

Note - STORMWATER DISPOSAL BY BUILDER

Note - ±100mm tolerance to Indicated FFL and Relative Levels

**SITE ZONING R10**  
**TOTAL AREA OF SITE 1000m<sup>2</sup>**  
**AREA OF BUILDING 398.93m<sup>2</sup>**  
**SITE COVERAGE 39.8%**  
**ALLOWABLE COVERAGE 40.00%**

**Perimeter 85.46**

House	332.28
Garage	66.65
Alfresco	76.86
Porch	22.30
Total	498.09

**Proposed Roof Area = 590m<sup>2</sup>**

590(m<sup>2</sup>) x 0.0125 = 7.37 (m<sup>3</sup>)

DIA (mm)	DEPTH (mm)	CAPACITY (m <sup>3</sup> )	QTY
1500	1500	2.65	3

PROPOSED CAPACITY 7.95 (m<sup>3</sup>)

AREA OF PROJECTION INTO SETBACK 13.98m<sup>2</sup>

COMPENSATORY AVERAGE AREA 26.52m<sup>2</sup>

SERVICE RECORD	FOUND	NOT FOUND	OBSTRUCTED	NOT AVAILABLE
WATER	X			
SEWER	X			
GAS	X			
COMMS	X			
POWER	U/G	X		
	O/H			X

CALL "DIAL BEFORE YOU DIG" FOR CONFIRMATION

**PROPOSED POST & RAIL RETAINING BY OWNER**

NOTE:  
 SMALL TREE: TRUNK <200MM DIAMETER  
 MEDIUM TREE: TRUNK 200MM-500MM DIAMETER  
 LARGE TREE: TRUNK >500MM DIAMETER

**WARNING!**  
 BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARIES AND DIMENSIONS



VER1

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**DISCLAIMER**

The content of this plan is current and correct as of the date stated within the revision panel. The boundaries shown on the plan were not re-established as part of the survey, therefore the plan does not guarantee their accuracy. Existing easements, encumbrances or interests are not depicted and a title search is recommended to obtain the information. Re-establishment of the cadastral boundaries is recommended for proposed works on or near the boundary. Service information to be confirmed with the relevant authorities. For underground services ring "Dial Before you Dig" for confirmation.

REV	DATE	DESCRIPTION	CHK
0		ISSUE FOR USE	SL
1	07/05/22	WORKING DRAWINGS	
2	14/05/22	ENGINEERING	
3	09/08/22	CCC AMENDMENT	
4	29/10/22	DA AMENDMENT	

**PROJECT**

**90 GRIFFITHS ROAD,  
 SINAGRA  
 FEATURE SURVEY**

**CLIENT**



**SURVEYED** DRAFTED

MJK 28/03/22 MJK 07/04/22

**DATUM** GRID LOT NO.

AHD (SMH) LOCAL 632

**PLAN/DIAGRAM** CERT. OF TITLE

DP411087 2929/700

**FILE REFERENCE**

PRECAL

DBYD

**FILE NAME**

746-AM-C01-133-001\_0.dwg



WIND RATING N2 COASTAL CONDITION C

CLIENT: PINDORIA Lot 632 (#90) Griffiths Road, Sinagra

OWNER 1: 1  
 OWNER 2:  
 BUILDER:  
 DATE:

SCALE 1:200, 1:1

**SITEPLAN**

VER 1 PAGE: 1

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**General Note:-**  
 1. Confirm all dimensions on site prior to the commencement of construction.  
 2. Refer engineering drawings for all structural requirements.  
 3. All plans to be read in conjunction with engineers drawings & standard spec.  
 4. Notify designer if any discrepancies occur. Architectural drawings for indicative only.  
 5. Builder to ensure that all work complies with current BCA and AS.  
 6. Number and position of downpipe approx only and to builder discretion.  
 7. All exhaust fan and rangehood flumed to external air(not in roof space)  
 Exhaust fan location indicative only  
 8. Toilet door to comply W/ Clause 3.8.3.3 of the B.C.A. VOL.2

**Note:-**  
 1. R4.0 CEILING INSULATION THROUGHOUT EXCEPT ALFRESCO

**Termite Treatment Note**  
 1. Supply and install termite risk management system to comply BCA clause 3.1.3 with AS 3660 and manufacturer's specification

