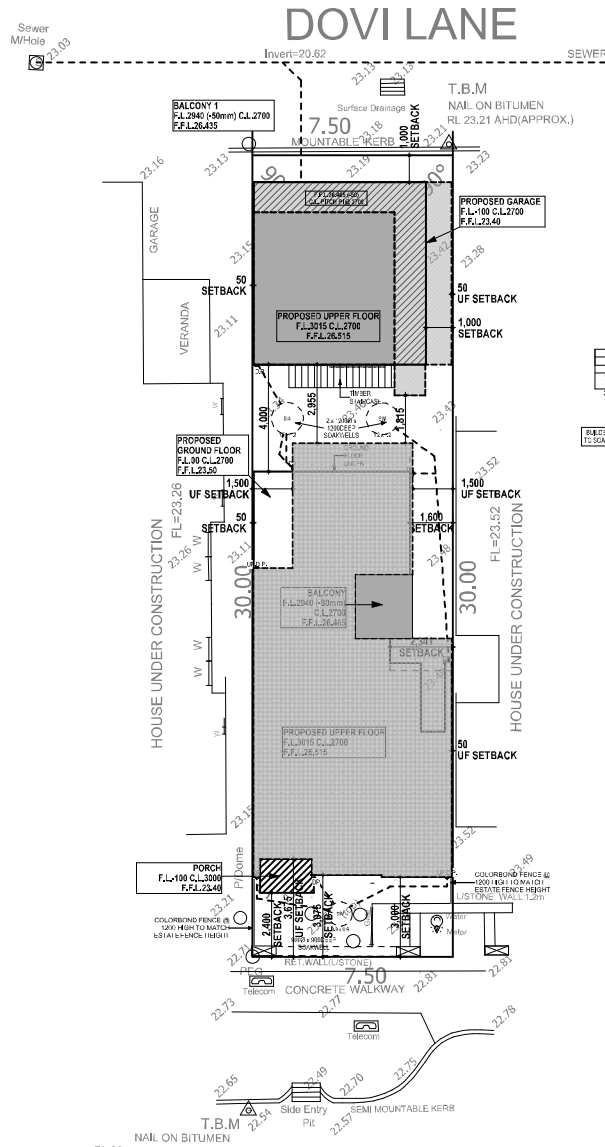


ROOF ON FLAT	
ID	Area
ROOF ON FLAT	160.72

- NOTE: TERMITE TREATMENT**
- TRIM AND ANTI-TERMITE TREATMENT TO BE APPLIED TO ALL EXPOSED TIMBERWORK
 - T.F.A. AND T.F.E. SYSTEMS MUST COMPLY WITH AS 3602.2
- SLAB ON GROUND**
- SLAB ON GROUND TO AS20319 - REFER TO ENGINEERING SPECIFICATIONS
 - ALL TYPICAL FOUNDATIONS TO BE AS 3602.2
 - DIMENSIONS TO BE TO FACE
- DIMENSION NOTE**
- DIMENSIONS TO BE TO FACE UNLESS NOTED OTHERWISE

