



LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

Soak Well Type	No.	Capacity
SW 1800x1200	2	6.1 m3
Total Capacity		6.1 m3
Roof Area GF		470.1 m2
Total Area		470.1 m2
Capacity Required (Area x 0.0125)		5.9 m3
Extra Capacity Provided		0.2 m3

SITE CLASSIFICATION 'A'

WIND CLASSIFICATION 'N1'

BAL APPLIES

PROVIDE 3 PHASE POWER TO M/BOX

CONCRETOR NOTE:
RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

FFL FIXED AT LEVEL NOTED (NO TOLERANCE)

CLIENT NOTE:
RETAINING WALL VISIBLE / EXPOSED IN GARAGE

TERMITE MANAGEMENT NOTE
ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1-2014 AND WILL COMPLY WITH PART 3.1.4.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, AMENDMENT 1, 2019

STORMWATER DRAINAGE TO COUNCIL REQUIREMENTS

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CLIENT NOTE:
ANY RETAINING INDICATED 'BY OWNER' MAY REQUIRE A SEPARATE BUILDING LICENCE PRIOR TO THE SHIRE APPROVAL OF THE PROPOSED DWELLING. (OWNER TO SUBMIT APPLICATION TO SHIRE ASAP IF APPLICABLE)

ALL PAVING BY OWNER AFTER HANDOVER

NOTE:
NOTIFICATION. REFER TO SEC 70A T.L.A. SEE DOCUMENT P090022 BUSHFIRE MANAGEMENT PLAN

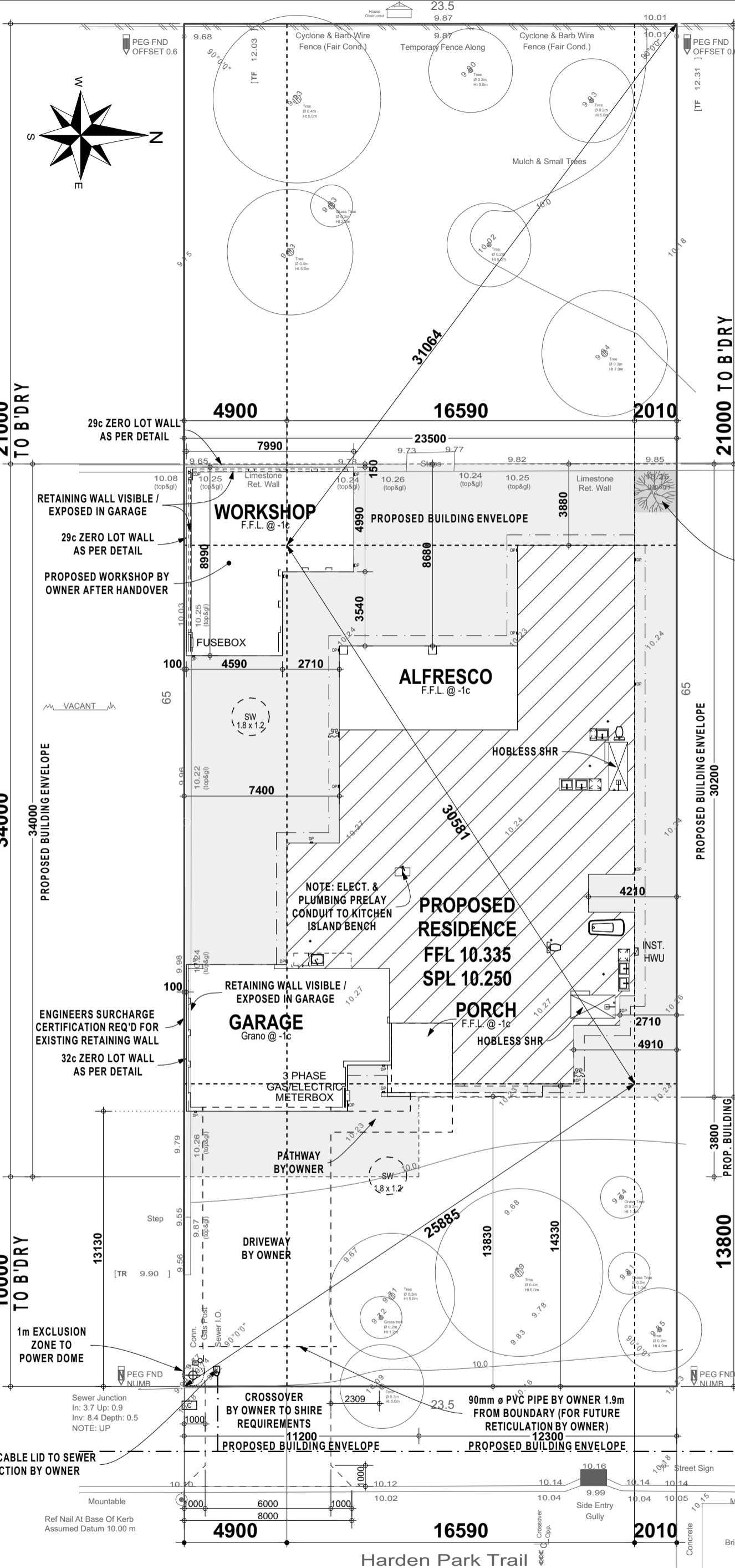
NOTE:
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT DP423055 & P090021

