

**NOTE:**

All measurements are approximate only. It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials.

I, \_\_\_\_\_ owner of 35 Starcap Place, Quinns Rock have no objection to the parapet wall on boundary, or any other aspect of the proposed design.

signed \_\_\_\_\_ signed \_\_\_\_\_

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**SITE COVERAGE:**

LOT AREA:	630m <sup>2</sup>
LOT ZONING:	R20
TOTAL FLOOR AREA:	245.85m <sup>2</sup>
TOTAL SITE COVERAGE:	39.02%
TOTAL OPEN SPACE (50%):	60.98%

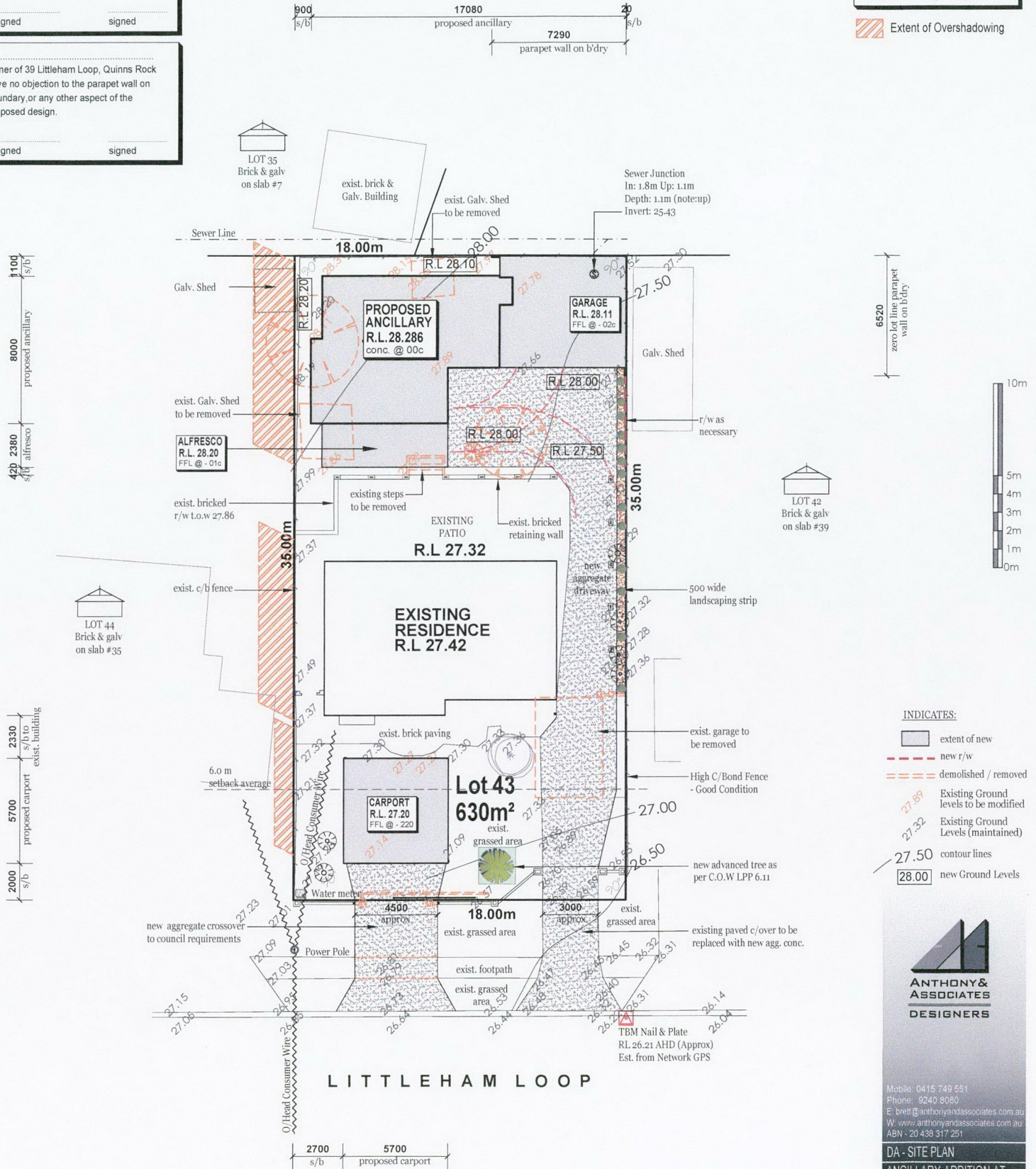
**FLOOR AREA CALCULATION:**

EXIST. RESIDENCE :	100.31m <sup>2</sup>
PROPOSED ANCILLARY :	72.51m <sup>2</sup>
PROPOSED GARAGE :	40.54m <sup>2</sup>
PROPOSED ALFRESCO :	16.29m <sup>2</sup>
PROPOSED CARPORT :	32.49m <sup>2</sup>
TOTAL AREA	262.14m <sup>2</sup>