- NOTES:**
- ALL FINISHES TO BE AS PER CONTRACT WITH ENGINEER'S DETAILS
- ENGINEERING NOTE:**
- ALL FINISHES TO BE AS PER CONTRACT WITH ENGINEER'S DETAILS
- WALL FINISH NOTE:**
- BOUNDARY WALLS TO BE 210 DOUBLE BRICK
 - TO FACE EXTERIOR EXTERNAL LEAF
 - ALL OTHER EXTERNAL WALLS TO BE 100 BRICK
 - TO FACE EXTERIOR EXTERNAL LEAF
 - TO BE UNPAVED IN EXTERIOR WALLS TO FACE EXTERIOR EXTERNAL LEAF
 - TO BE UNPAVED IN EXTERIOR WALLS TO FACE EXTERIOR EXTERNAL LEAF
 - TO BE UNPAVED IN EXTERIOR WALLS TO FACE EXTERIOR EXTERNAL LEAF
- CEILING NOTE:**
- BOUNDARY WALLS TO BE 210 DOUBLE BRICK
 - TO FACE EXTERIOR EXTERNAL LEAF
 - ALL OTHER EXTERNAL WALLS TO BE 100 BRICK
 - TO FACE EXTERIOR EXTERNAL LEAF
 - TO BE UNPAVED IN EXTERIOR WALLS TO FACE EXTERIOR EXTERNAL LEAF
 - TO BE UNPAVED IN EXTERIOR WALLS TO FACE EXTERIOR EXTERNAL LEAF
- ROOF NOTE:**
- MAIN ROOF TO BE COLORBOND @ 4° PITCH
 - GARAGE ROOF TO BE COLORBOND @ 2° PITCH
 - ROOF CARPENTER NOTE
 - ROOF TRUSSES TO BE AS PER SPECIFICATIONS
 - ROOF TRUSSES TO BE AS PER SPECIFICATIONS
 - ROOF TRUSSES TO BE AS PER SPECIFICATIONS
- ENERGY EFFICIENCY:**
- REFER TO ENERGY EFFICIENCY REPORT
 - HOUSE TO BE ENERGY EFFICIENT
 - HOUSE TO BE ENERGY EFFICIENT
 - HOUSE TO BE ENERGY EFFICIENT



ZONE: R60

SITE COVERED: RESIDENCE and open space: 14.95%

PERCENTAGE COVERED: SITE AREA: 2289m²

14.95% (342.8m²) = 84%

FLOOR AREAS	
Name	Area
DOUBLE GARAGE	44.05
GROUND FLOOR	96.42
PORCH	2.53
	143.00 m²
BALCONY	5.14
STUDIO	30.09
TERRACE	21.75
UPPER FLOOR	96.02
	153.00 m²
	296.00 m²

General Notes

This plan is a preliminary drawing and is not to be used for construction purposes until approved by the council.

Drawings shall not be used for construction purposes until approved by the council.

Do not scale drawings.

All floor slab and foundations subject to survey.

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Revision ID	Comment	Date
PRELIM		6/06/2022
BA		6/06/2022

PROJECT NAME: **HANNAM**

CLIENT: **GLENN & JUNIE HANNAM**

SITE: **LOT 672 (#33) MIRABILIS AVENUE JINDALEE 6036**

DRAWING TITLE: **SITE PLAN**

REVISION NO. **BA**

DRAWING NO. **A100**

DRAWN BY: **C.M**

CHECKED BY:

PROJECT NO. **001997**

Plot Date: 6/06/2022

ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERING DETAILS. SHOULD A DETAIL VARY BETWEEN PLANS, THE ENGINEERING DETAIL SHOULD BE FOLLOWED. ALL MEASUREMENTS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

IMPORTANT NOTE: DO NOT SCALE FROM THESE DRAWINGS. BUILDER OR CONTRACTORS TO CHECK ALL DIMENSIONS & NOTES PRIOR TO COMMENCEMENT OF THE WORKS. PLEASE NOTIFY THE DESIGN MILL OF ANY DISCREPANCIES WITHOUT DELAY TO ALLOW RECTIFICATION.

BRICKLAYER:
-Brickwork as indicated on floor plan
-Termite barrier to A.S 3660.

ROOF CARPENTER:
-Roof timbers as per A.S. 1684
-Hardiflex ceiling to external areas unless noted otherwise

ROOF PLUMBER:
-Position of downpipes to be determined by roof plumber on site

INSULATION:
-R4 insulation to ceiling as per energy report.
-R2.5 to new stud walls as per energy report.

SANITARY COMPARTMENTS (W.C.):
-Lift of hinges as per NCC part 3.8.3.3 shall be provided as indicated on plans by 'WC' coors.