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

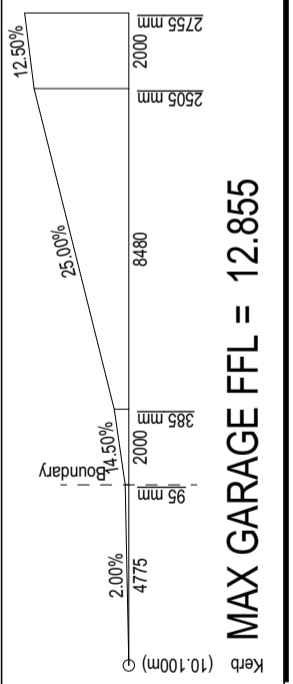
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



DRAWING NAME: SITE PLAN		REVISION: A	
JOB No: 17469H	SHEET No: 1B OF 8		
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.			
OWNER (1)	DATE		
OWNER (2)	DATE		
BUILDER	DATE		
Rev No: A	Variation: 17469H - SITE	Date Dm: 28/11/22	By: JH
Drawn By: #DRAWN#	Date Drawn: #DATE#		
Scale: 1:200	Checked By:		

2x2m² CLEAR SOIL SPACE AT GROUND LEVEL FOR ADVANCED TREE TO BE PLANTED BY OWNER AFTER HANDOVER (AREA SHOWN SHADED)