**OVERSHADOWING CALCULATIONS:**

No. 35 LITTLEHAM LOOP STREET:	621m <sup>2</sup>
TOTAL OVERSHADOWING :	50.42m <sup>2</sup>
OVERSHADOWING % (25% max allowed):	8%

Extent of Overshadowing



- INDICATES:**
- extent of new
  - new r/w
  - demolished / removed
  - Existing Ground levels to be modified
  - Existing Ground Levels (maintained)
  - 27.50 contour lines
  - 28.00 new Ground Levels



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**DA - SITE PLAN**  
**ANCILLARY ADDITION AT 37 LITTLEHAM LOOP, QUINNS ROCK FOR JIM JONES**

C CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERING DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

REV -	SJ (RS)	1
JOB: 1494	16.09.2022	OF 4



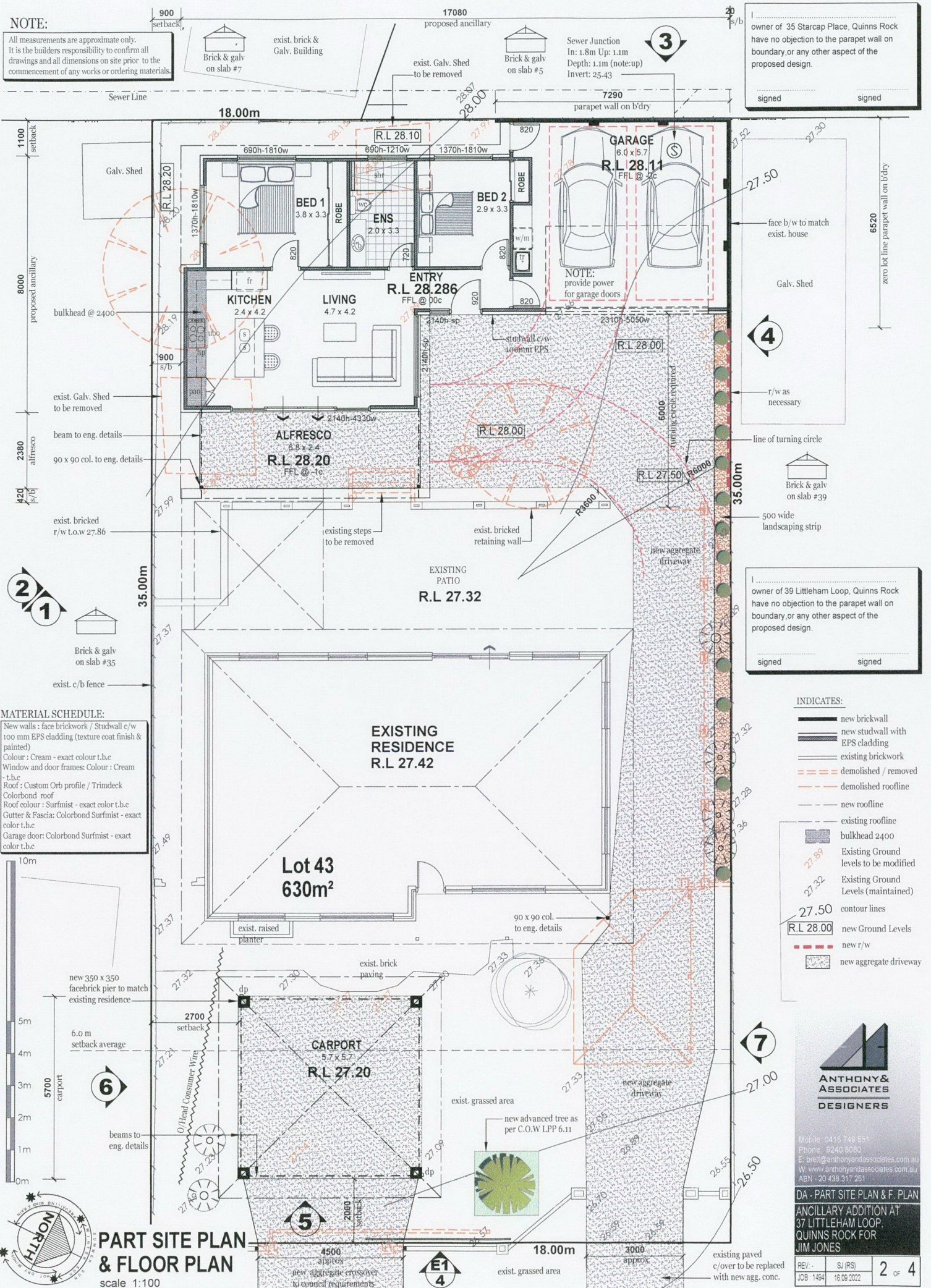
**SITE PLAN**  
 scale 1:200



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signed \_\_\_\_\_ signed \_\_\_\_\_



**MATERIAL SCHEDULE:**  
New walls : face brickwork / Studwall c/w 100 mm EPS cladding (texture coat finish & painted)  
