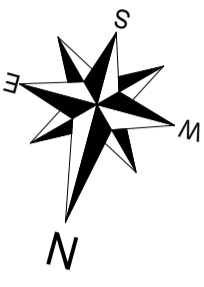
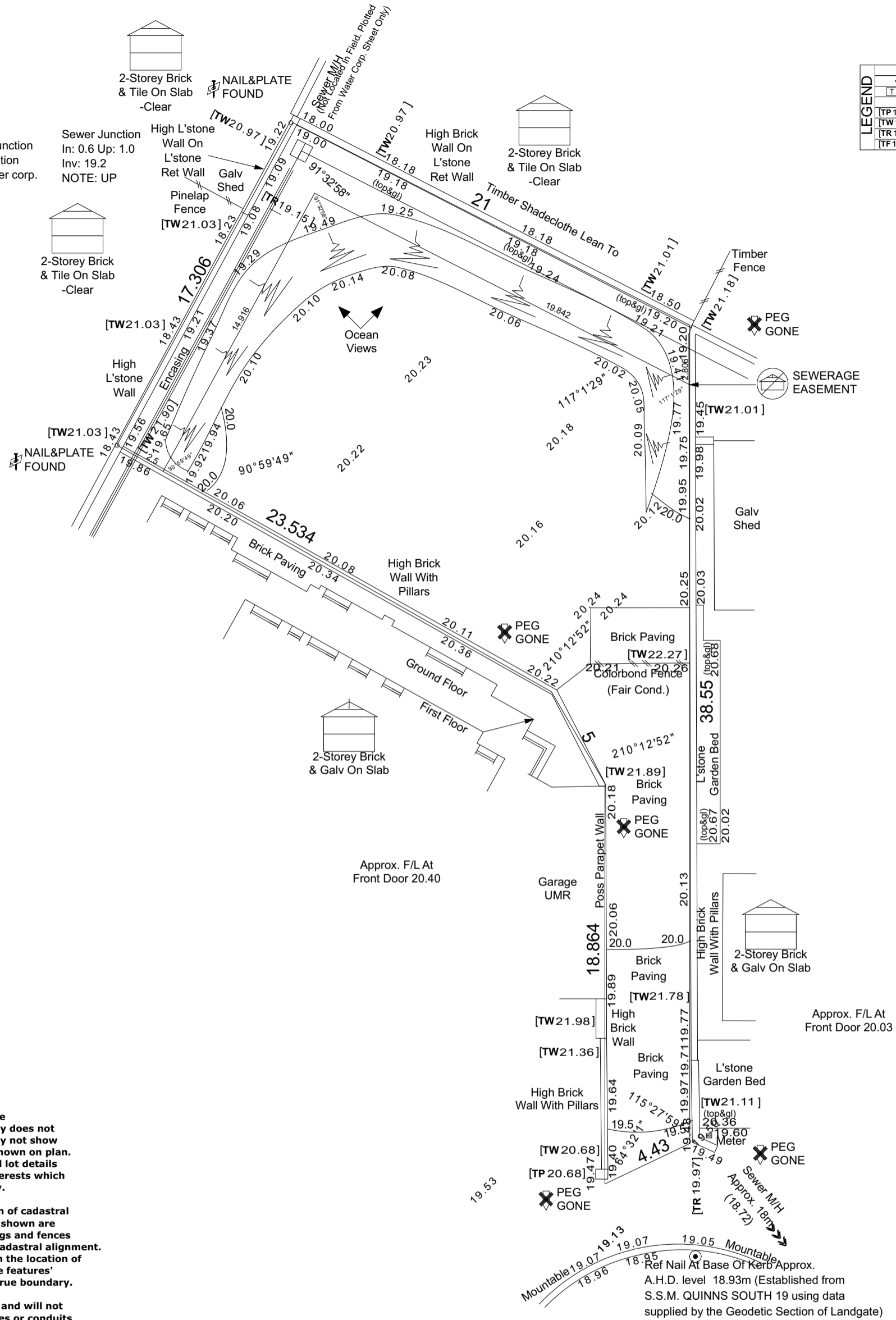


NOTE:
Check Water Corp. re: Junction Up and Depth as information appears incorrect on water corp. E-Plan.