SITE COVERAGE	
ZONED	R10
% ALLOWED	40%
SITE AREA	1527.50m ²
SITE COV. AREA	339.60m ²
SITE COV. = 22.2%	

87-89 Guthrie Street
Osborne Park, WA 6017

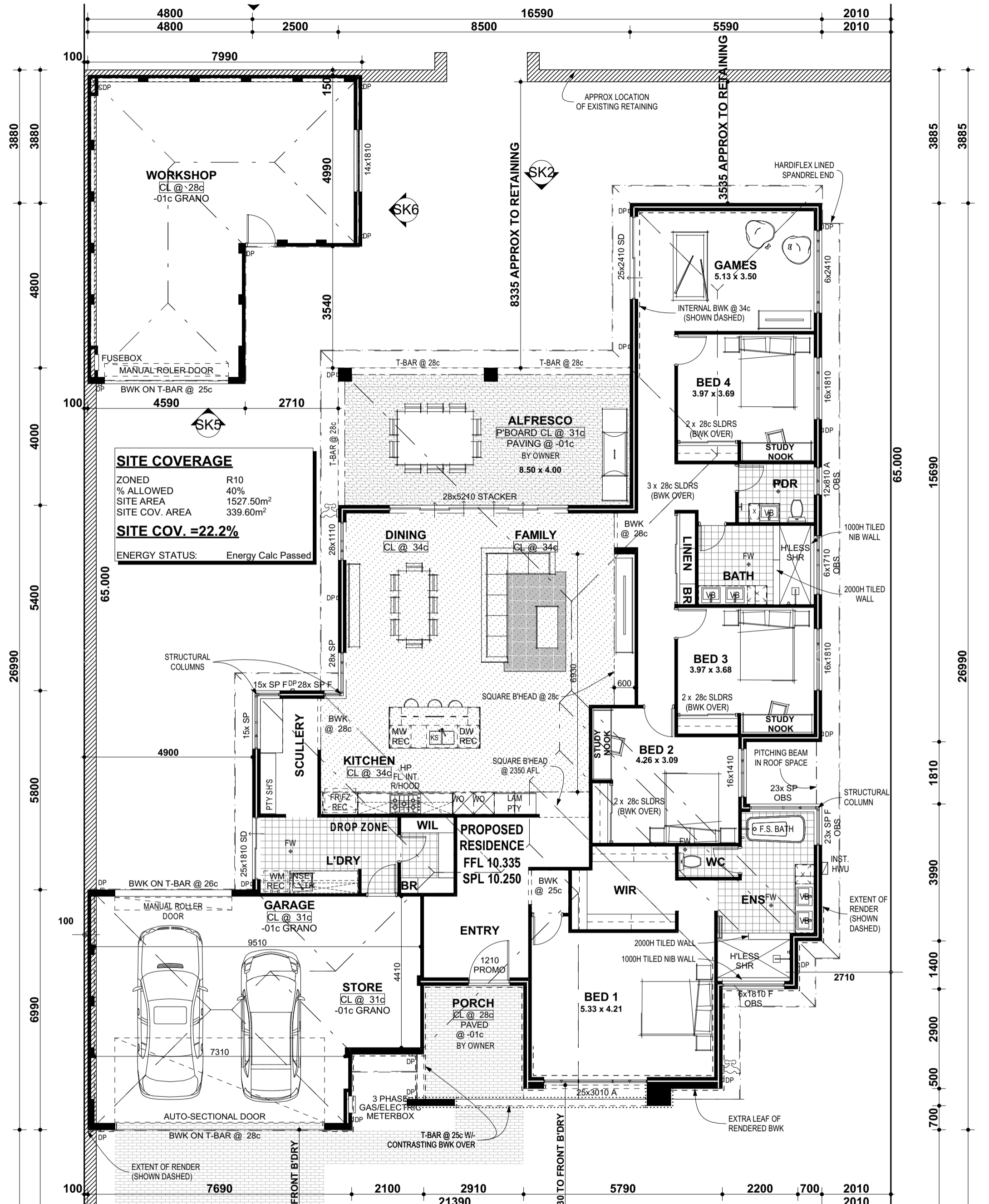
PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

LICENSED SURVEYORS

ORDER # 536539	GPS Lat: -31.703984 Long: 115.793392
CLIENT CARTER	JOB # 17469H
ADDRESS HARDEN PARK TRAIL	LOT 5067 (DP 423055)
SUBURB CARRAMAR	
LGA CITY OF WANNEROO	AREA 1528m² VOL. 4018 FOL. 133
DRAWN J. Wilkinson	DATE 07 Nov 22 SCALE 1:200 ssa Yes

ROADS	Bitumen / Brick	ELEC.	U/Ground
KERBS	Mountable	COMMS.	Yes
FOOTPATH	Nil	WATER	Yes
SOIL	Sand	GAS	Yes (High Pressure)
DRAINAGE	Good	SEWER	Yes
VEGETATION	Refer to Survey	COASTAL	CORROSION PROTECTION_R3 (APPROX. 8.3km) (Scaled from Digital Mapping Source)