Colour : Cream - exact colour t.b.c  
Window and door frames : Colour : Cream - t.b.c  
Roof : Custom Orb profile / Trimdeck  
Colorbond roof  
Roof colour : Surfimist - exact color t.b.c  
Gutter & Fascia : Colorbond Surfimist - exact color t.b.c  
Garage door : Colorbond Surfimist - exact color t.b.c

- INDICATES:**
- new brick wall
  - new studwall with EPS cladding
  - existing brickwork
  - demolished / removed
  - demolished roofline
  - new roofline
  - existing roofline
  - bulkhead 2400
  - Existing Ground levels to be modified
  - Existing Ground Levels (maintained)
  - contour lines
  - R.L. 28.00 new Ground Levels
  - new r/w
  - new aggregate driveway

**ANTHONY & ASSOCIATES DESIGNERS**

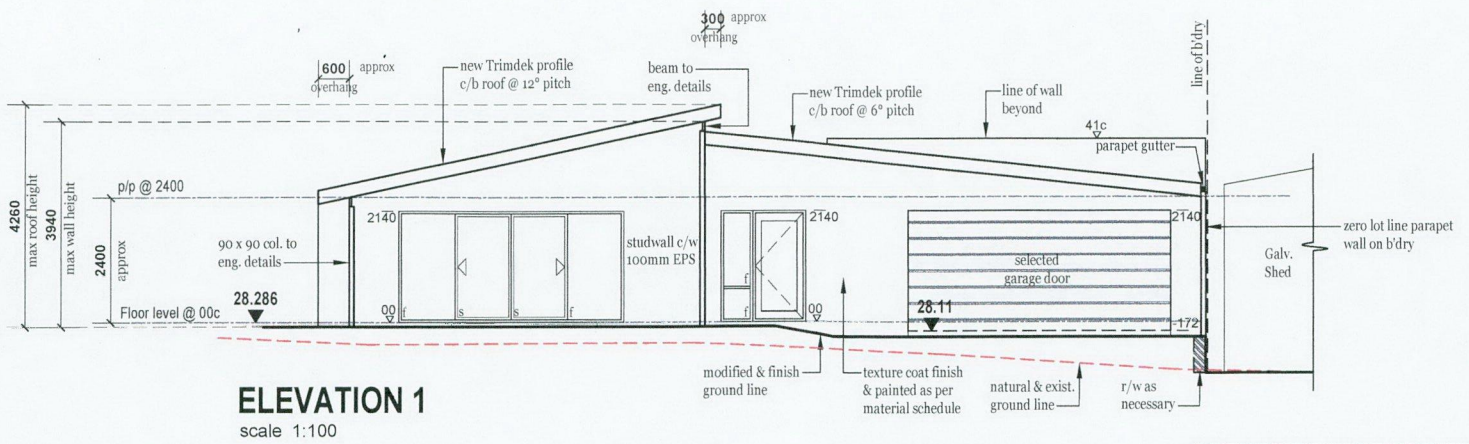
Mobile: 0415 748 551  
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**DA - PART SITE PLAN & F. PLAN**  
ANCILLARY ADDITION AT  
37 LITTLEHAM LOOP,  
QUINNS ROCK FOR  
JIM JONES

