

Parking Arrangement

LOT 592

NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.



Resident Parking
Guest Parking
VACANT



VARIATIONS			THESE ARE THE PLANS REFERRED TO IN THE BUILDING CONTRACT	
No	DATE	DRAWN	DATE	OWNER
3/P	2/04/07	SB		
5/P	2/04/07	SB		
7/P	10/05/07	SB		

DATE	SCALE	OWNER
MAR 07	1:200	
DRAWN	CHKD	OWNER
CW		
SHT No. 1 of 8	REV B	BUILDER
JAC	7813	

Content LIVING
The Home Builders

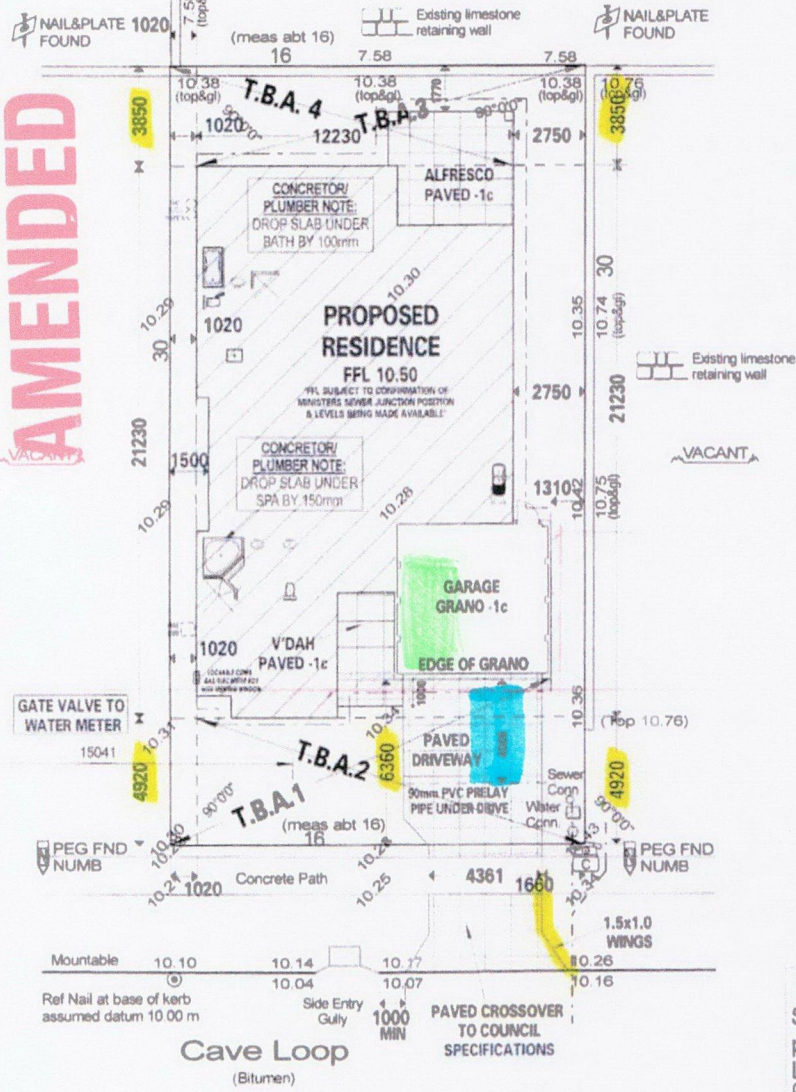
A.C.N. 055 245 308
6 GOULD STREET
OSBORNE PARK 6017
P.O. Box 1101, Osborne Park WA 6917
PH (08) 9202 5222 FAX (08) 9202 5233

WARNING:
PLANDIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE

CLIENT	Clifford	CONTRACT / JOB NO	7813
SITE SURVEY	LOT 592	MAP REF	
Suburb	Cave Loop	COASTAL YES	(Sourced from StreetSmart Director's Entry)
Loc.Auth.	Yanchep	Volume	Folio
D.Plan	52675	Location	Check Title