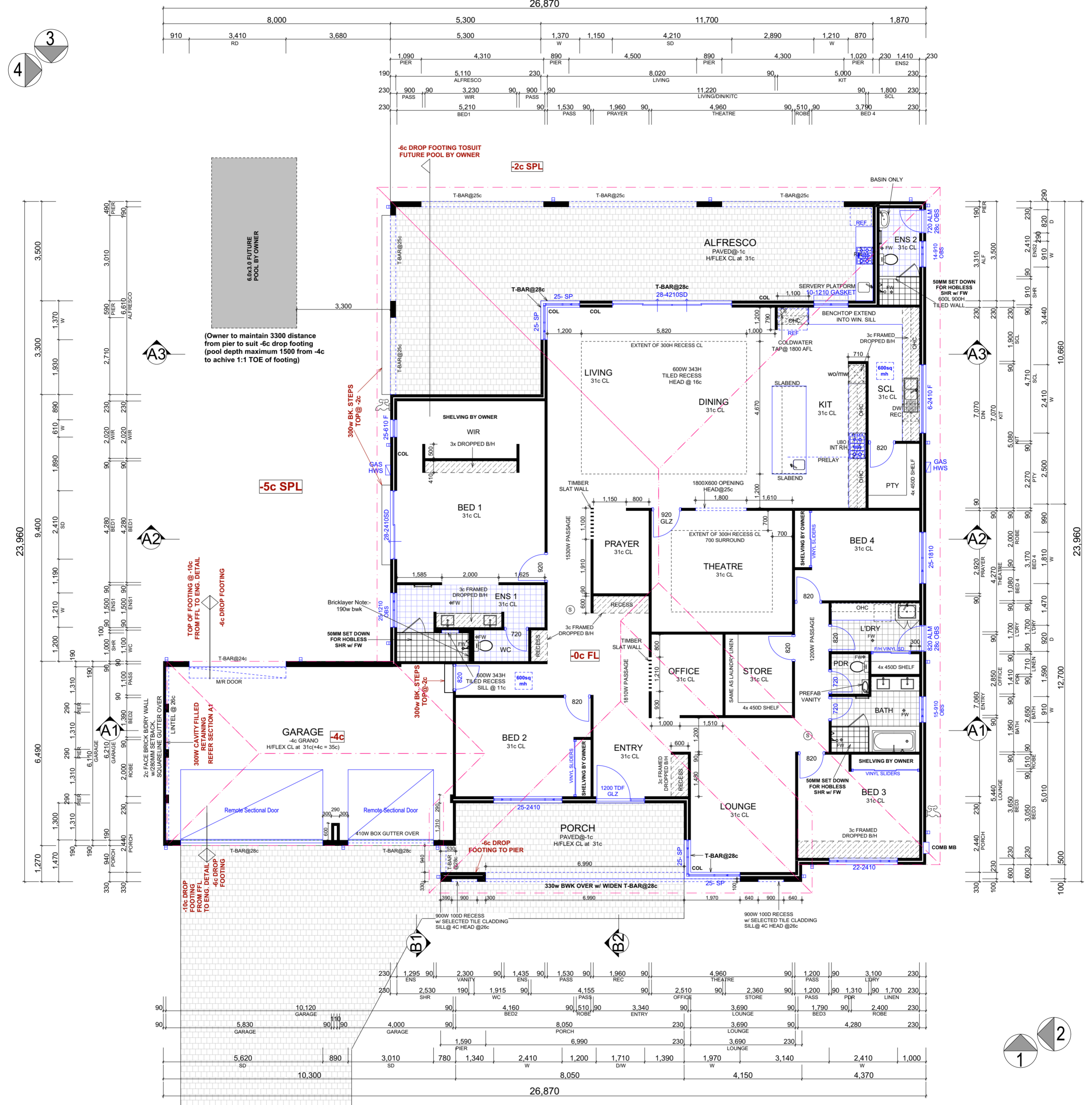
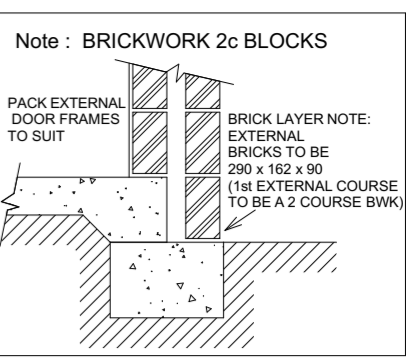
**Electrician Note (S)**  
 1. Smoke Detector to be hard wired & interconnected in accordance with AS3786.