SMOKE DETECTORS:
-Hard wired smoke detectors to be interconnected & hardwired to A.S3786

BUILDERS NOTE:
-All drawings should be read in conjunction with engineers details & energy report
-In the case of parapet walls, relevant boundaries should be re-pegged prior to commencement of the works
-It is the builders responsibility to gain necessary building permits including and not limited to the council & the water corporation prior to commencement of the works

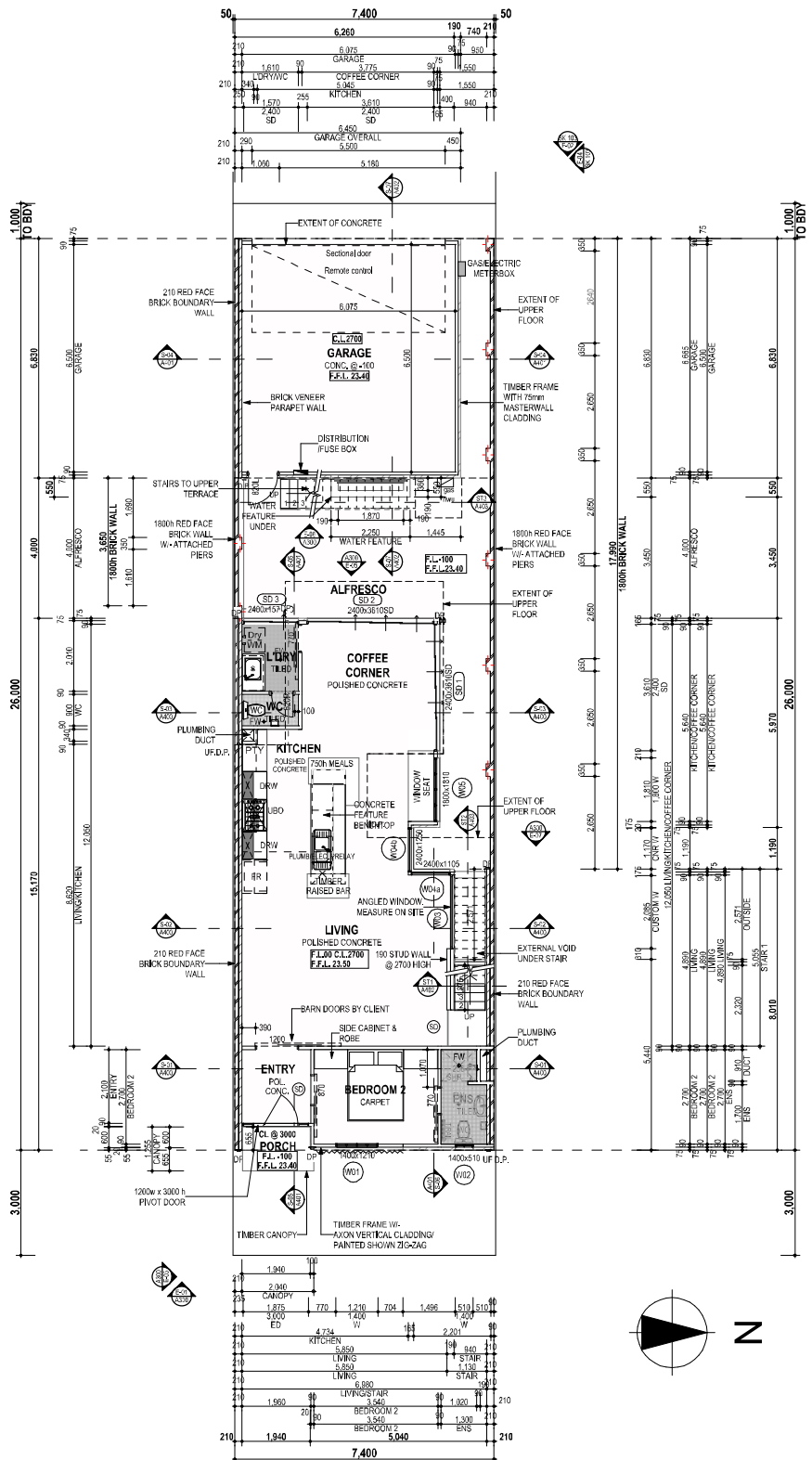
NOTES:
-WIND CLASSIFICATION-N2
ENGINEERING NOTE:
-ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING DETAILS