REV -	SJ/RSI	2 OF 4
JOB: 1494	18.09.2022	

**PART SITE PLAN & FLOOR PLAN**  
scale 1:100



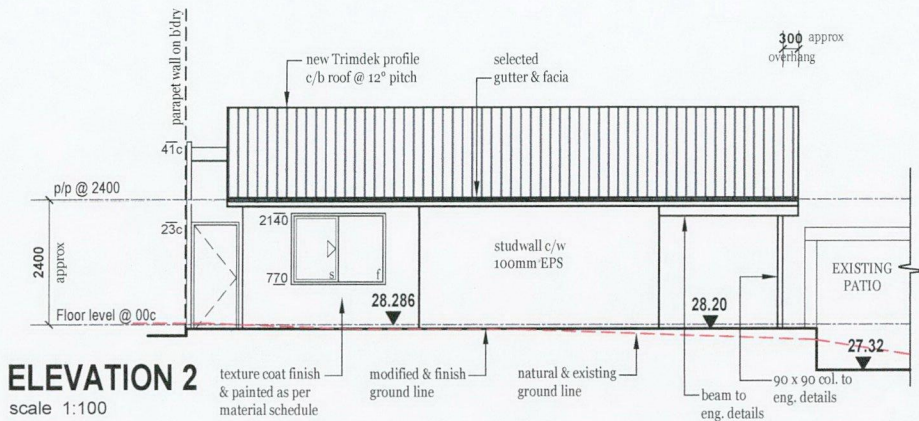


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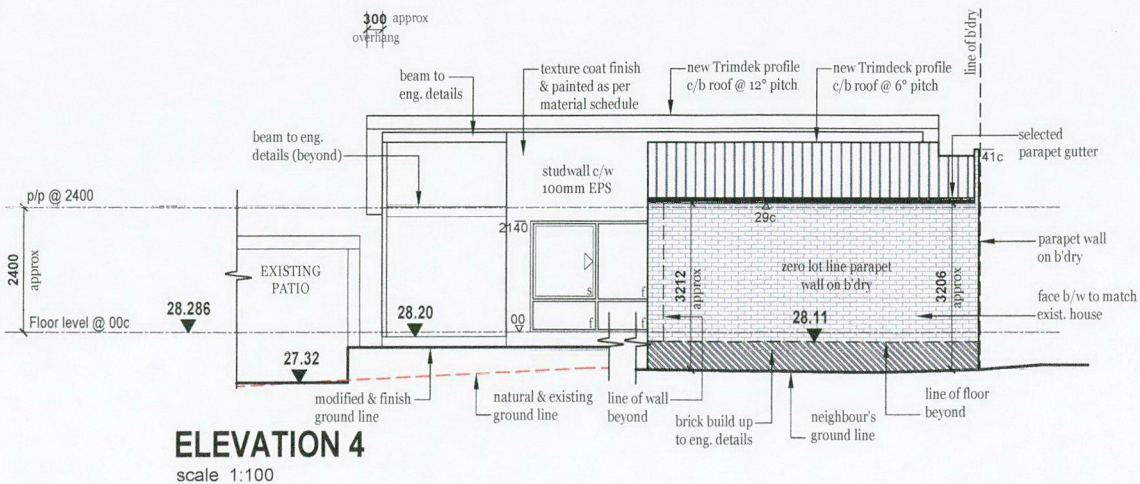
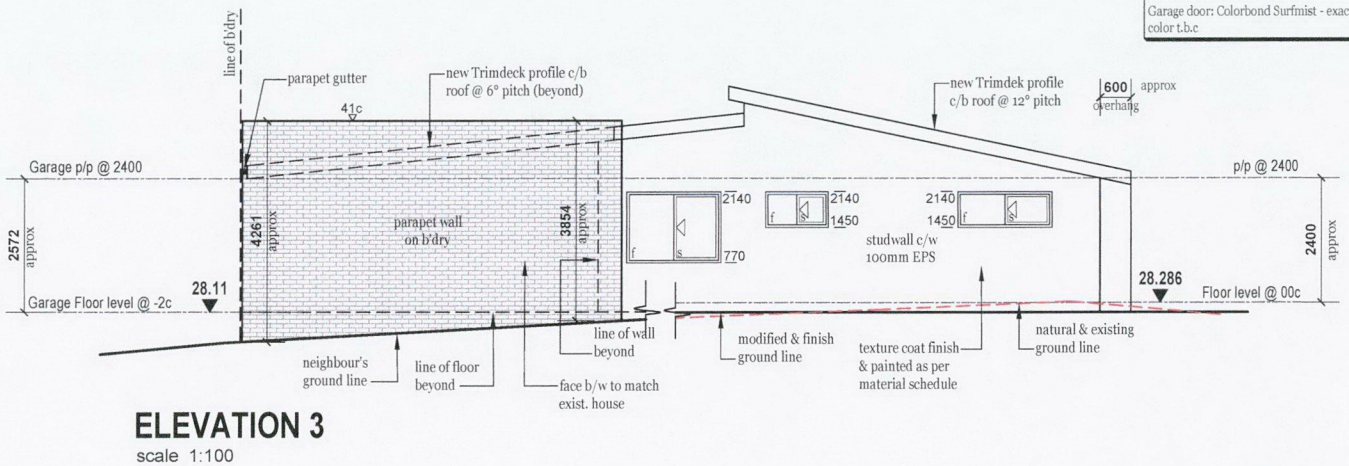
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 Gutter & Fascia: Colorbond Surfist - exact color t.b.c  
 Garage door: Colorbond Surfist - exact color t.b.c