LEGEND	
	Power Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence



LOT MISCLOSE
0.000m

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Tulsa Court Court
Bitumen



87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 522354
CLIENT Mandishona & Chipangura
ADDRESS #15 Tulsa Court Court
SUBURB Mindarie
LGA CITY OF WANNEROO
DRAWN J. Jee

GPS Lat: -31.683578 Long: 115.70085
ORDER # 17878
LOT Lot 22 (DP 55901)
AREA 547m² VOL. 2800 FOL. 75
DATE 24 Mar 22 SSA No

ROADS Bitumen
KERBS Mountable
FOOTPATH Nil
SOIL Sand, L'Stone(Poss)
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL 200m To Ocean

OWNER
OWNER
BUILDER
DATE



www.dialbeforeyoudig.com.au

REFER TO WB OFFICE FOR ALL SERVICE PLANS BEFORE ANY EARTHWORKS COMMENCE (DBYD J/N: 31640613)

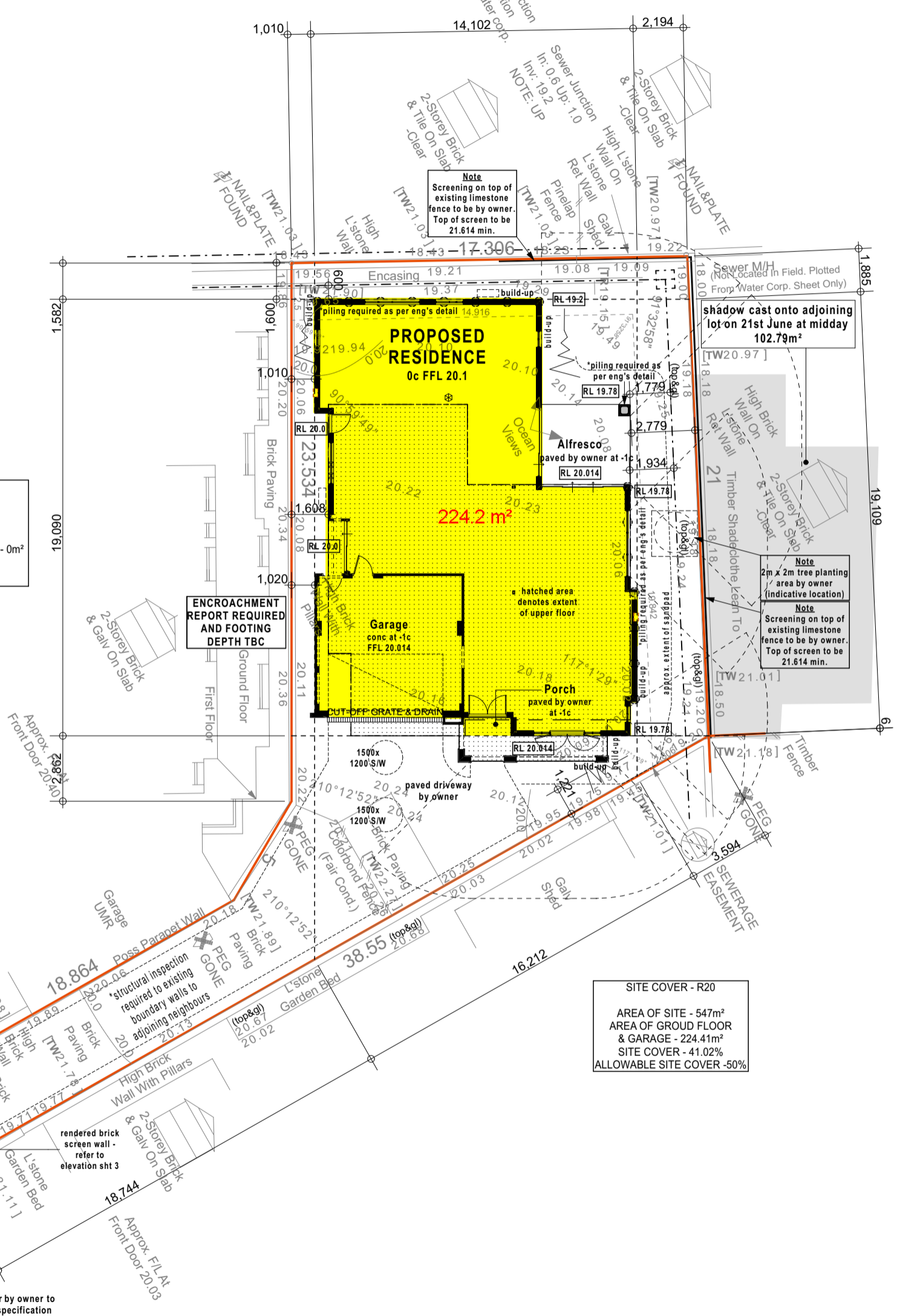
all rwp's directly connected to stormwater system excluding front elevation rwp's which are to have open grates under