ROOF NOTE:
-MAIN ROOF TO BE COLORBOND @ 14° PITCH
-SECONDARY ROOF TO BE COLORBOND @ 5° PITCH

WALL FINISH NOTE:
-BOUNDARY WALLS TO BE 210 DOUBLE BRICK W-110 FACE BRICK IN EXTERNAL LEAF
-ALL OTHER EXTERNAL WALLS TO BE TIMBER FRAME W-75 MASTERWALL AND RENDERED FINISH UNLESS NOTED OTHERWISE
-90 TIMBER FRAME W-AXON VERTICAL CLADDING WHERE SHOWN

ROOF NOTE:
-BOUNDARY WALLS TO BE 210 DOUBLE BRICK W-110 FACE BRICK IN EXTERNAL LEAF
-SECONDARY ROOF TO BE COLORBOND @ 5° PITCH
ROOF CARPENTER NOTE
-ROOF TIMBERS AS PER A.S1684
-USE HARDIFLEX CEILING IN GARAGE AND EXTERNAL AREAS UNLESS NOTED OTHERWISE

ENERGY EFFICIENCY:
-REFER TO ENERGY EFFICIENCY REPORT
-USE STUD WALL INSULATION R2.4
-CEILING INSULATION TO BE R4



PROPOSED FLOOR PLAN
1:100

Name	Area
DOUBLE GARAGE	44.05
GROUND FLOOR	96.42
PORCH	2.53
	143.00 m ²

General Notes
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.

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W: thedesignmill.com.au

Revision ID	Comment	Date
1	1:06/2022	
2	6:06/2022	

SITE:
LOT 872 (433) MIRABILIS AVENUE
JINDALEE QLD 4308

WIND REGION N2
CORROSION CLASSIFICATION XXX
BAL N/A

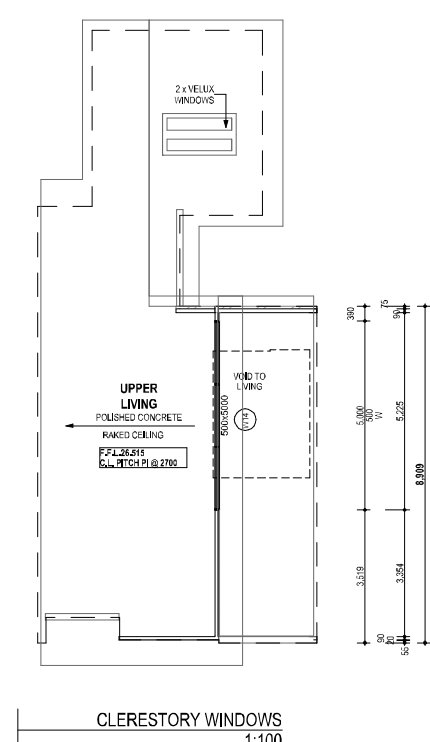
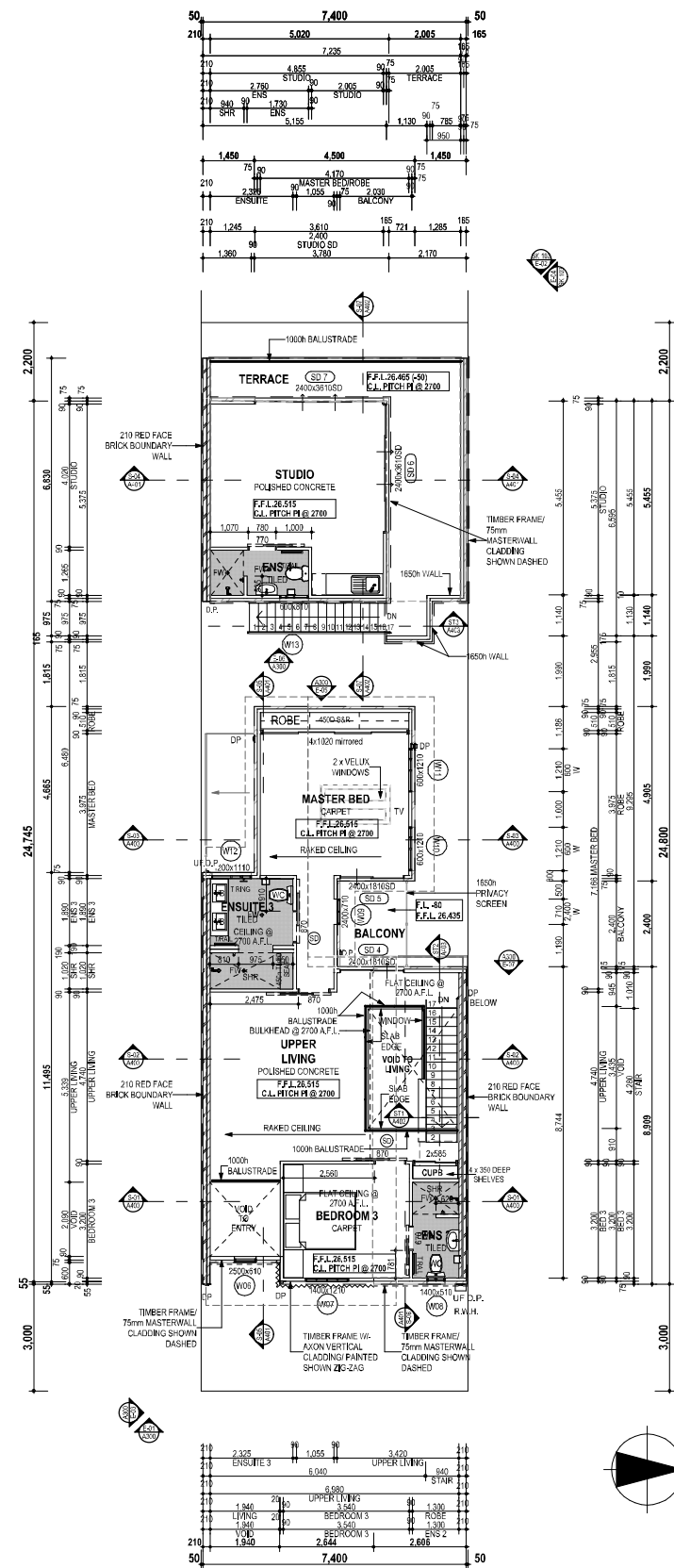
PROJECT NAME:
HANNAM