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

AMENDED



NOTES:

TERMITE TREATMENT TO BE HANDSPRAYING OF 'BIFENTHRIN' IN ACCORDANCE WITH AS 3660. 1 (SECTION 8)

REPAIRS / REINSTATEMENT TO DAMAGED KERBS AND / OR FOOTPATHS WHERE NECESSARY IS THE RESPONSIBILITY OF THE OWNER

CLIENT NOTE: STORMWATER TO BE DRAINED TO SOAKWELLS OR DISCHARGED TO NOT CAUSE INTERFERENCE TO THE BUILDING, BY THE OWNER TO COMPLY WITH STRUCTURAL ENGINEER'S REQUIREMENTS

CLIENT NOTE: BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

COLORBOND ROOF @ 25° PITCH
COASTAL ZONE

N1 WIND CLASSIFICATION
AS PER ENGINEER'S CERTIFICATE OF INSPECTION

"REFER TO CONSTRUCTION DETAILS SHEETS"

- HOLDING DOWN RODS TO ALL BRICK PIERES
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- AN TIES TO GABLE BRICKWORK
- STAINLESS STEEL WIRE TIES TO INTERNAL BRICKWORK
- COASTAL MORTAR MIX TO FACE BRICKWORK
- NOTE: ONLY CONCRAE MORTAR JOINTS PERMITTED
- HOT DIPPED GALVANISED UNTELS TO GABLE BRICKWORK
- HOT DIPPED GALVANISED EXTERNAL STEELWORK
- RED OXIDE TREATMENT TO INTERNAL STEELWORK

NOTE:
BOTTLED GAS
RELEVANT APPLIANCES TO CONNECT TO BOTTLED GAS
*PGI HOOD, LPG REGULATOR & CONCRETE FLOOR BY BUILDER
*GAS BOTTLES SUPPLIED & INSTALLED BY OWNER

NOTE: Sewer inspection Shaft Connection. Not Standard Junction. Refer to Plumber & Water Corp.

NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT

SOIL DESCRIPTION
Sand / Topsoil / Sand with a presence of limestone rubble / Limestone refusal
Cleared Lot



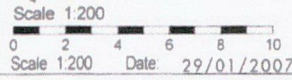
Elec.	U/ground	Water	Yes	Sewer	Yes
Gas	Yes	Phone	Yes	Footpath	Concrete
Road	Bitumen	Kerb	Mountable	Drainage	Good



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

219 OSKLOV ROAD, SHENTON PARK, 6008. Ph (08)9381 6211 Fax (08)9382 2503
Email perth@cottage.com.au www.cottage.com.au

J.No 163265 Drawn S. Osborne



NOTE: All Sewer details plotted from information supplied by Water Corporation.