**Plumber Note**  
 1. Provide 90 dia prelaid pvc retic pipe under driveway  
 2. 2 X GAS HWU  
 3. Final positions of RWP's to be determined on site  
 4. Reflux valve for hobless shr

**Concretor/ Bricklayer / Engineer Note**  
 1. Brick walls on common boundary have been calcu to be set inside the boundary by 280mm as shown.  
 2. Drop footings as per engineers detail.  
 3. Cavity closer to garage/house brickwork.  
 4. Homeguard termite treatment to b/dry walls  
 5. Refer concrete setout sheet.  
 6. Post and panel retaining as per engineering detail  
 7. Refer the engineers drawings for structural element

**Roof Carpenter Note**  
 1. 2 x 600x600 manhole  
 2. Timber roof frame to AS 1684  
 3. Refer engineering for beam and LVL  
 4. All recess ceiling as per eng. dwragns.  
 5. Final positions of RWP's to be determined on site

**31c CEILING THROUGHOUT**  
 UNLESS OTHERWISE NOTED ON PLANS THE FOLLOWING HEIGHTS SHALL APPLY  
 STANDARD HEIGHTS:-  
 450w SHELF AND RAIL 1700 AFL TO ROBES AND WIR  
 4 x 450w SHELVES TO LINEN, WIP, PANTRY  
 TOWEL RAILS 1000 AFL  
 TOILET ROLL HOLDER 800AFL  
 MANHOLE TO BE 600x600