CLIENT:
GLENN & JUNIE HANNAM

CHECKED BY: [Signature] REVISION NO. BA
PROJECT NO. 001997 DRAWING NO. A200
PAPER SIZE A2P DRAWN BY: CJM
SCALE 1:100 PLOT DATE: 6/06/2022

PROPOSED GROUND FLOOR

- NOTES:**
 * WIND CLASSIFICATION - N2
- ENGINEERING NOTE:**
 * ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING DETAILS
- ROOF NOTE:**
 * MAIN ROOF TO BE COLORBOND @ 14° PITCH
 * SECONDARY ROOF TO BE COLORBOND @ 5° PITCH
- WALL FINISH NOTE:**
 * BOUNDARY WALLS TO BE 210 DOUBLE BRICK W/ 110 FACE BRICK IN EXTERNAL LEAF
 * ALL OTHER EXTERNAL WALLS TO BE TIMBER FRAME W/ 75 MASTERWALL AND RENDERED FINISH UNLESS NOTED OTHERWISE
 * (S) TIMBER FRAME W/ AXON VERTICAL CLADDING WHERE SHOWN
- ROOF NOTE:**
 * MAIN ROOF TO BE COLORBOND @ 14° PITCH
 * SECONDARY ROOF TO BE COLORBOND @ 5° PITCH
- ROOF CARPENTER NOTE**
 * ROOF TIMBERS AS PER AS1684
 * USE HARPLEY CEILING IN GARAGE AND EXTERNAL AREAS UNLESS NOTES OTHERWISE
- ENERGY EFFICIENCY:**
 * REFER TO ENERGY EFFICIENCY REPORT
 * USE STUD WALL INSULATION R2.4
 * CEILING INSULATION TO BE R4



UPPER FLOOR PLAN
 1:100

General Notes
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Revision ID	Comment	Date
1	1:062022	
2	6:062022	