NOTE: BEWARE ADVISE TRADES ON lead power lines

NOTE: CITY OF WANNEROO SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

HOT DIPPED GALVANISED EXTERNAL STEELWORK
RED OXIDE TREATMENT TO INTERNAL STEELWORK

CONCRETOR/
PLUMBER NOTE:
ROP SLAB UNDER
BATH BY 100mm

CONCRETOR/
PLUMBER NOTE:
ROP SLAB UNDER
SPA BY 150mm

VERTICAL MELAMINE
SUPPORT UNDER SHELF

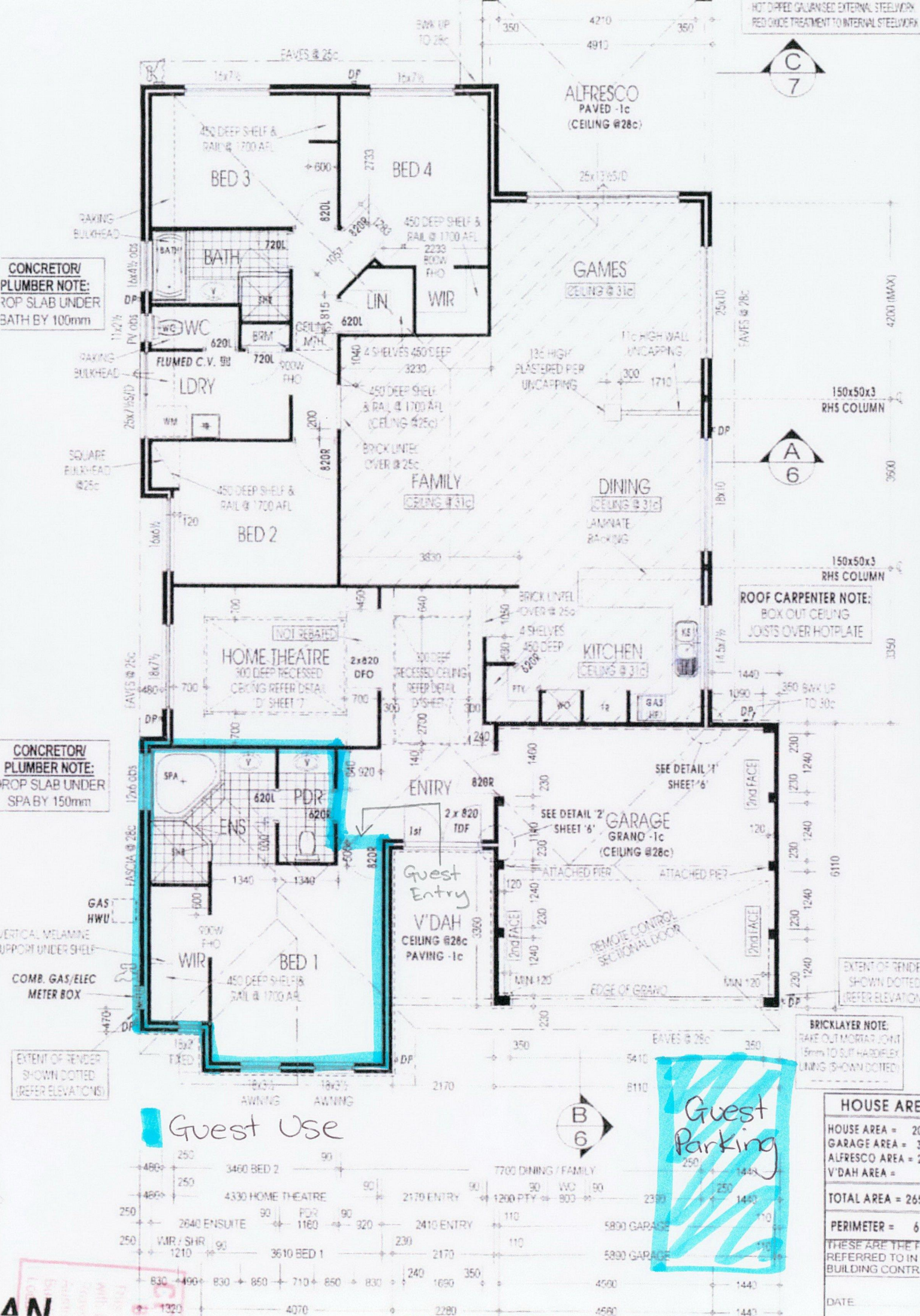
COMB. GAS/ELEC
METER BOX

EXTENT OF RENDER
SHOWN DOTTED
(REFER ELEVATIONS)

ROOF CARPENTER NOTE:
BOX OUT CEILING
JOISTS OVER HOTPLATE

BRICKLAYER NOTE:
RAKE OUT MORTAR JOINT
15mm TO SLIT HARDFLY
LINING (SHOWN DOTTED)

HOUSE ARE	
HOUSE AREA =	20
GARAGE AREA =	3
ALFRESCO AREA =	1
V'DAH AREA =	
TOTAL AREA =	26:
PERIMETER =	6
THESE ARE THE F REFERRED TO IN BUILDING CONTR	
DATE:	



Guest Use

Guest
Parking