ARCHITECTURAL

CAIRO LUXURY 2c



CARTER
 Lot 5067 Harden Park Trail
 CARRAMAR
 Estate : Wildwood
 Shire : CITY OF WANNEROO

Client Signature

Date

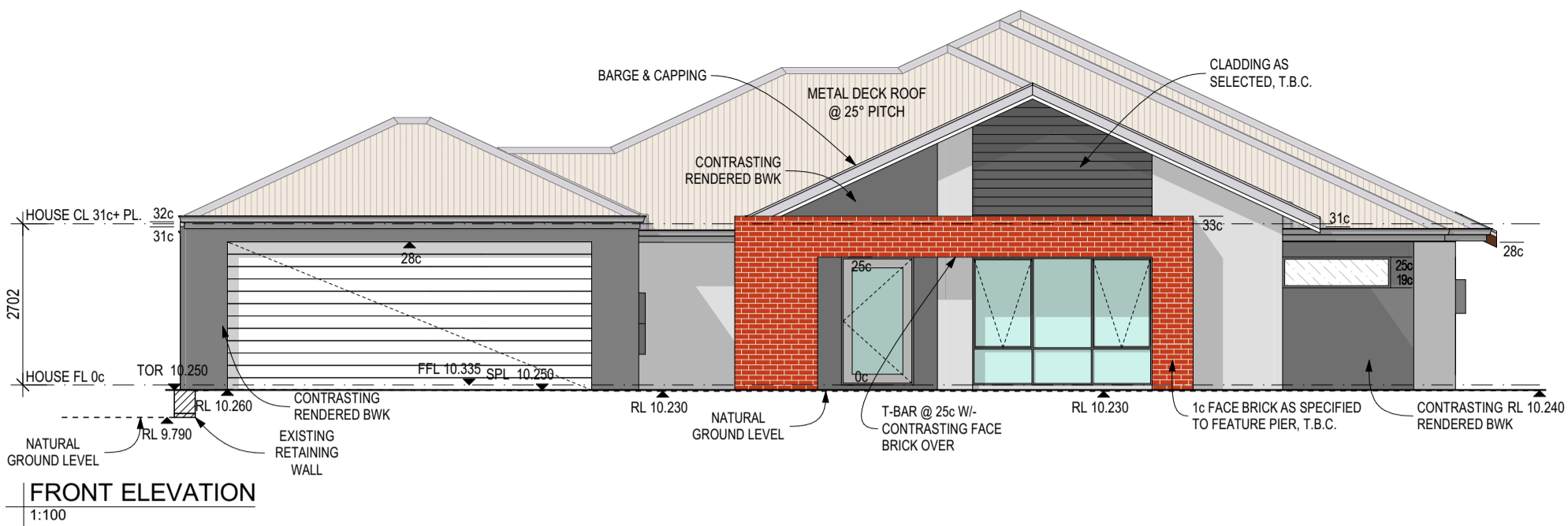
Areas

House Area	267.17	06/09/22	DC
Garage/St A...	62.63	21/09/22	DC
Workshop ...	58.23	27/09/22	DC
Alfresco Area	34.00	11/10/22	ER
Porch Area	10.47	25/10/22	DC
House Perim.	432.50 m ²	10/11/22	ER