SITE: LOT 872 (433) MIRABILIS AVENUE JINDALEE QLD 4838	WIND REGION: N2	CORROSION CLASSIFICATION: XXX	BAL: N/A
PROJECT NAME: HANNAM			
CLIENT: GLENN & JUNE HANNAM			

BALCONY	5.14
STUDIO	30.09
TERRACE	21.75
UPPER FLOOR	96.02
	153.00 m ²
	296.00 m ²

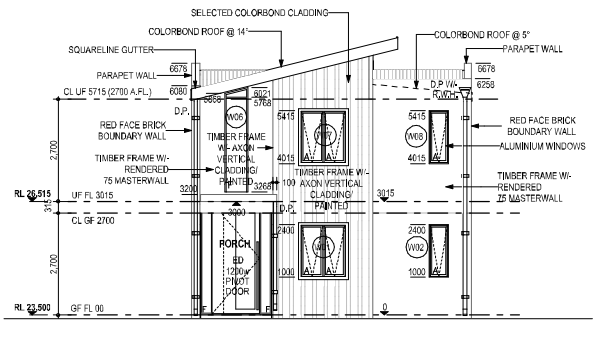
CHECKED BY:	REVISION NO.	BA
PROJECT NO.	DRAWING NO.	
001997	A201	
PAPER:	DRAWN BY:	CJM
A2P	Plot Date:	6/06/2022
DRAWING TITLE:	PROPOSED UPPER FLOOR PLAN	

NOTES:
 WIND CLASSIFICATION - N2

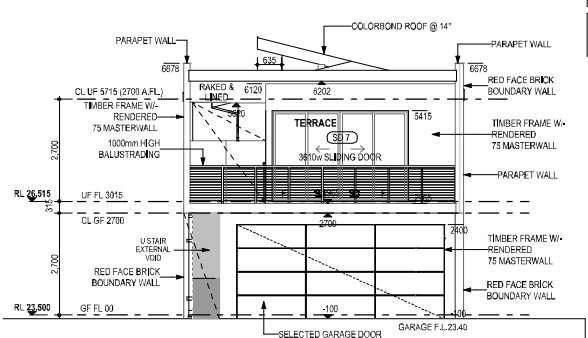
ENGINEERING NOTE:
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING DETAILS

ROOF NOTE:
 MAIN ROOF TO BE COLORBOND @ 14° PITCH
 SECONDARY ROOF TO BE COLORBOND @ 5° PITCH

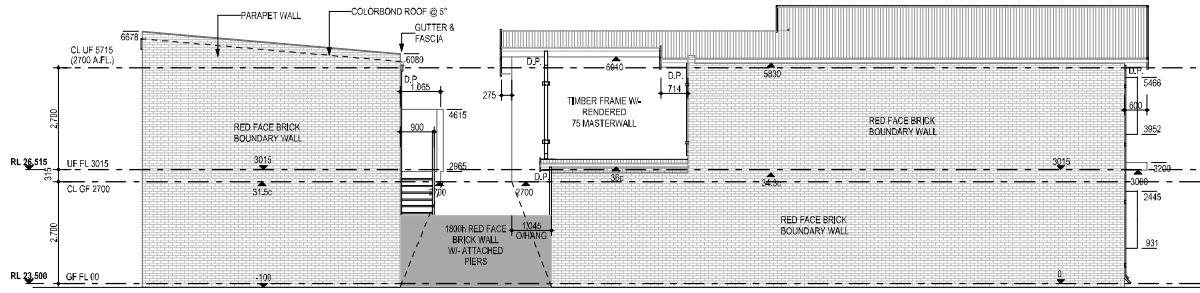
WALL FINISH NOTE:
 BOUNDARY WALLS TO BE 210 DOUBLE BRICK W-110 FACE BRICK IN EXTERNAL LEAF
 ALL OTHER EXTERNAL WALLS TO BE TIMBER FRAME W-75 MASTERWALL AND RENDERED FINISH UNLESS NOTED OTHERWISE
 80 TIMBER FRAME W-AXON VERTICAL CLADDING WHERE SHOWN



