

LOT 2368

CONTOUR & FEATURE SURVEY

LOT Lot 2368 (DP 417420)
 ADDRESS #17 Malacca Way, Mindarie
 LGA CITY OF WANNEROO
 CLIENT Desmond and Clare Burns
 ORDER # 3200
 GPS Lat: -31.698313 Long: 115.713844
 SSA Yes AREA 518m² VOL.4019 FOL.801

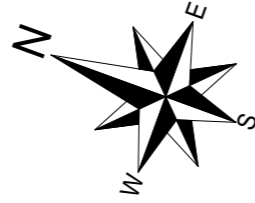
DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

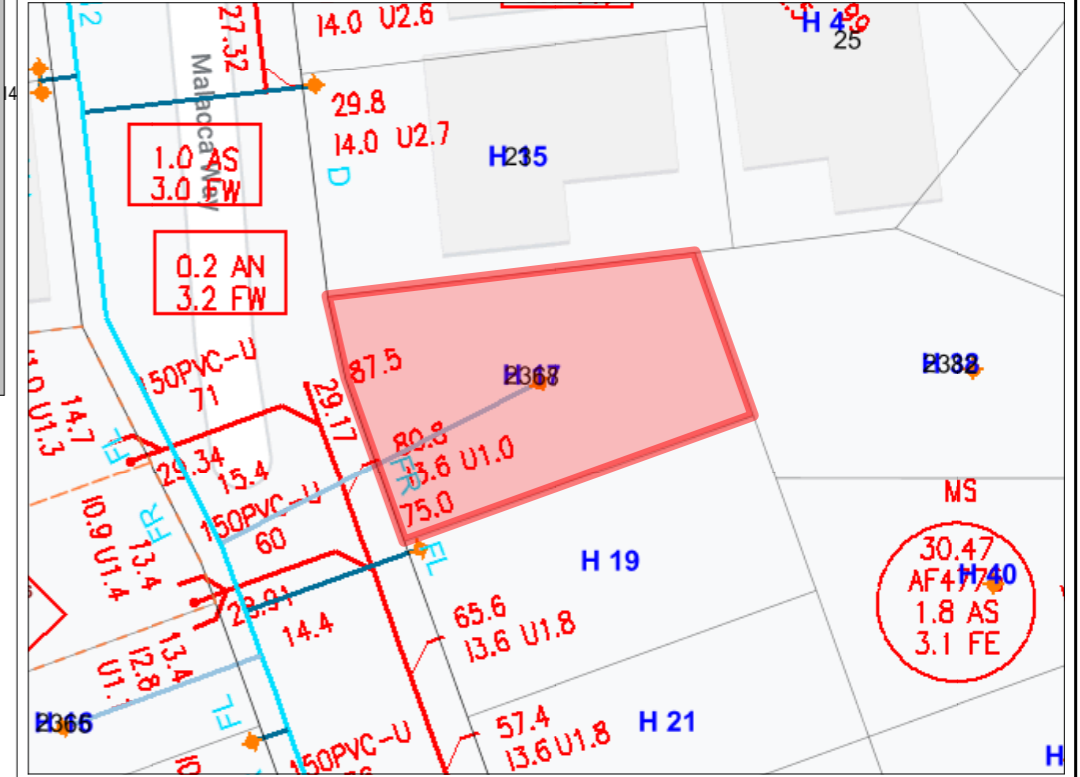
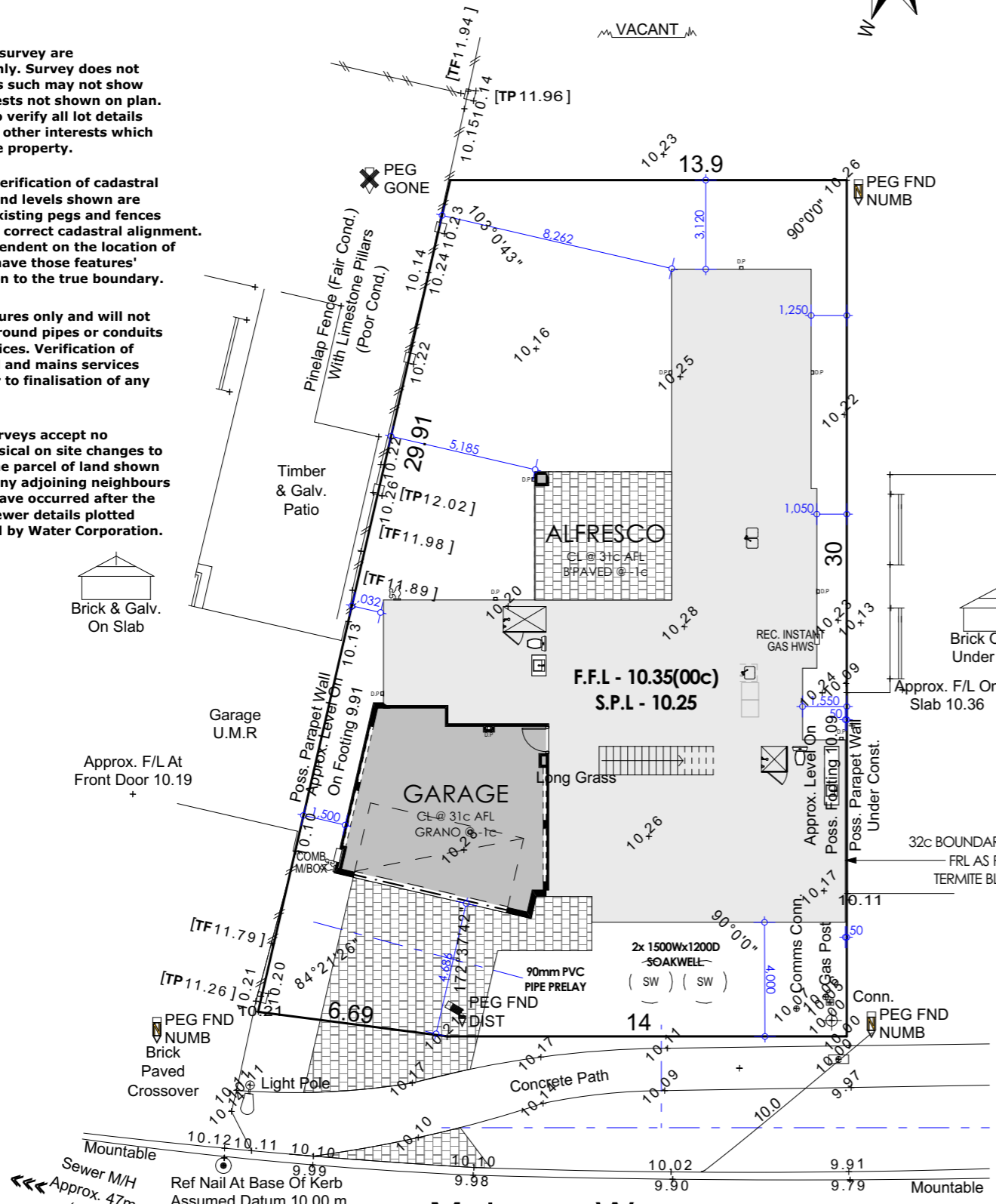
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