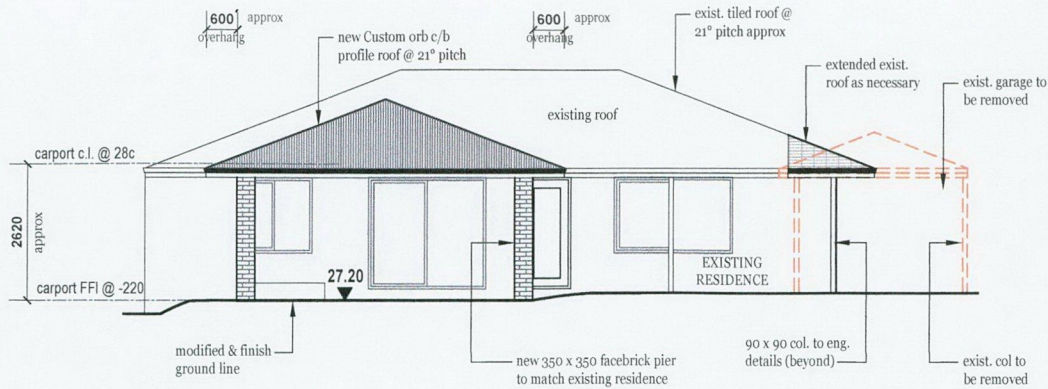
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**DA - ELEVATIONS**  
**ANCILLARY ADDITION AT  
 37 LITTLEHAM LOOP,  
 QUINNS ROCK FOR  
 JIM JONES**

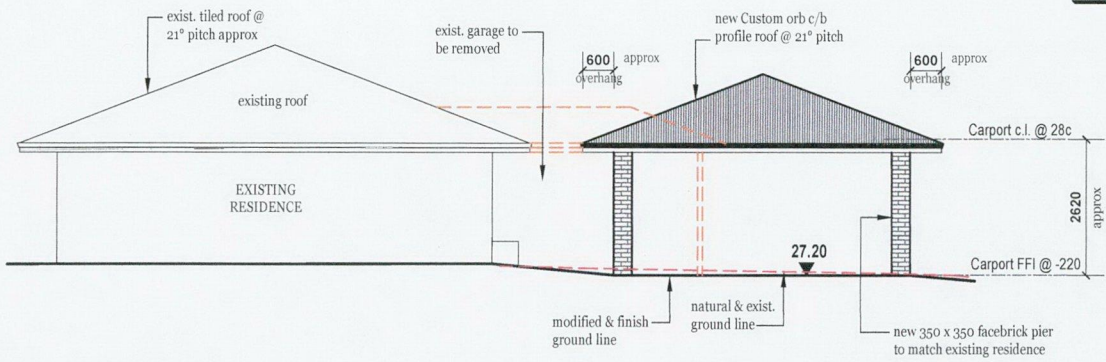
C-CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. LAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERING DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