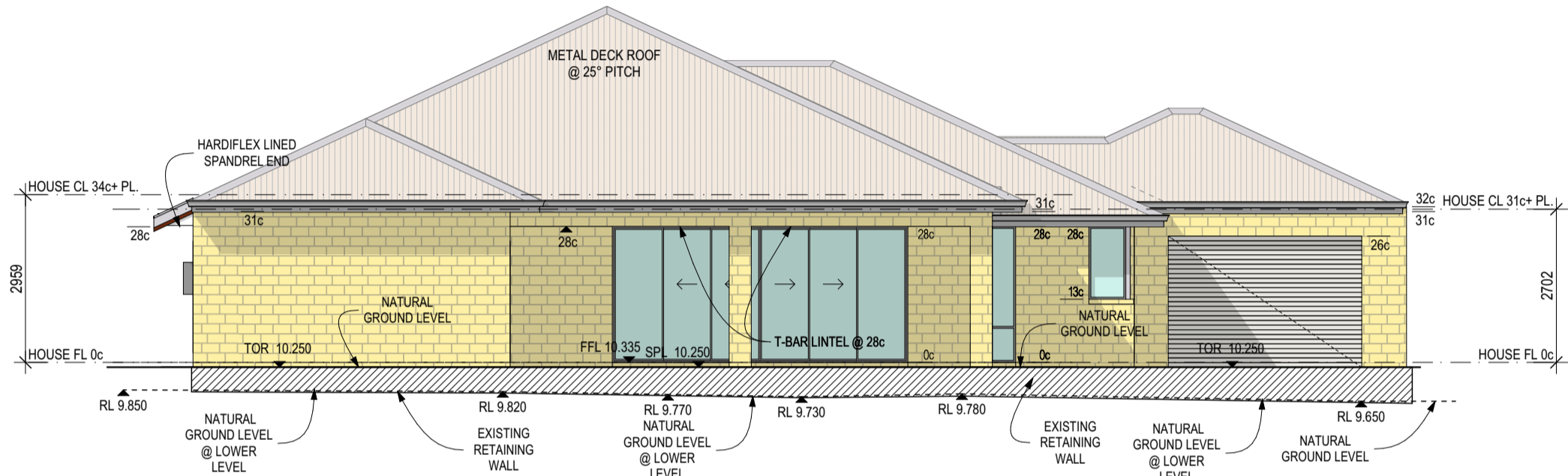
Date By

CONCEPT

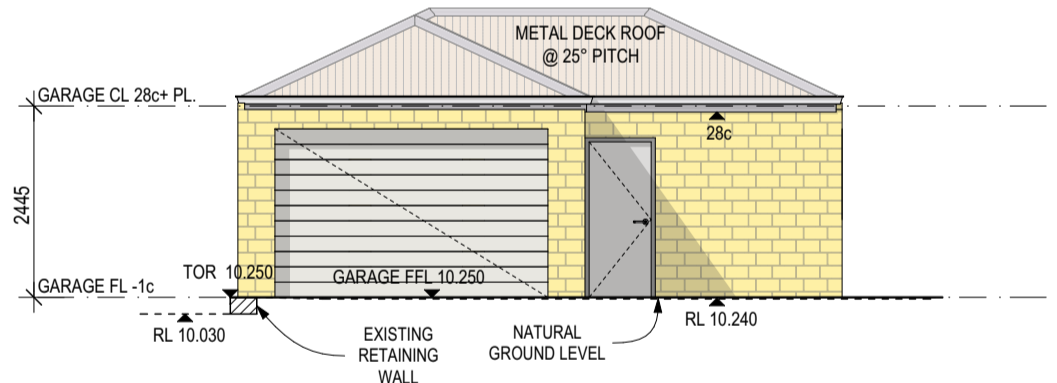
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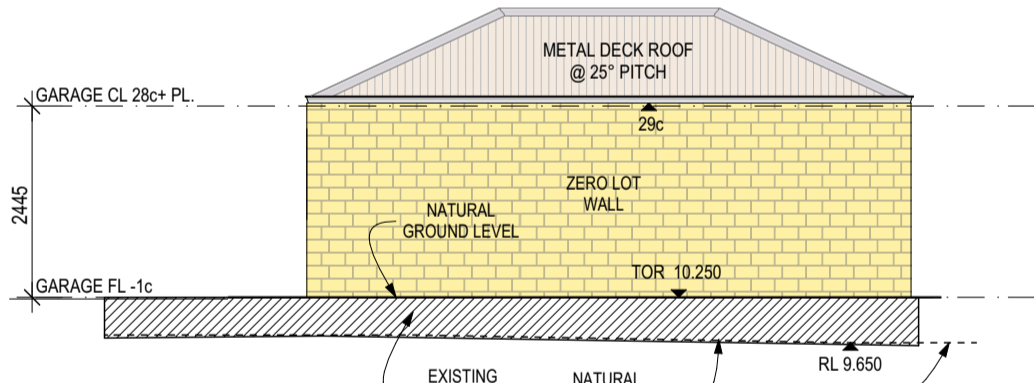
FRONT ELEVATION
1:100