⊕	Power Dome
○	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



SITE WORKS NOTES
 SITE WORKS BY OWNER
 • WESTERN POWER
 DOME/INFRASTRUCTURE CONNECTION FEE, WATER CORPORATION HEADWORKS FEE (DRAINAGE, SEWERAGE AND WATER)
 • POWER AND WATER CONSUMPTION DURING CONSTRUCTION
 • BOUNDARY AND TEMPORARY FENCING AND GATES
 • CLIENT TO LIAISE WITH THE OWNERS OF NEIGHBOURING PROPERTIES WITH REGARDS TO FENCING ISSUES AS REQUIRED.
 • SUPPLY INSTALLATION, REMOVAL AND REINSTATEMENT OF BRICK SCREEN WALLS, AND/OR BOUNDARY FENCING. CLIENT TO LIAISE WITH OWNERS OF NEIGHBOURING PROPERTIES WITH REGARDS TO FENCING ISSUES AS REQUIRED.
 • CLOTHESLINE, LETTER BOXES, LANDSCAPING, AND RETICULATION BY CLIENT AFTER HANDOVER.

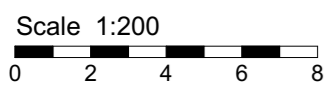


ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	900m To Ocean
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand, L'Stone(Pos)
WATER	Yes	DRAINAGE	Good	KERBS	Mountable	VEG.	Refer to Survey

NOTE:
 RESTRICTIVE COVENANT.
 REFER TO SEC 136D T.L.A.
 SEE DOCUMENT DP417420 & P061679

LOT MISCLOSE
 0.001 m

Soak Well Type	No.	
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		260.6 m ²
Total Area		260.6 m ²
Capacity Required (Area x 0.0125)		3.3 m ³
Extra Capacity Provided		1.0 m ³



SITE WORKS BY BUILDER
 • SINGLE PHASE UNDERGROUND POWER RUN IN TO PROPOSED RESIDENCE BASE ON PROPOSED POWER DOME LOCATION
 • PVC PIPE UNDER DRIVEWAY FOR FUTURE RETICULATION BY CLIENT (AS NOTED AN PLAN)
 • STORMWATER DISPOSAL SYSTEM TO PROCEED RESIDENCE USING CONCRETE SOAKWELLS (SUBJECT TO APPROVAL BY COUNCIL. REFER TO ENGINEER STORMWATER LAYOUT FOR LOCATION AND SIZE OF SOAKWELLS)

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CLIENT NAME:
BURNS

SITE ADDRESS:
LOT 2368 MALACCA WAY
MINDARIE
CITY OF WANNEROO,

NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATION MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

MODEL NAME:	DRAWN	DATE	CHKD	DESCRIPTION	DRAWINGS AS REFERRED TO IN THE BUILDING CONTRACT:
INDIVIDUAL					DATE:
SPECIFICATION TYPE:					SIGNED BY OWNER:
DWG: SITE PLAN					SIGNED BY OWNER:
JOB No: 3200					SIGNED BY BUILDER:
SHEET No:					
SCALE: 1:200					

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COTTAGE
SURVEYS

87-89 Guthrie SPO Box 1611
Osborne Park WA 6017

Osborne Park BC WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB: 536370 DATE: 07 Nov 22 DRAWN: J. Wilkinson

GENERAL NOTES:

- ALL DIMENSIONS ON PLAN ARE TO BRICKWORK ONLY. ROOM AND OPENING SIZES WILL BE REDUCED WITH PLASTER FINISH.
- ALL INTERNAL WALLS ARE PLASTERED U.N.O. CORNER BEADS THROUGHOUT
- EXTERNAL WALLS CONSIST OF 230mm WIDE CAVITY BRICK CONSTRUCTION U.N.O 90mm FACE LEAF & 90MM INTERNAL LEAF.
- RWP POSITION AT PLUMBERS DISCRETION SO FINAL POSITION MAY VARY TO PLAN.
- REFER TO ADDENDA FOR ALL DOOR AND DOOR FURNITURE
- PROVIDE R4.0 INSULATION BATTS TO HOUSE, AND GARAGE
- PROVIDE WEATHER SILL TO ENTRY DOOR FRAME.
- COMPLIANT 50°C HOTWATER UNIT SUPPLIED
- SMOKE ALARMS TO BE HARDWIRED AND LINKED AS PER A.S. 3786:2014.
- NOTE: MECH. VENTILATION FLUMED TO EXT. AIR AS PER B.C.A. PART 3.8.5.2

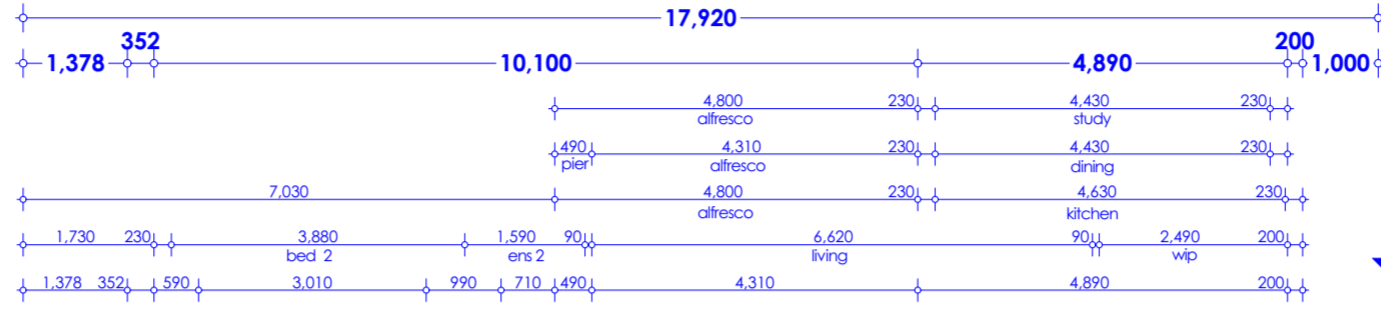
TERMITE TREATMENT TO BE UNDERTAKEN IN STRICT COMPLIANCE WITH A.S. 3660.1:2014. IF CONCRETE SLAB IS USED AS A BARRIER, CONSTRUCTION MUST COMPLY WITH A.S. 2870. HOMEGUARD TERMITE TREATMENT TO ALL B'DRY WALLS

FIXING CARPENTER NOTES:

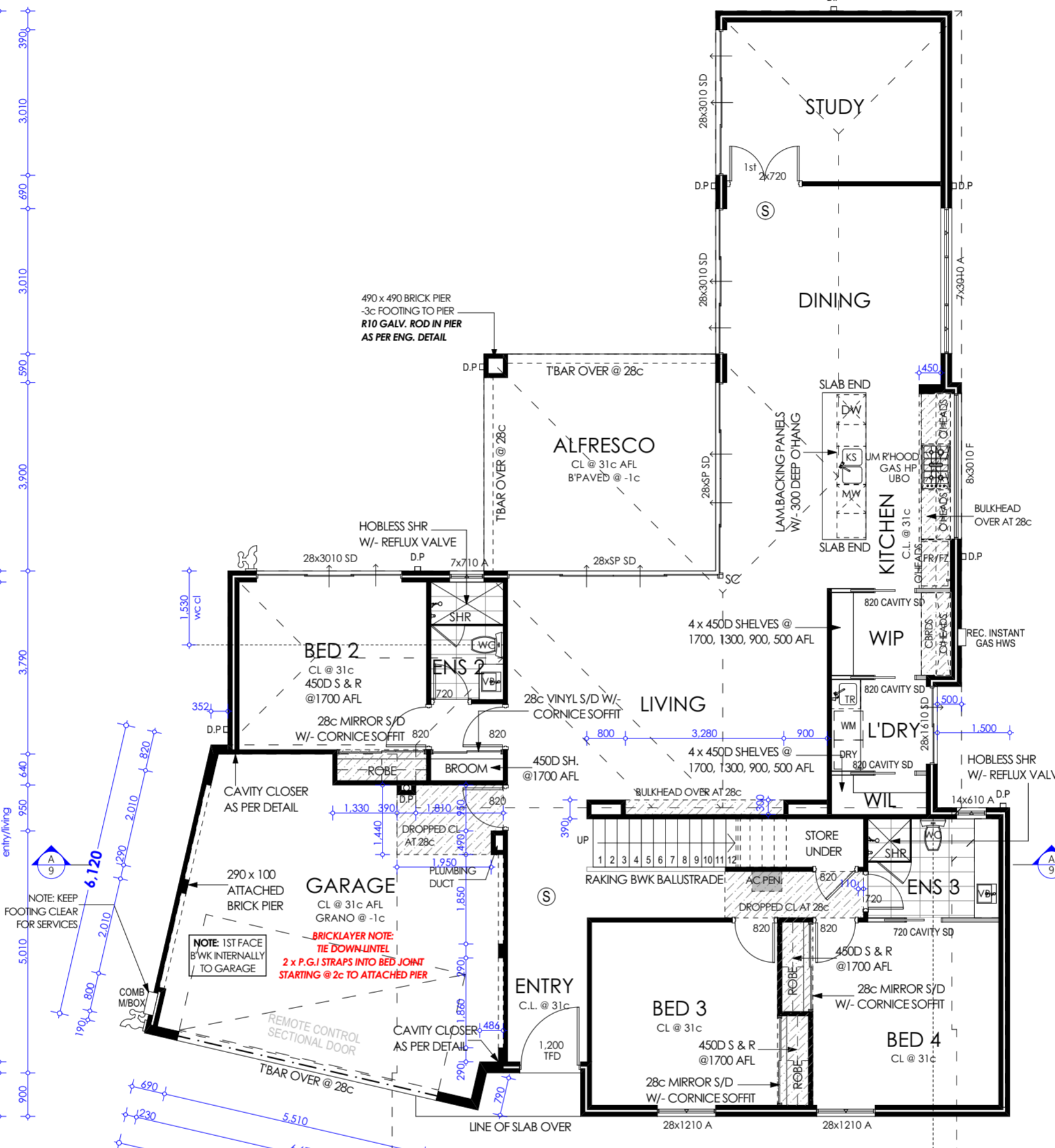
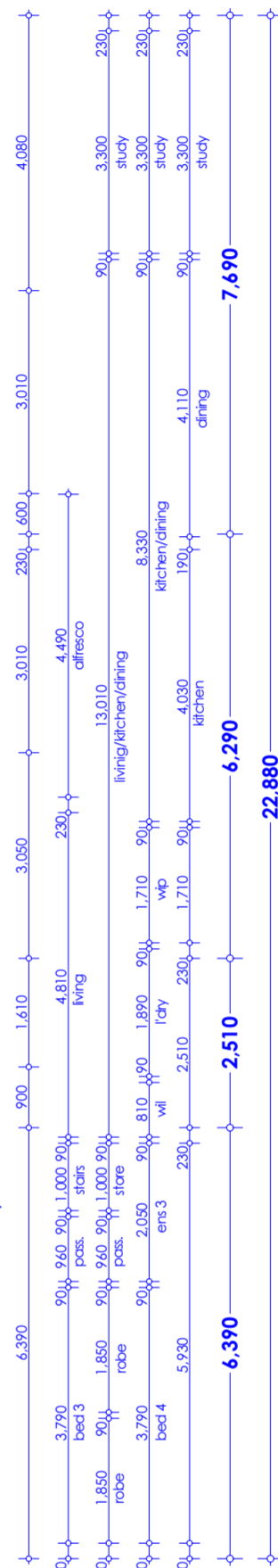
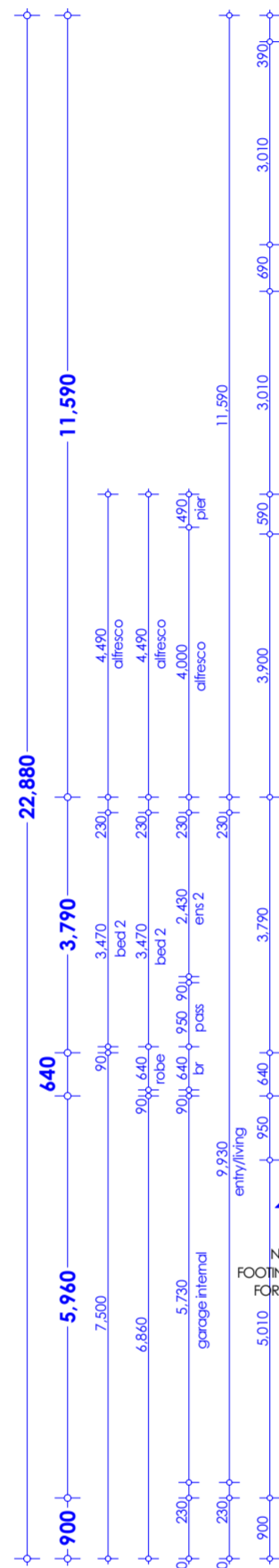
- EXT DOORS & WET AREA DOORS TO BE SEALED TOP & BOTTOM
- 4/450mm SHELVES TO LINEN
- 450mm SHELF & RAIL TO WIR AND ROBES
- WIR S&R TO BE 1700mm AFL
- ROBE S&R TO BE 1700mm AFL

ROOF FRAMING NOTES:

- ALL BEAMS ARE SHOWN DIAGRAMATIC ONLY. REFER ENG DETAILS
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684 WITH WESTPINE BLUE
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4
- LV'S IN ACCORDANCE WITH MANUFACTURERS SPEC.
- CEILING AT 31c + PLATE U.N.O
- ROOF PITCH 25o WITH 500mm EAVES U.N.O
- ANTCOIN TO ROOF TO SUIT BAL REQUIREMENTS



3
4



2
1

CEILING NOTES:

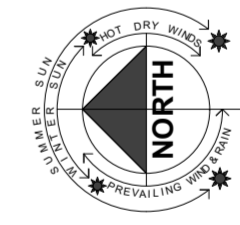
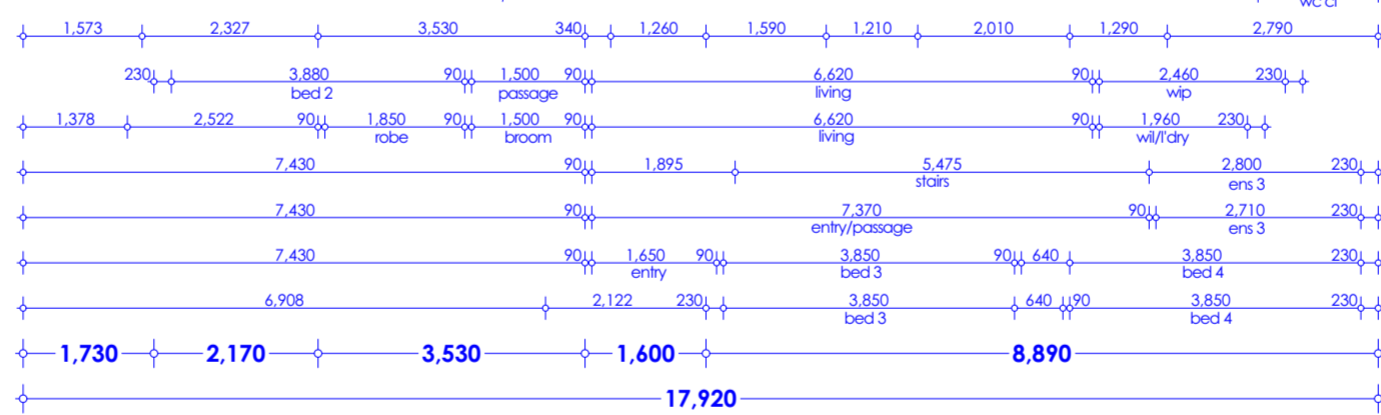
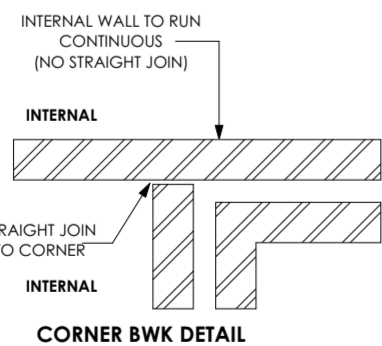
- GARAGE: PLASTERBOARD CEILING AT NOTED HEIGHT
- ALFRESCO: MOISTURE RESISTANT PLASTERBOARD CEILING AT NOTED HEIGHT
- VERANDAH: MOISTURE RESISTANT PLASTERBOARD CEILING AT NOTED HEIGHT

SITE CONDITIONS:

- WIND CLASSIFICATION: TBA
- COASTAL: TBA
- BAL UPGRADES: TBA

BRICKLAYER NOTE:

- EXTERNAL BRICKS TO BE RENDERED BRICKWORK U.N.O
- EXTENT OF CAVITY WALL INSULATION TBD
- FACE 2c BRICKWORK TO INSIDE OF GARAGE



AREAS:

Ground Floor	192.15
Garage & Store	42.87
Alfresco	22.19
GF TOTAL	256.57 m²
GF Roof Area	184.75 m
GF Perimeter	79.14 m

NOTE: REFER TO ALL DRAWINGS AND DOCUMENTS INCLUDING ENGINEERS PRIOR TO COMMENCEMENT. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. DIMENSIONS TAKE PREFFERENCE TO SCALING. ALL DRAWINGS IN CONJUNCTION TO SPECIFICATIONS. REPORT ANY DISCREPANCIES TO SUPERVISOR OR DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.

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HOUSE NAME:	INDIVIDUAL	DWG:	GROUND FLOOR PLAN	SHEET No:	5 OF 14	SCALE:	1:1, 1:100	JOB No:	3200
DESCRIPTION	DATE	DRAWN	CHKD	CLIENT NAME:	BURNS				
				SITE ADDRESS:	LOT 2368 MALACCA WAY				
				SITE ADDRESS:	MINDARIE				
				SITE ADDRESS:	CITY OF WANNEROO				
OWNER:		WITNESS:							
OWNER:		WITNESS:							
BUILDER:		WITNESS:							