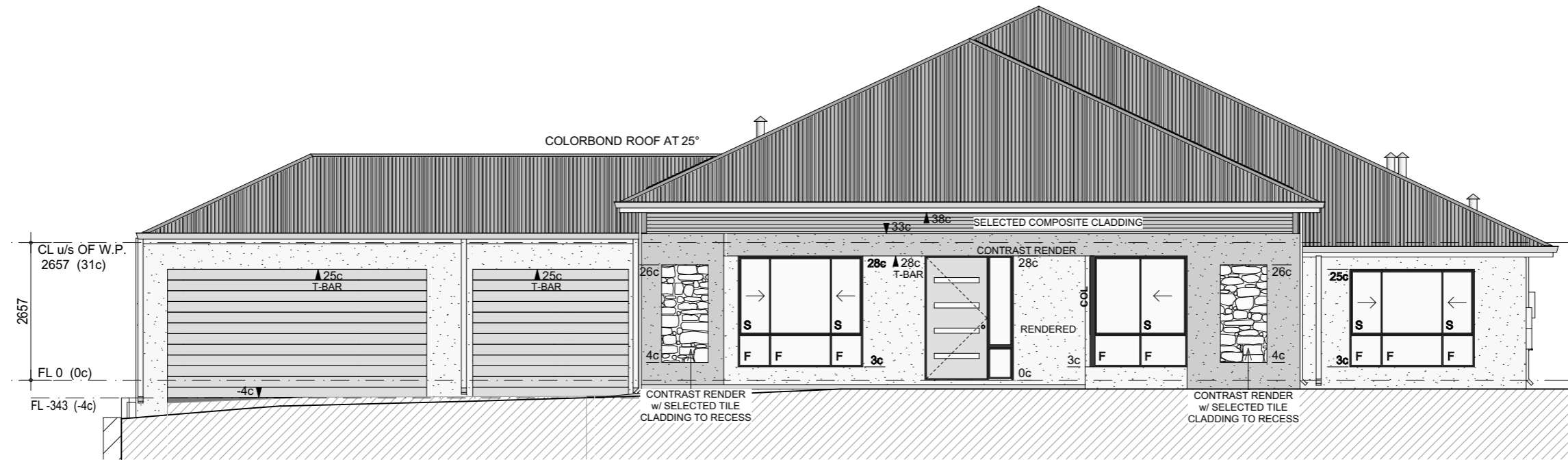


**Perimeter 85.46**

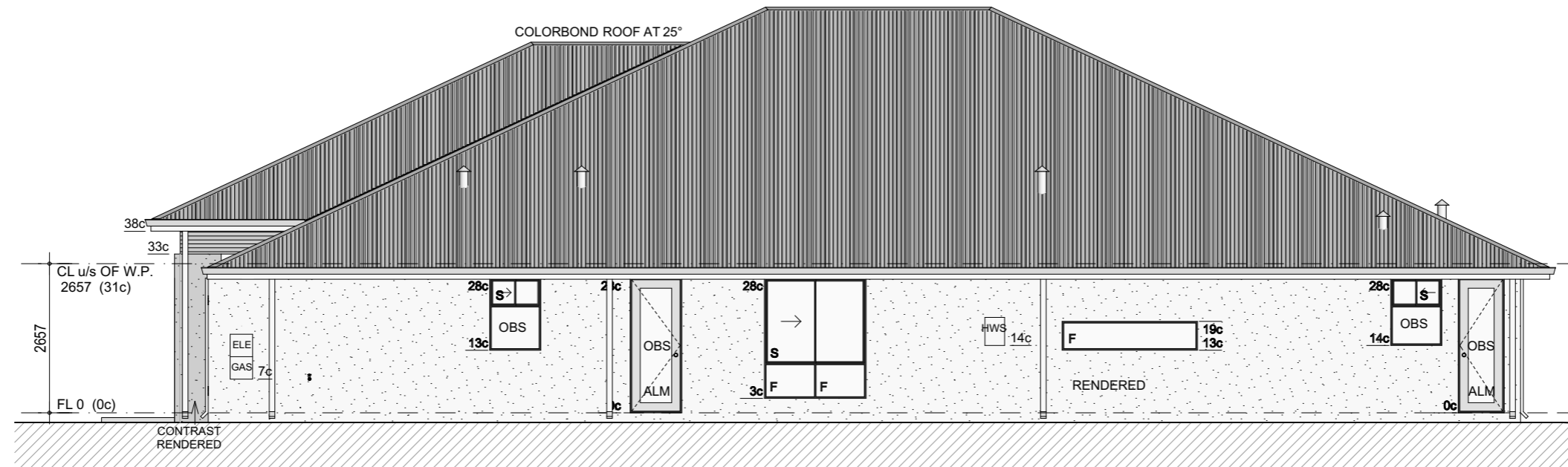
House	332.28
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WIND RATING N2	COASTAL CONDITION C	VERSION : VER1	PAGE : 2	OWNER 1 :		REV	DATE	DRAWN	DISCRIPTION		
CLIENT : PINDORIA	SCALE 1:100, 1:20	FLOORPLAN		OWNER 2 :		1	07/05/22	NP	WORKING DRAWINGS		
Lot 632 (#90)Griffiths Road, Sinagra				BUILDER:		2	14/05/22	NP	ENGINEERING		
				DATE:		3	09/08/22	NP	CDC AMENDMENT		
						4	29/10/22	NP	DA AMENDMENT	© COPYRIGHT ALAIKIK DESIGN 2022 This plan is the sole property of "ALAIKIK DESIGN" and must not be used without written permission.	

**A2 SIZE**



E1



E2



AM  
CONSTRUCTION GROUP  
Amjad Mo 0424 306 606  
www.amconstruct.com.au

REV	DATE	DRAWN	DISCRIPTION
1	07/05/22	NP	WORKING DRAWINGS
2	14/05/22	NP	ENGINEERING
	09/08/22	NP	CDC AMENDMENT
	29/10/22	NP	DA AMENDMENT



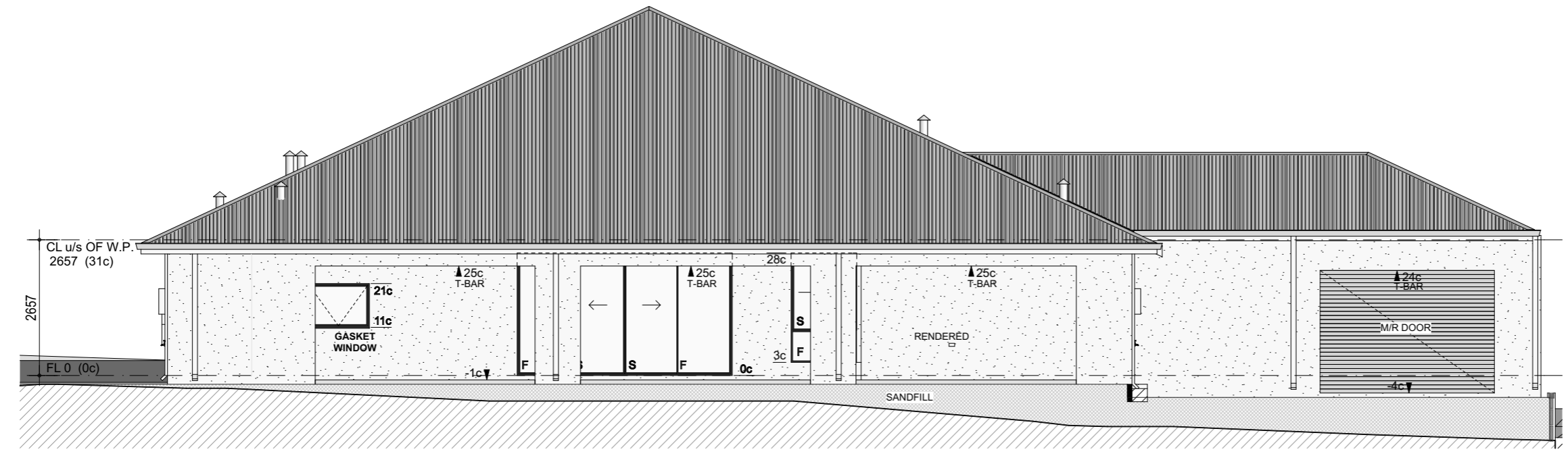
ALAIKIK  
DESIGN & BUILDING  
m (in) pa (el)  
0425 656 483  
alaukikdesign.com.au

