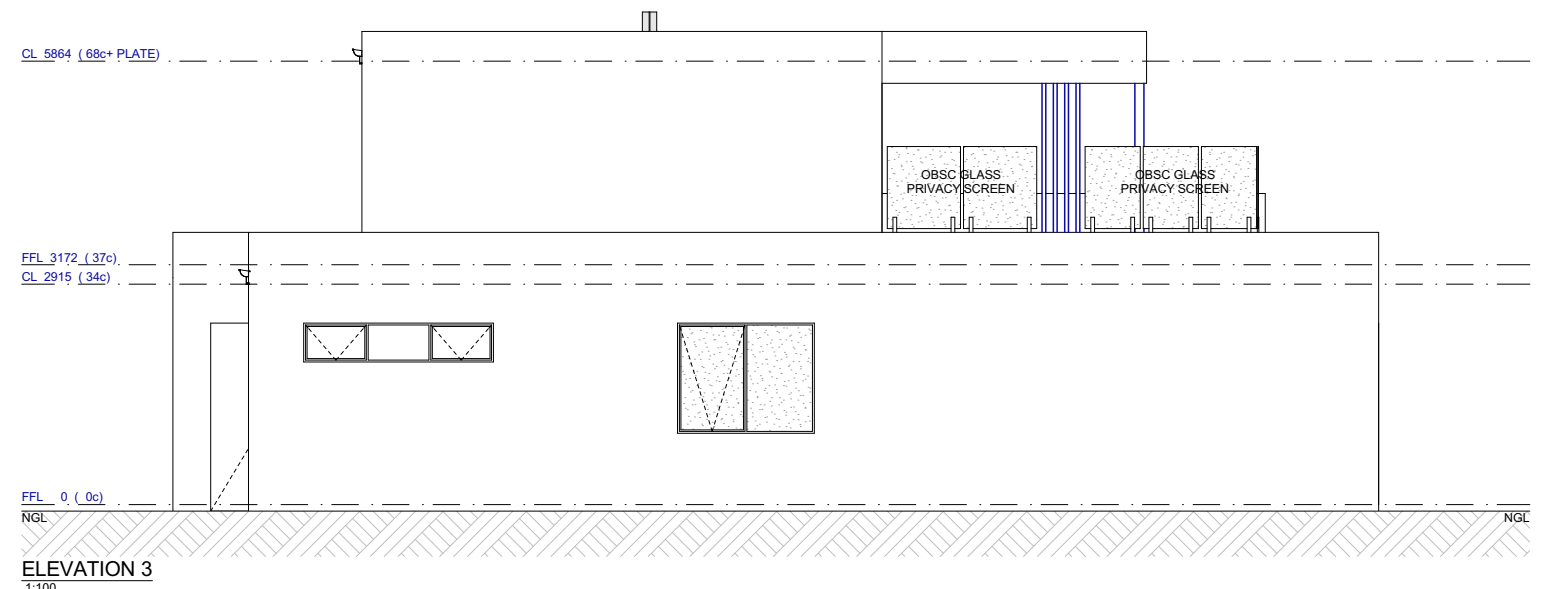
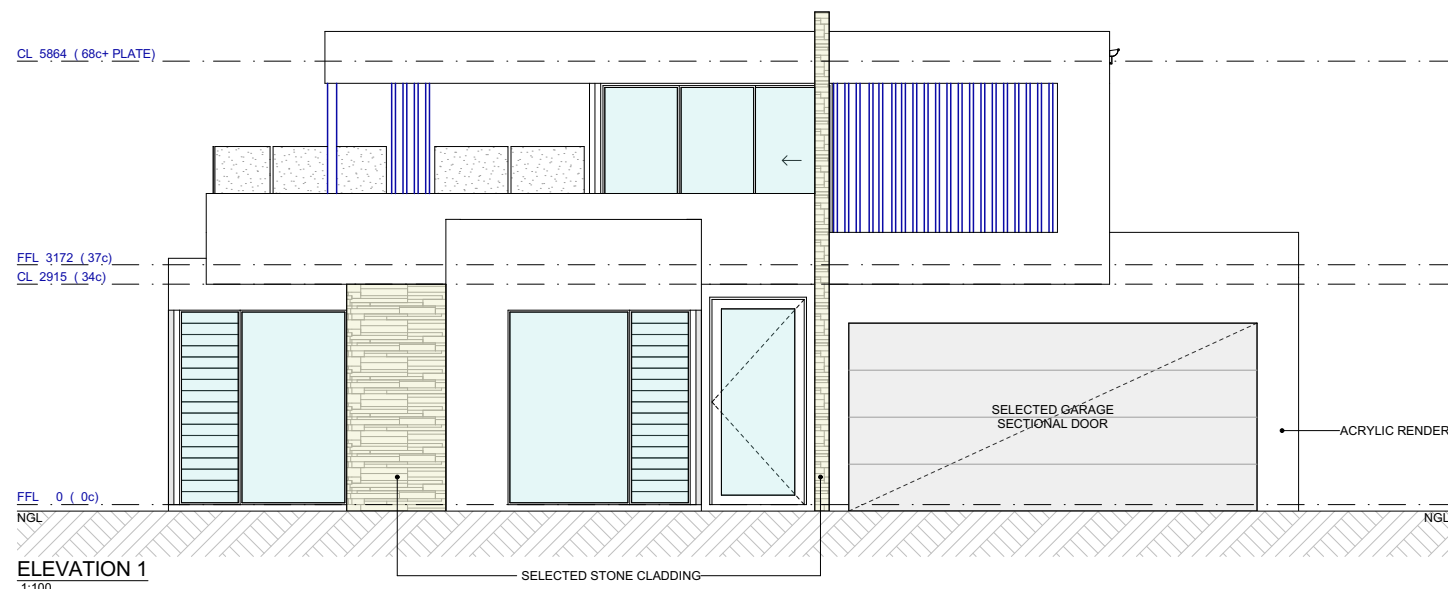
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28.09.22	JF
07.10.22	JF
10.10.22	JF
13.10.22	JF
26.10.22	JF
02.11.22	JF
05.11.22	JF

DESCRIPTION
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ID	DESCRIPTION	DRAWN	DATE
1	DESIGN - V1	JF	16.09.22
2	DESIGN - V2	JF	28.09.22
3	DESIGN - V3	JF	07.10.22
4	DESIGN - V4	JF	10.10.22
5	DA DRAWINGS - V1	JF	13.10.22
6	DA DRAWINGS - V2	JF	26.10.22
7	DA DRAWINGS - V3	JF	02.11.22
8	DA DRAWINGS - V3	JF	03.11.22

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PROJECT NO: **DD0093**

SHEET NO: **3 of 4**

DESIGN BY: **JF**

HOUSE TYPE: **INDIVIDUAL DESIGN**

CLIENTS NAME: **BARELLA**

SITE ADDRESS: **LOT 1543 #18 LANYARD OUTLOOK, JINDALEE**

**REVISED**