

SUPERVISOR NOTE

ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS

WIND CLASS ▶ N1

CONCRETOR NOTE

CONDUIT TO BE PLACED IN FOOTING UNDER METER BOX TO CENTRELINE OF CAVITY

ALL EXTERNAL WALLS TO BE 250mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)

CONDUIT TO BE INSTALLED IN SLAB TO ALLOW FOR PLUMBING & ELEC REQUIREMENTS TO ISLAND BENCH

TOP OF FOOTING TO BE @ -4c BTWN A-A FOR FUTURE DECKING TO ALFRESCO

STORMWATER PRELAY REQUIRED SEE SITE PLAN FOR INDICATION

BRICK LAYER NOTE

6mm RODS & 3c OF LONGREACH INDICATED X TO X

SETOUT ATTACHED PIERS AND ADDITIONAL BRICKWORK TO RETREAT TO ALLOW FOR TERMIMESH INSTALLATION

METAL DECK ROOF TO BE ANCHORED DOWN WITH 25 x 1.2mm GALVANISED STRAPS @ 1200 MAX CENTRES. STRAPS TO EXTEND DOWN 12c MINIMUM. LUGS TO LINTELS @ 1200cts OVER OPENINGS. 32 x 8mm FULL HEIGHT STRAPS EACH SIDE OF OPENINGS >2.4m