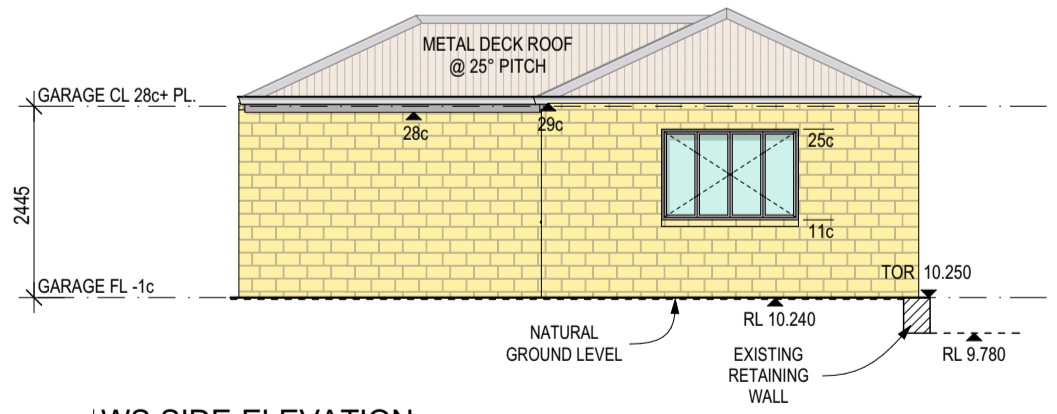
REAR ELEVATION
1:100



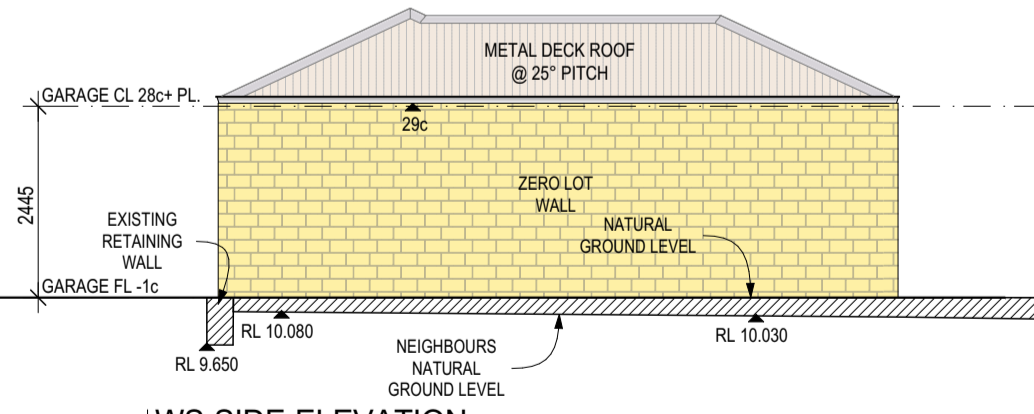
WS FRONT ELEVATION
1:100



WS REAR ELEVATION
1:100



WS SIDE ELEVATION
1:100



WS SIDE ELEVATION
1:100

ARCHITECTURAL
CAIRO LUXURY 2c



CARTER
Lot 5067 Harden Park Trail
CARRAMAR
Estate : Wildwood
Shire : CITY OF WANNEROO