OWNER 1 :	
OWNER 2 :	
BUILDER :	
DATE :	

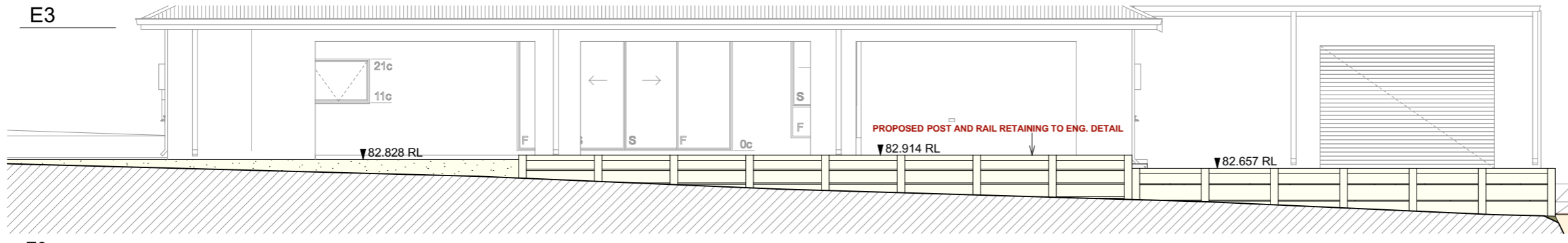
VERSION :	VER 1	PAGE :	3
SCALE :	1:100, 1:234.60, 1:250		

WIND RATING N2	COASTAL CONDITION C
CLIENT :	<b>PINDORIA</b> Lot 632 (#90) Griffiths Road, Sinagra
	<b>ELEVATIONS1</b>

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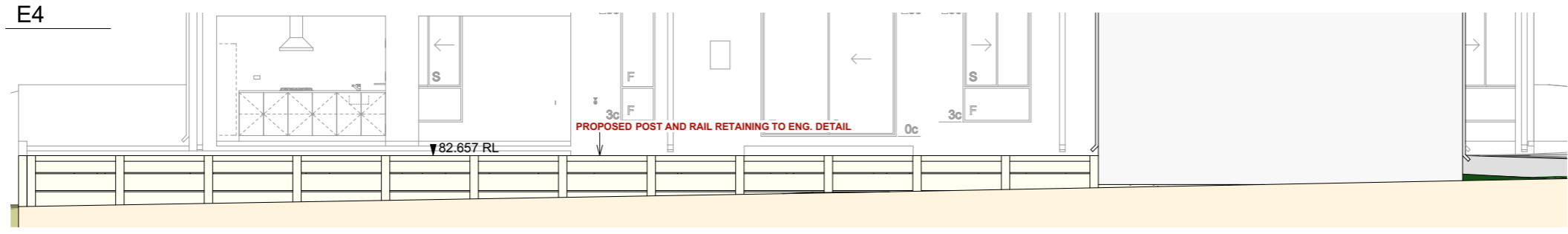
E3



E3



E4



E4



REV	DATE	DRAWN	DISCRIPTION
1	07/05/22	NP	WORKING DRAWINGS
2	14/05/22	NP	ENGINEERING
	09/08/22	NP	CDC AMENDMENT
	29/10/22	NP	DA AMENDMENT

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OWNER 1 :  
 OWNER 2 :  
 BUILDER:  
 DATE:

VERSION : VER1 PAGE :  
 SCALE 1:100  
**ELEVATIONS2**

WIND RATING N2 COASTAL CONDITION C  
 CLIENT :  
**PINDORIA**  
**Lot 632 (#90)Griffiths Road,**  
**Sinagra**

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