Front Setback Average

R20 Zoning - 6m primary setback

AREA OF INCURSION INTO STREET SETBACK - 0m²

PRIMARY SETBACK 6m AVERAGE ACHIEVED



SITE COVER - R20

AREA OF SITE - 547m²

AREA OF GROUND FLOOR & GARAGE - 224.41m²

SITE COVER - 41.02%

ALLOWABLE SITE COVER - 50%

PROPOSED
Dr. M Mandishona & B Chipangura
RESIDENCE
 LOT 22 #15 Tulsa Court,
 MINDARIE
 DATE: 28.09.22
 DRAWN: LT
 REP: Bojan Kovacic
 JOB No: 17878 SKETCH
 Amour Modified

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PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
IS R-CODE VARIATION REQD - YES

NON COMPLIANCE ITEMS:

1. Overlooking from upper floor balcony.

CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements, we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design may be required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

The client acknowledges the items listed under the non-compliance notes above.

Client

Client

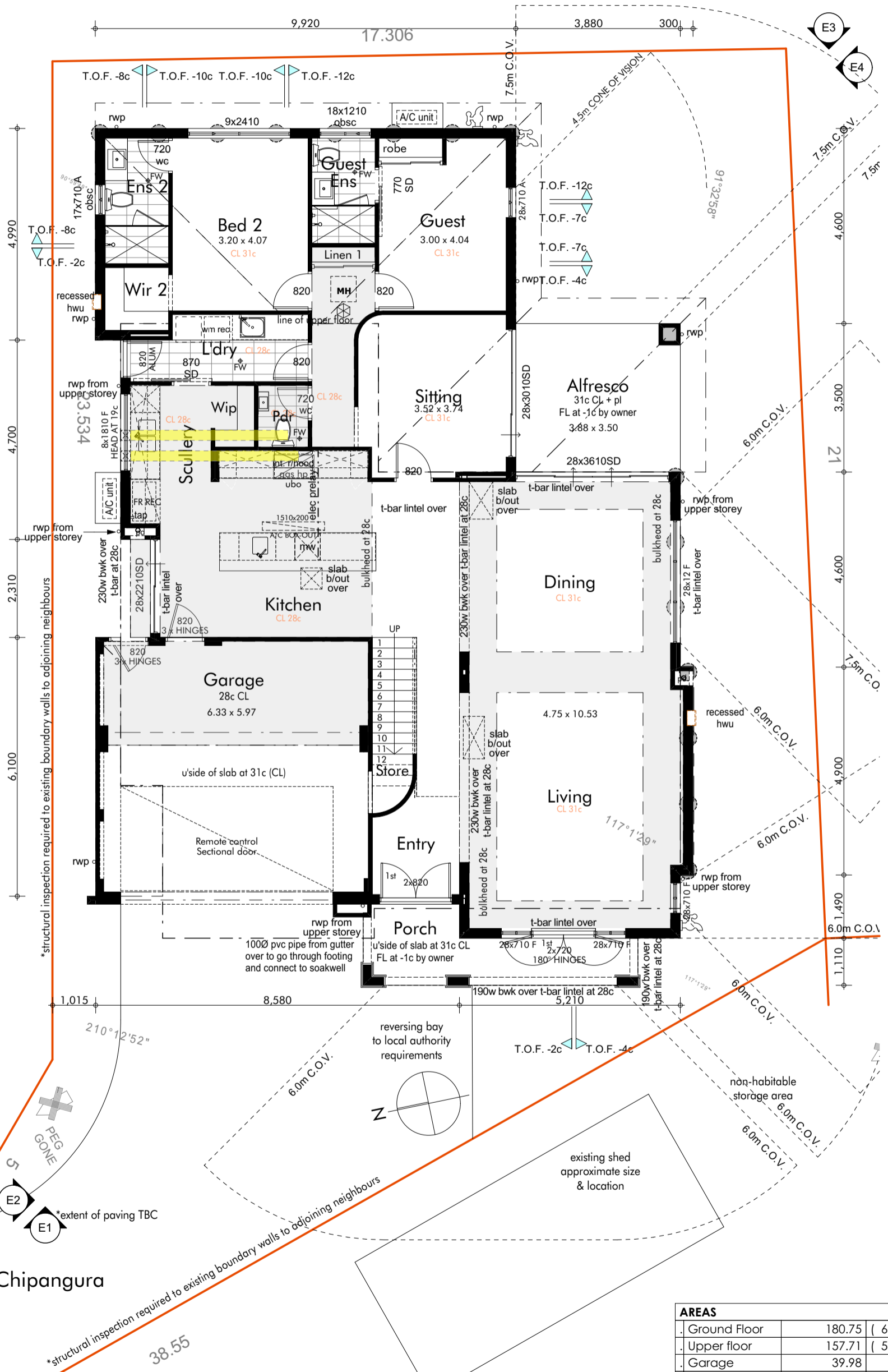
GREEN TITLE SITE / SURVEY STRATA SITE

DESIGN NOTES

ROOF 20°49' GF Roof Pitch
25°38' UF Roof Pitch
Metal ROOF

31c GROUND FLOOR
31c+PL UPPER FLOOR

RENDERED BWK EXTERNALLY



PROPOSED
Dr. M Mandishona & B Chipangura
RESIDENCE

LOT 22 #15 Tulsa Court,
MINDARIE
DATE: 28.09.22
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AREAS	
Ground Floor	180.75 (66.380m)
Upper floor	157.71 (55.373m)
Garage	39.98
Upper floor	0.67 (4.668m)
Porch	9.01
Alfresco	13.58
Balcony	12.22
	413.92 m ²

SKETCH FLOOR PLAN

SCALE: 1:100

PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
IS R-CODE VARIATION REQD - YES