REV /	SJ (RS)	3 OF 4
JOB : 1494	16.09.2022	

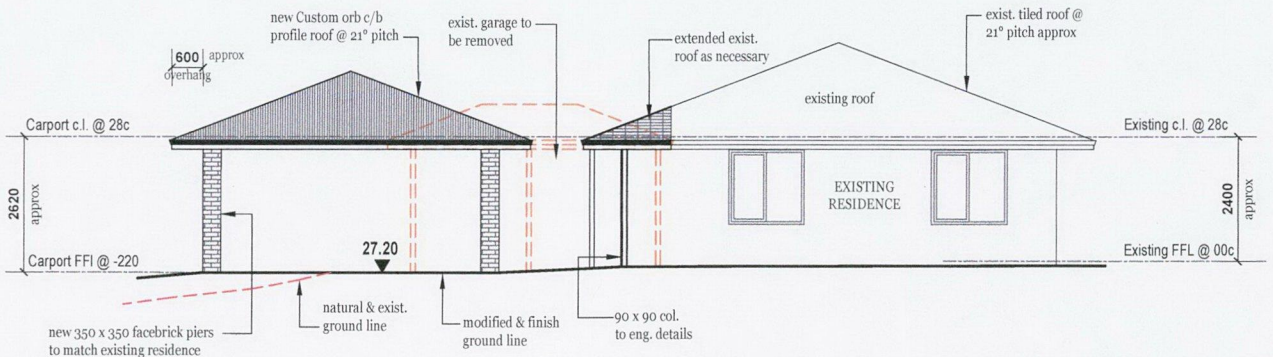




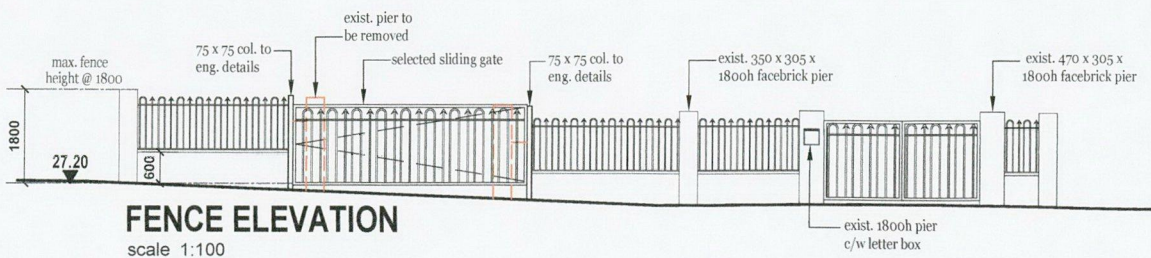
**ELEVATION 5**  
scale 1:100



**ELEVATION 6**  
scale 1:100



**ELEVATION 7**  
scale 1:100

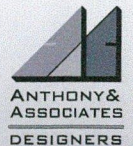


**FENCE ELEVATION**  
scale 1:100

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DA - CARPORT ELEVATIONS  
ANCILLARY ADDITION AT  
37 LITTLEHAM LOOP,  
QUINNS ROCK FOR  
JIM JONES

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REV: -	SJ/RS	4 OF 4
JOB: 1494	16.09.2022	