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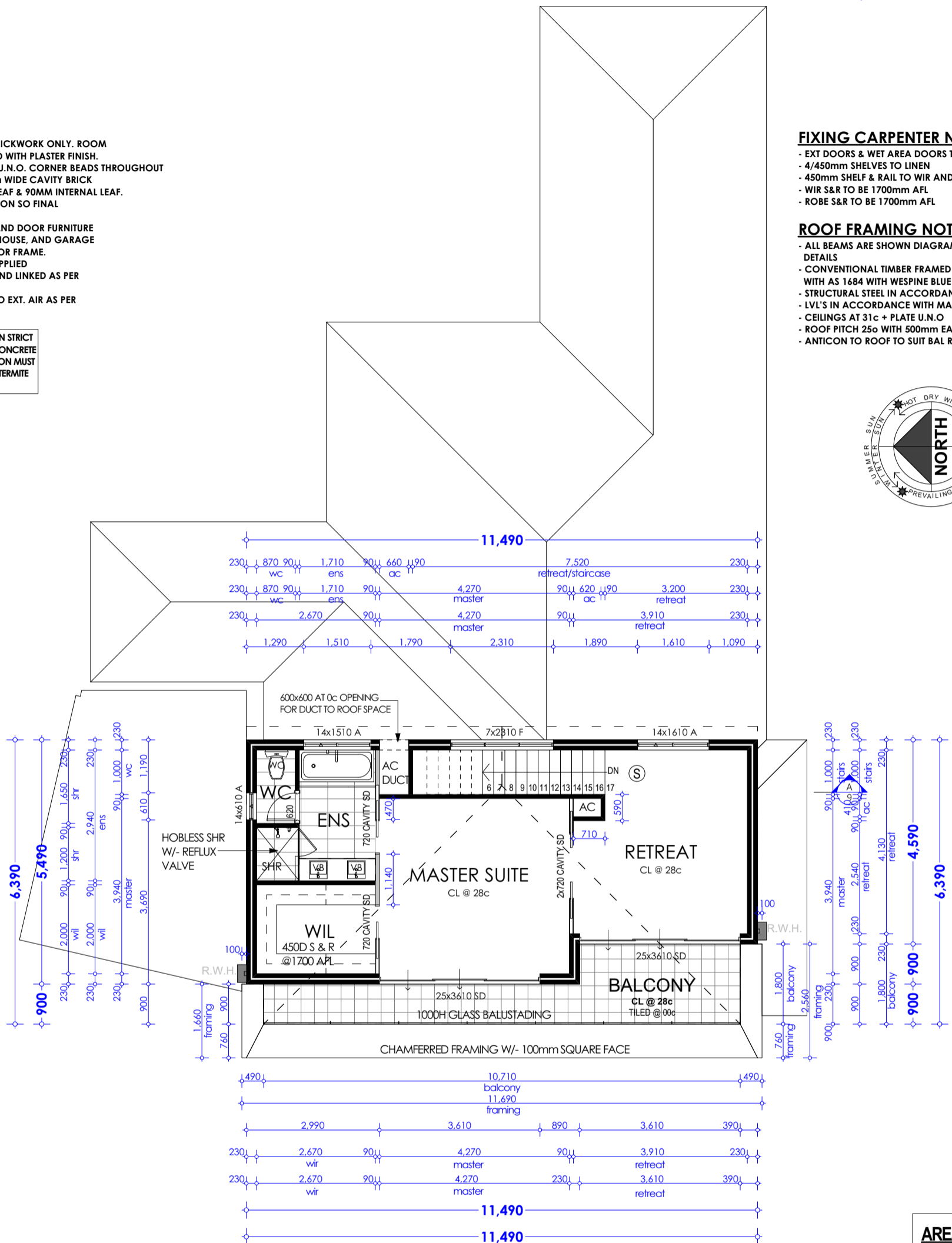
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AREAS:

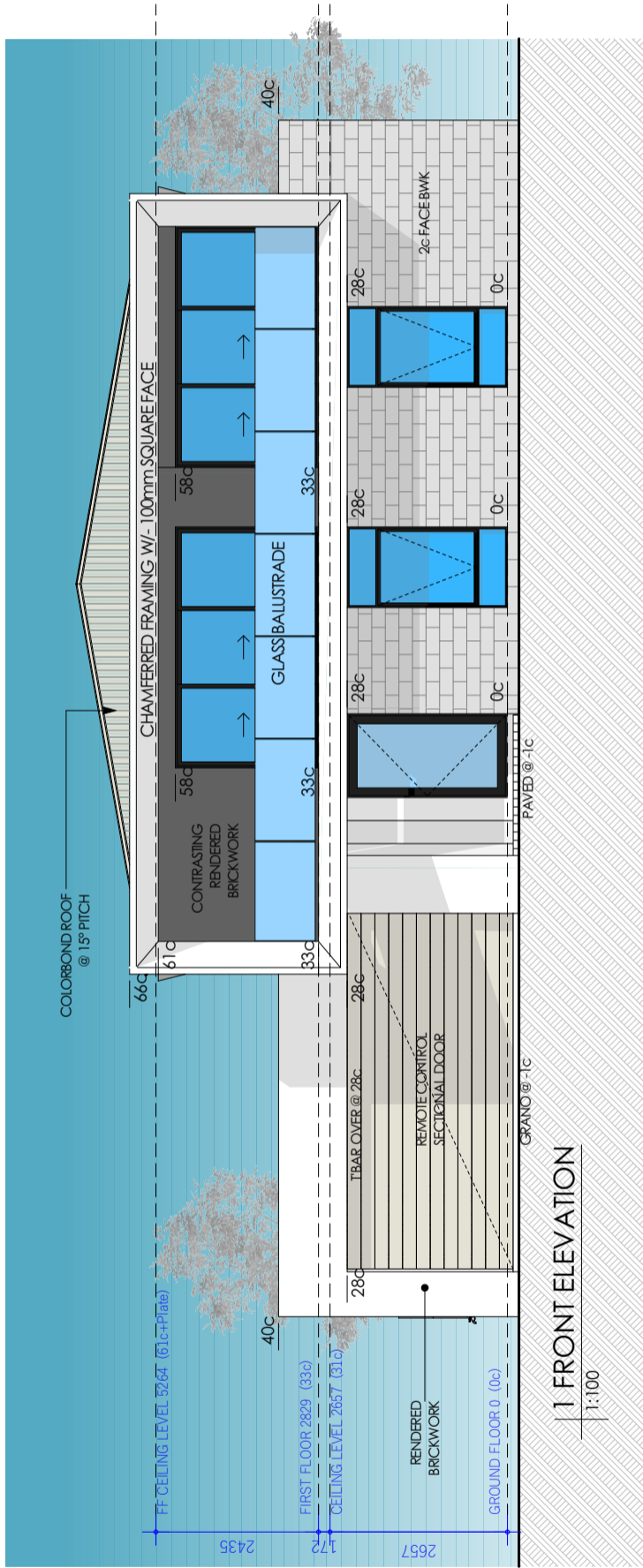
Ground Floor	192.15
Garage & Store	42.87
AlFRESCO	22.19

GF TOTAL	256.57	m ²
First Floor	59.48	m ²
Balcony	12.89	m ²

FF TOTAL	72.37	m ²
COMB TOTAL	328.94	m²
GF Perimeter	79.14	m
FF Perimeter	33.96	m
GF Roof Area	184.75	m ²
FF Roof Area	75.81	m ²