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Client

Client

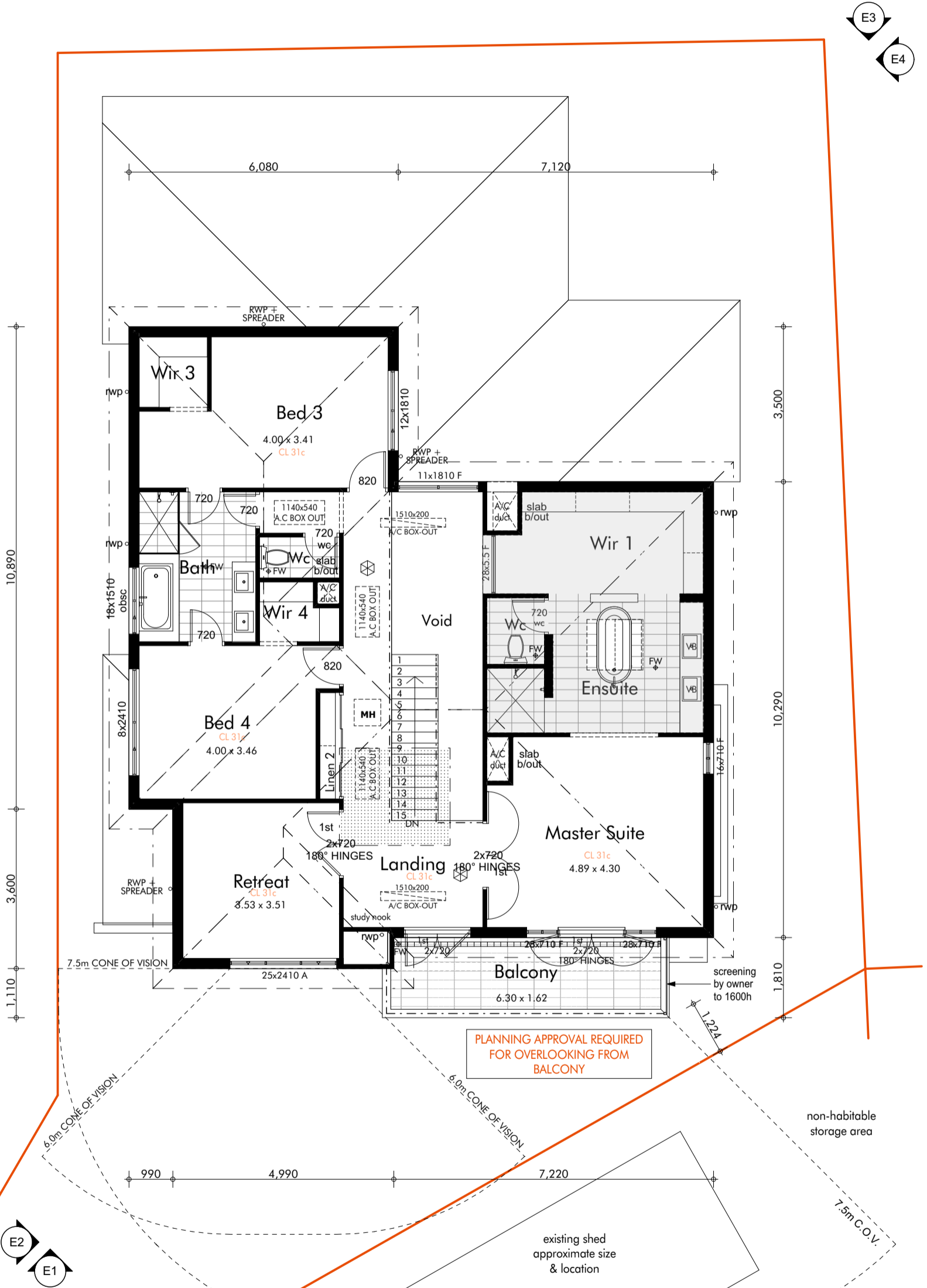
GREEN TITLE SITE / SURVEY STRATA SITE

DESIGN NOTES

ROOF 20°49' GF Roof Pitch
25°38' UF Roof Pitch
Metal ROOF

31c GROUND FLOOR
31c+PL UPPER FLOOR

RENDERED BWK EXTERNALLY



PROPOSED Dr. M Mandishona & B Chipangura RESIDENCE

LOT 22 #15 Tulsa Court,