# FEATURE SURVEY

STREET NAME Littleham Loop	LOT # 43	HOUSE # 37	SUBURB Quinns Rock	LOCAL AUTHORITY City of Wanneroo	LOT AREA 630m <sup>2</sup>	R CODE R20	SURVEY DATE 10/05/2022	SCALE AT A3 SIZE 1:200
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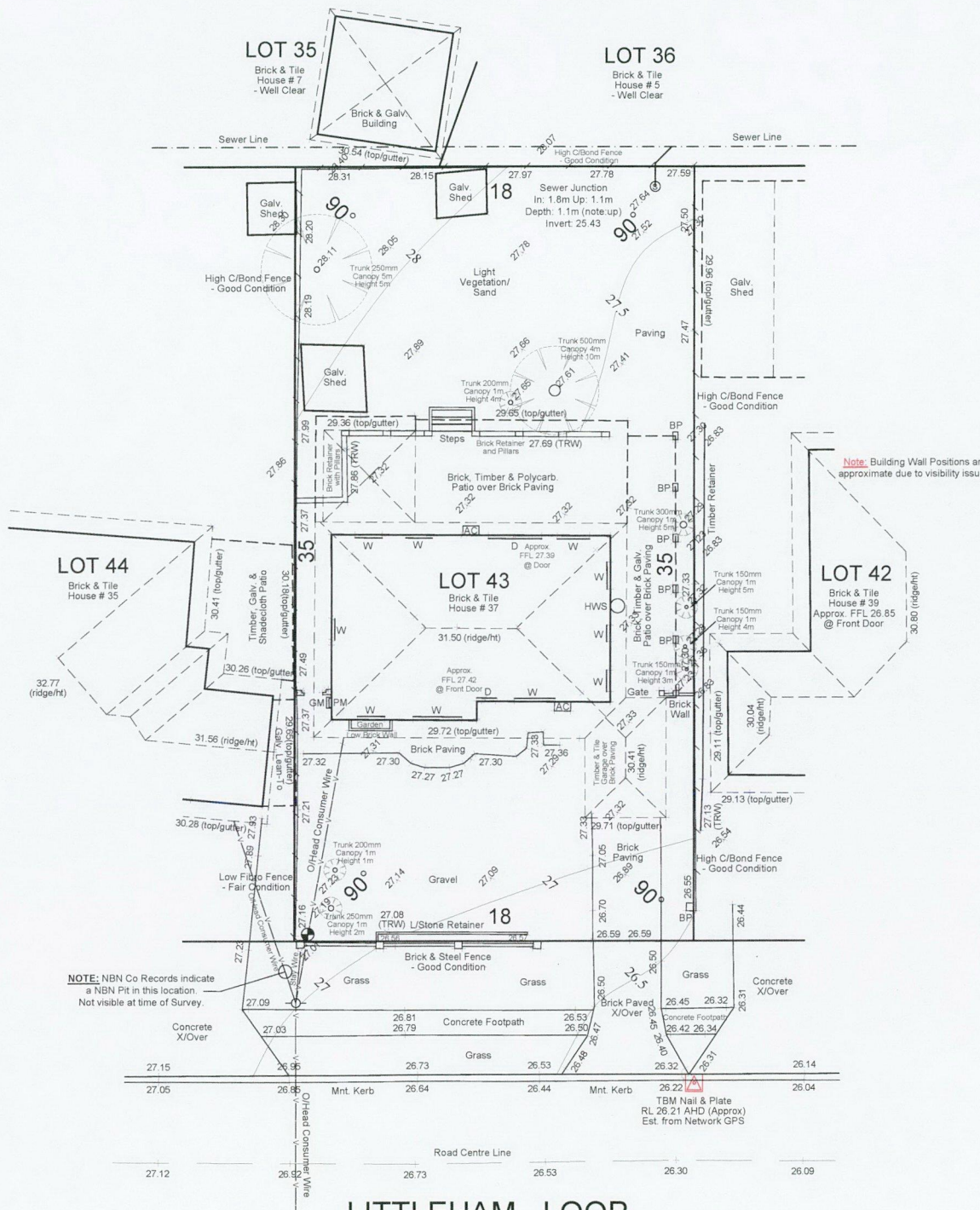
## CLIENTS DETAILS:

James Jones

LEVEL DATUM: AHD (Approx.)	DWG REF: Littleham 37 F - v1.0
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## LEGEND

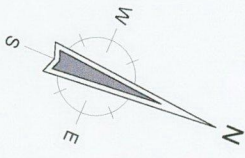
- WATER METER
- TELSTRAN PIT
- CONSUMER POLE
- TREE (TO SCALE)
- WINDOW
- DOOR
- TEMP. BENCHMARK
- SEWER CONN. (TRW) TOP OF RETAINING WALL
- BP BRICK PILLAR
- GM GAS METER
- PM POWER METER
- AC AIRCON
- HWS HOT WATER SYSTEM



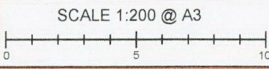
Note: Building Wall Positions are approximate due to visibility issues.

NOTE: NBN Co Records indicate a NBN Pit in this location. Not visible at time of Survey.

## LITTLEHAM LOOP



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PLAN / DIAG / SP	P 16187	TELSTRA	YES
ELECTRICITY	UNDERGROUND	SEWERAGE	YES
WATER	YES	DRAINAGE	GOOD
GAS	YES	VEG. / SOIL	AS DESCRIBED

**IMPORTANT NOTES:**  
THE BOUNDARY CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS. ALL BUILDING DIMENSIONS & FEATURES ARE APPROXIMATE ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCES, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY OR MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REQUIRED.  
BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEATED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR POSITION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBORS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.  
THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.  
SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.  
CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