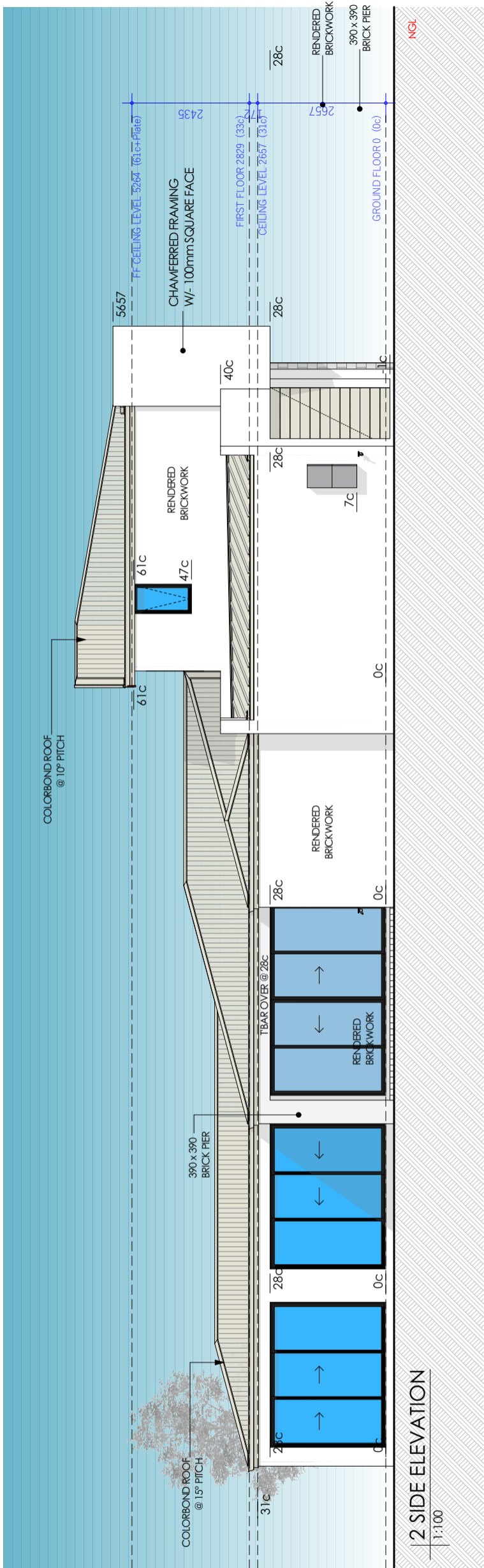
COASTAL ZONE : NO

<p>Address PO Box 1240 JOONDALUP WA 6027</p> <p>Phone 08 6558 0301 Fax 08 6323 1174</p> <p>Email info@westcoastresidential.com.au</p> <p>Web www.westcoastresidential.com.au</p>	<p>NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATION MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.</p> <p>© COPYRIGHT- THIS DESIGN AND DRAWINGS ARE COPYRIGHT TO WEST COAST RESIDENTIAL. IT SHALL NOT BE GIVEN, LENT, RE-SOLD OR OTHERWISE DISPOSED, OR COPIED IN ANY FORMAT WITHOUT WRITTEN PERMISSION OF WEST COAST RESIDENTIAL</p>	<p>DRAWINGS AS REFERRED TO IN THE BUILDING CONTRACT:</p> <p>DATE</p> <p>OWNER:</p> <p>OWNER:</p> <p>BUILDER:</p>	<p>HOUSE NAME: INDIVIDUAL</p>	<p>DWG: FIRST FLOOR PLAN</p>	<p>SHEET No: 6 OF 14</p>	<p>SCALE: 1:1, 1:100</p>	<p>JOB No: 3200</p>																		
			<table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>DATE</th> <th>DRAWN</th> <th>CHKD</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	DESCRIPTION	DATE	DRAWN	CHKD																		
DESCRIPTION	DATE	DRAWN	CHKD																						