MINDARIE

DATE: 28.09.22

DRAWN: LT

REP: Bojan Kovacic

JOB No: 17878 SKETCH

Amour Modified

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Balcony	12.22	
	413.92 m ²	

SKETCH UPPER PLAN

SCALE: 1:100

OWNER
OWNER
BUILDER
DATE

DESIGN NOTES

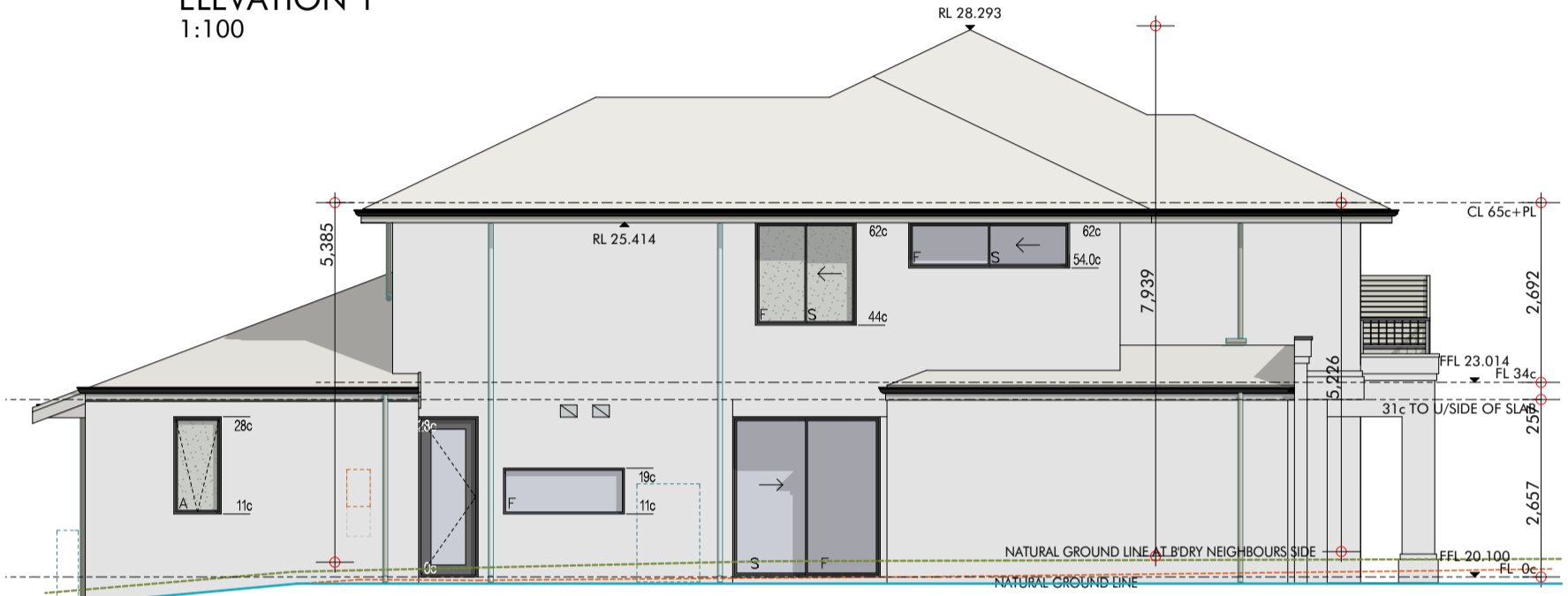
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Metal ROOF