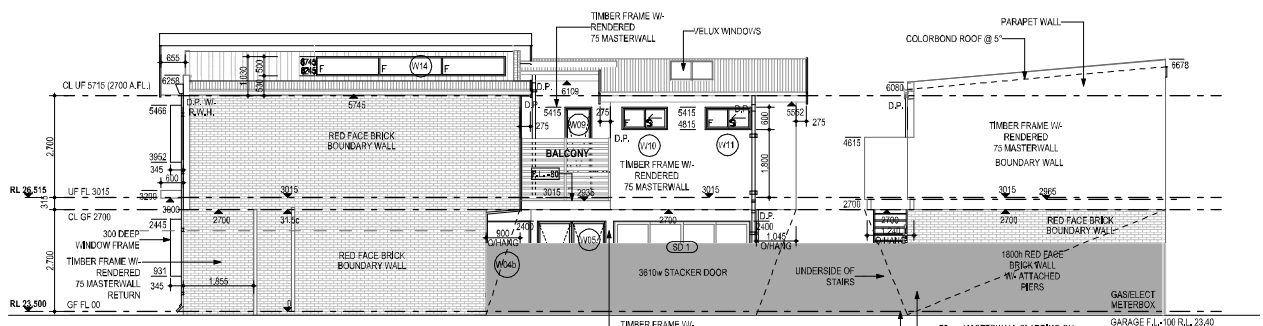
E-01 EAST ELEVATION 1:100



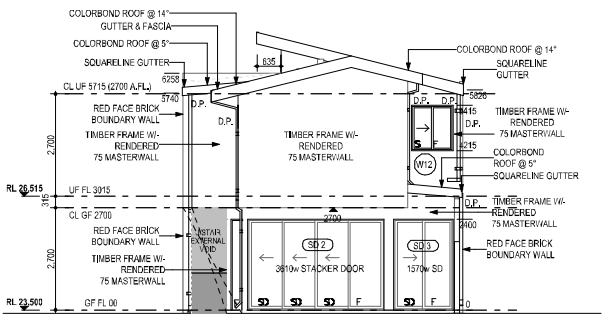
E-02 WEST ELEVATION 1:100



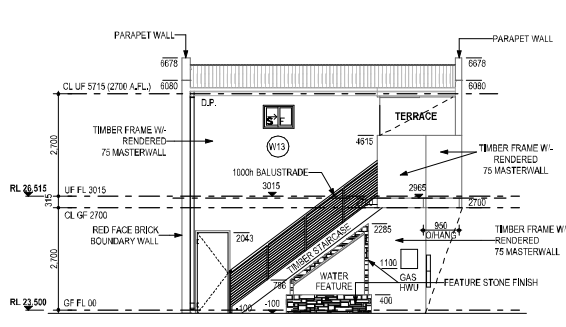
E-03 SOUTH ELEVATION 1:100



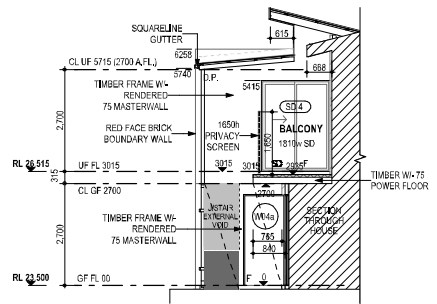
E-04 NORTH ELEVATION 1:100



E-05 WEST ELEVATION 2 1:100



E-06 EAST ELEVATION 2 1:100



E-07 WEST ELEVATION 3 1:100

General Notes
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Revision ID	Comment	Date	SITE: LOT 872 (433) MIRABILIS AVENUE JINDALEE QLD 4838	CHECKED BY: P412871 672	REVISION NO. BA
1		1/06/2022		PROJECT NO. 001997	DRAWING NO. A300
2		6/06/2022	WIND REGION N2 CORROSION CLASSIFICATION XXX BAL N/A	PAPER SCE A2P	DRAWN BY: CJM
			PROJECT NAME: HANNAM	DRAWING TITLE: Elevations ELEVATIONS	PLT Date: 6/06/2022
			CLIENT: GLENN & JUNE HANNAM		