1 FRONT ELEVATION

1:100



2 SIDE ELEVATION

1:100

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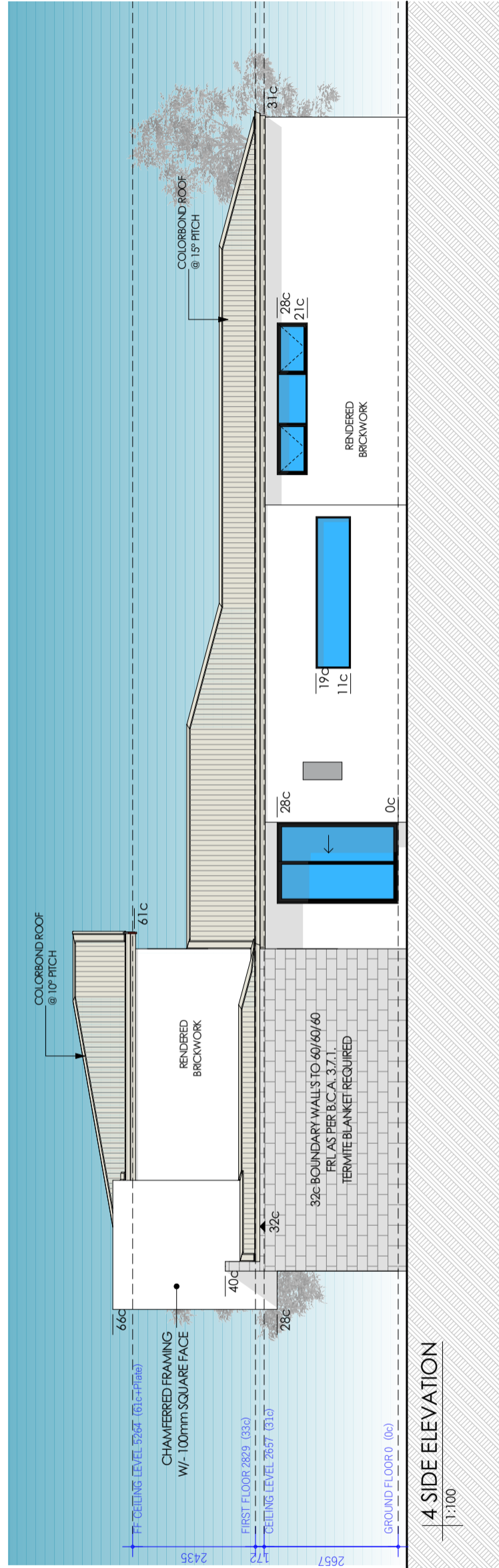
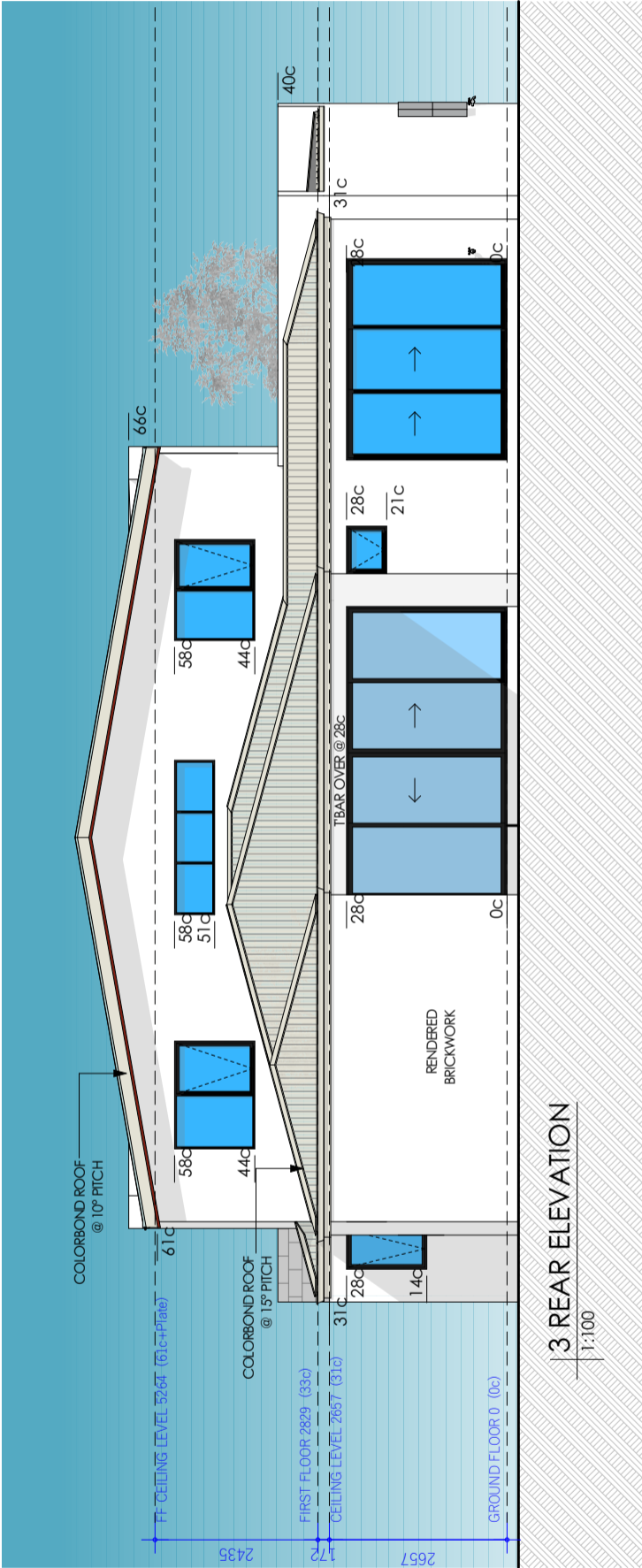
DATE: _____

OWNER: _____ WITNESS: _____

OWNER: _____ WITNESS: _____

BUILDER: _____ WITNESS: _____

HOUSE NAME: INDIVIDUAL	DWG: ELEVATIONS 1	SHEET No: 7 OF 14	SCALE: 1:100	JOB No: 3200
DESCRIPTION	DATE	DRAWN	CHKD	CLIENT NAME: BURNS
				SITE ADDRESS: LOT 2368 MALACCA WAY
				MINDARIE
				SITE ADDRESS: CITY OF WANNEROO



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DATE: _____

OWNER: _____ WITNESS: _____

OWNER: _____ WITNESS: _____

BUILDER: _____ WITNESS: _____

HOUSE NAME:	DWG:	SHEET No:	SCALE:	JOB No:
INDIVIDUAL	ELEVATIONS 2	8 OF 14	1:100	3200
DESCRIPTION	DATE	DRAWN	CHKD	

CLIENT NAME: **BURNS**
 SITE ADDRESS: **LOT 2368 MALACCA WAY MINDARIE CITY OF WANNEROO**