PAINTED CEMENT RENDER TO FRONT ELEVATION ONLY. EXTENT SHOWN DASHED ON PLAN

ATTACHED BRICK PIERS TO HAVE 32 x 0.8mm GALV. STRAPS BUILT IN FROM 0c

350# BRICKPIERS TO HAVE 10mm ROD COGGED FROM TOP OF FOOTING TO TOP OF PIER. CORE OF PIER TO BE MORTAR FILLED

FIXING CARPENTER NOTE

450mm WIDE SHELF & RAIL - 1800mm HIGH TO BED 1 - 1650mm HIGH TO BEDS 2 & 3 CL OF RAIL TO BE 250mm OFF WALL

TOWEL RAIL TO BE FIXED 900mm ABOVE FFL

4 x 450mm WIDE SHELVES TO PANTRY. SEE SHEET 4 FOR SPACING

4 x 450mm WIDE SHELVES TO LINEN AS PER PANTRY SPACING SEE SHEET 4 FOR SPACING

CEILING FIXER NOTE

CEILING VENT TO BE INSTALLED TO LAUNDRY

BOTH CORNICES TO RUN THRU 100mm SOFFIT BETWEEN AS SHOWN ON PLAN

ROOF CARPENTER NOTE

MANHOLE TO BE TRIMMED OUT TO 560mm x 860mm

ALL EXTERNAL FIXING NAILS MUST BE GALVANIZED AS PER AUSTRALIAN STANDARDS. BARGE BOARD NAILING TO BE COUNTERSUNK

ROOF PLUMBER NOTE

DOWNPIPES MUST BE FIXED WITHIN 1.2LM OF A VALLEY AS PER THE BCA

INSULATION NOTE

BRADFORD R3.0 BATTS TO HOUSE AREA ONLY

CLIENT NOTE

ALL DIMENSIONS TAKE PREFERENCE TO SCALE

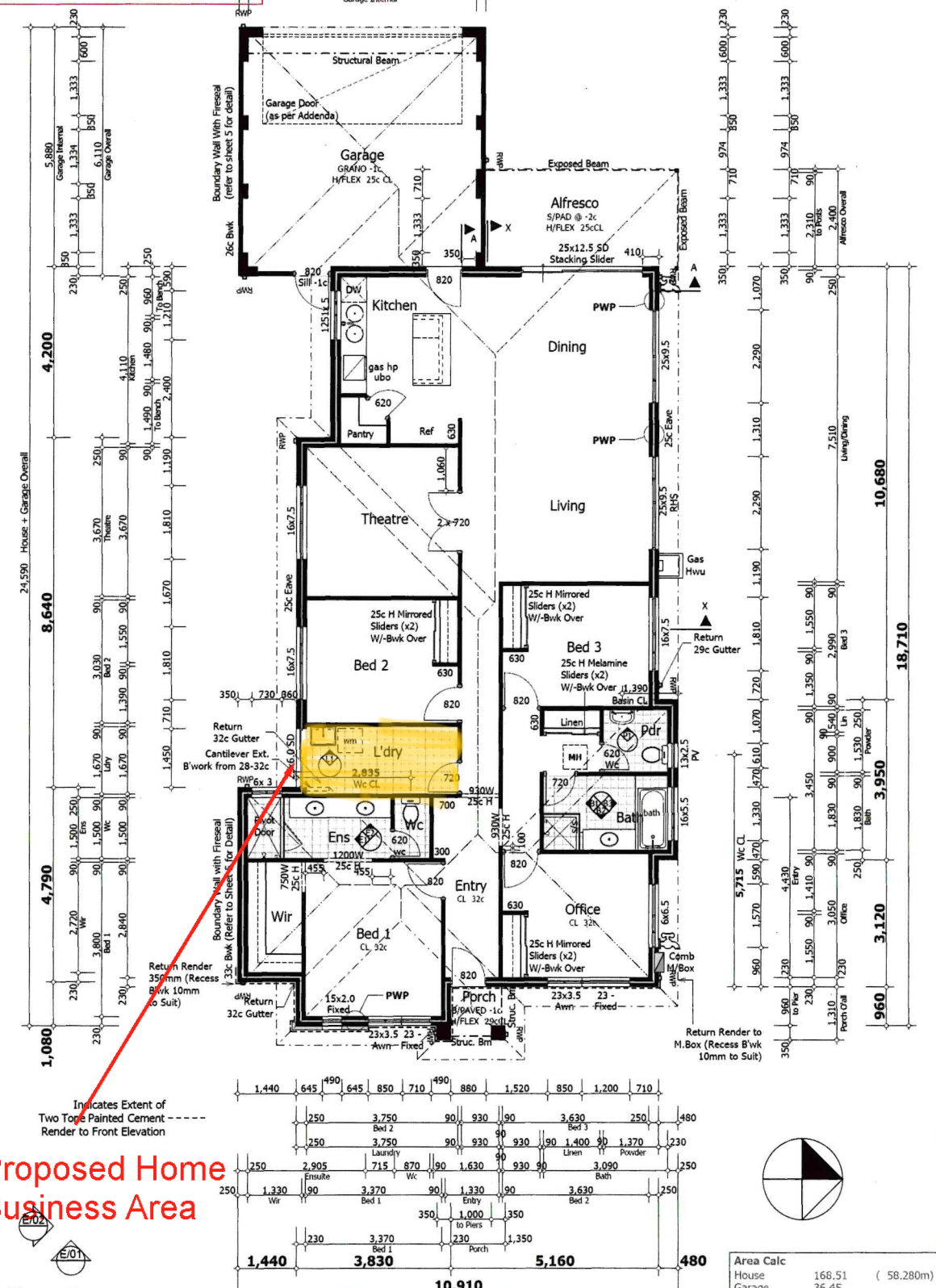
DIMENSIONS SHOWN ON PLAN ARE BRICK SIZES. PLEASE ALLOW AN EXTRA 10mm TO EACH WALL FOR PLASTER. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS

No & PLACING OF R/WPS IS APPROX AND GOVERNED BY ROOF STRUCTURE AND AT PLUMBERS DISCRETION

THE HOMEBUYERS CENTRE RESERVE THE RIGHT TO VARY ANY DIMENSIONS & MATERIALS FROM THOSE ON DISPLAY PLEASE CHECK SPECIFICATIONS & APPENDAS CAREFULLY

CITY OF WANNEROO

Building & Health Services
 This plan is approved subject to compliance With the local government (Miscellaneous Provisions) Act 1960, The Building Code of Australia, the Residential Design Codes, Building Regulations, 1989 and the City's Local Laws.



Proposed Home Business Area

Floor Plan 1:100

Area Calc		(58.280m)
House	168.51	
Garage	36.45	
Alfresco	11.42	
Porch	1.79	
Total	218.17 m²	

ULTIMATE METRO

FINAL CONTRACT DRAWINGS - NO FURTHER STRUCTURAL CHANGES TO BE MADE

Homebuyers Centre
 7 Delawney Street
 Balcatta 6021
 PO Box 1444
 Osborne Park 6017
 Telephone: 9240 1111
 Fax: 9240 2221
 A.C.N 051 346 591

PROPOSED RESIDENCE TO BE ERCTED ON:
Lot 2243 Newbliss Gardens BUTLER
Miss Sarah Wollersheim

DATE	AMENDMENTS	JOB No. 41653
4/1/11	Finance Drawings TR	
28/1/11	Preliminary Plans & VO's 1 & 2 TR	
21/2/11	VO # 4 TR	
17/3/11	Roof Beam Amendments TR	
01/04/11	Prestart DP	

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