31c GROUND FLOOR
31c+PL UPPER FLOOR

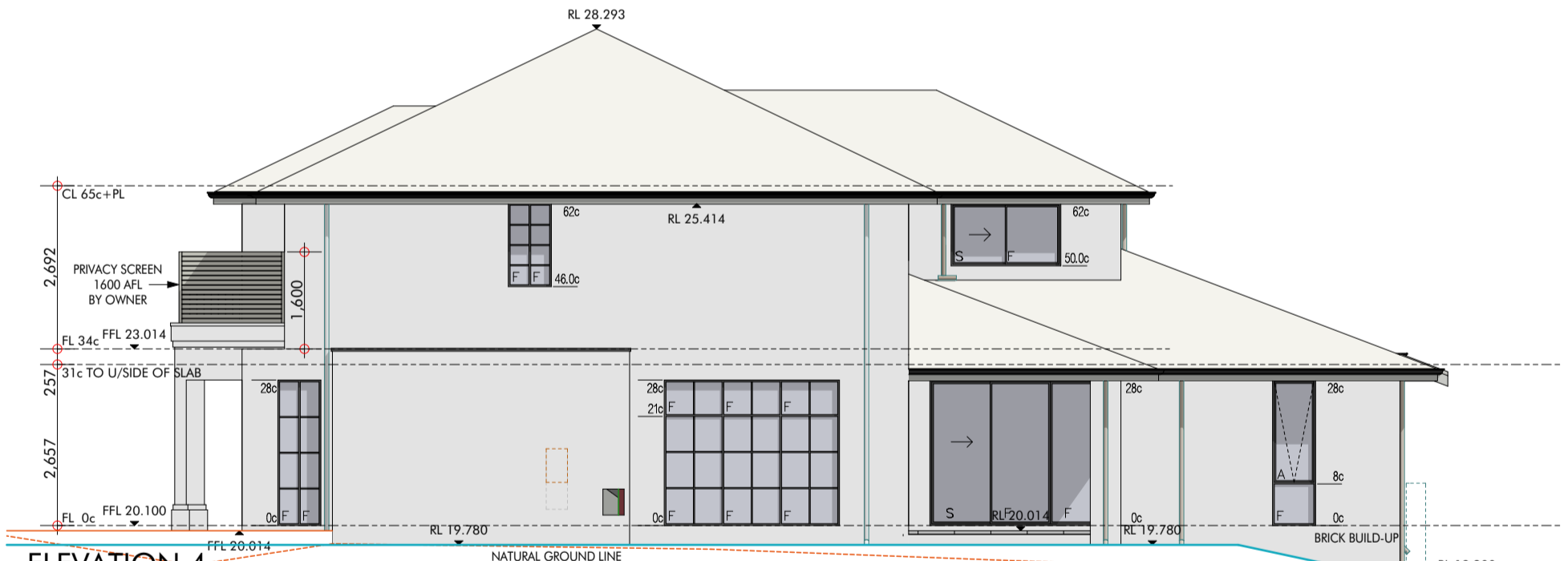
RENDERED BWK EXTERNALLY



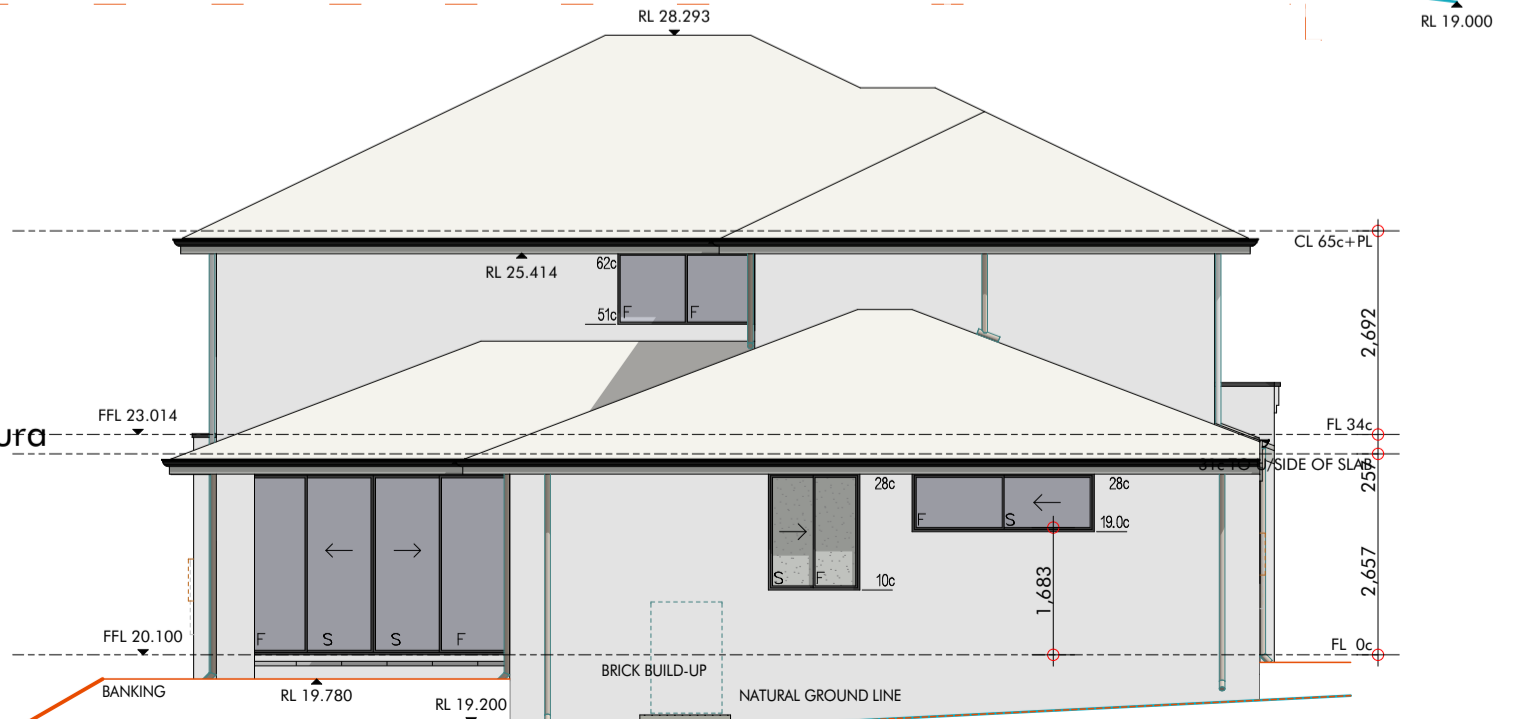
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 4
1:100



ELEVATION 3
1:100

PROPOSED

Dr. M Mandishona & B Chipangura

RESIDENCE

LOT 22 #15 Tulsa Court,
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