Client Signature

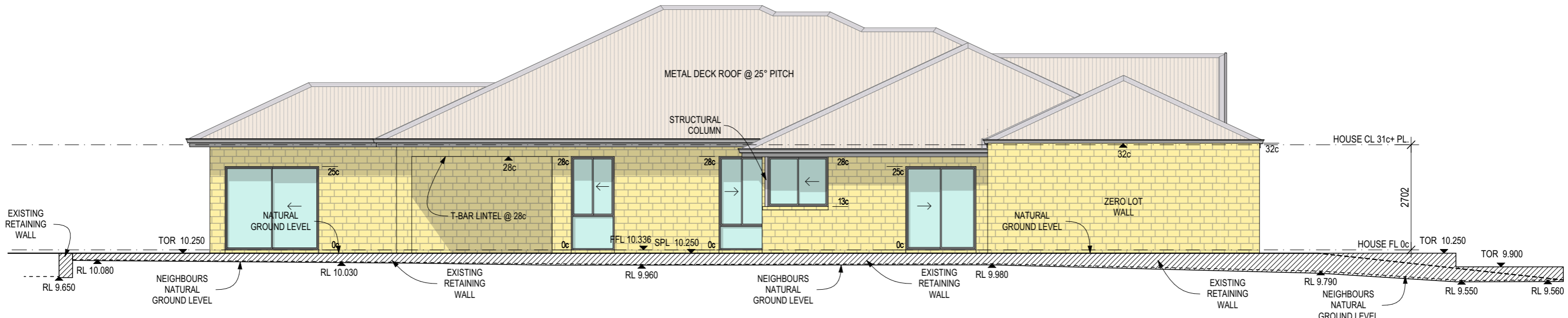
Date

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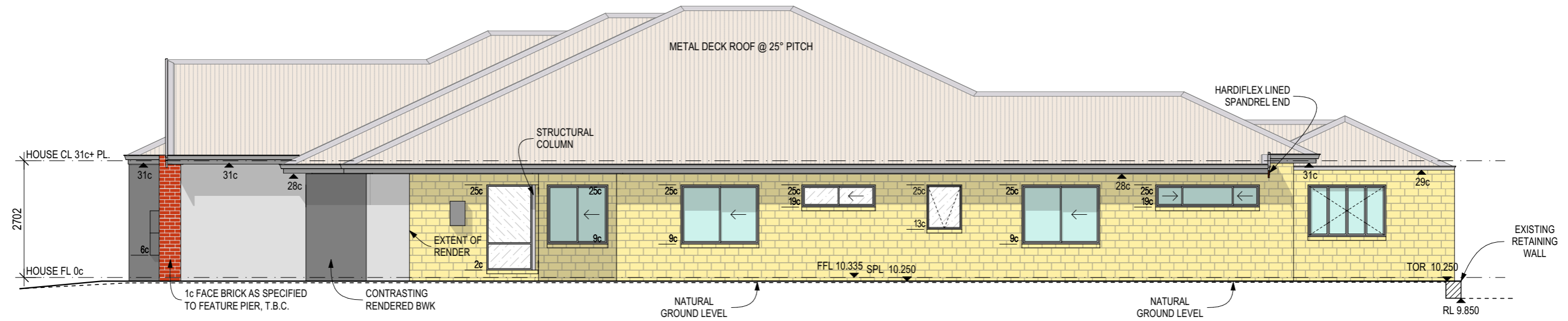
Date	By
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27/09/22	DC
11/10/22	ER
25/10/22	DC
10/11/22	ER

CONCEPT

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SIDE ELEVATION
1:100



SIDE ELEVATION
1:100

ARCHITECTURAL
CAIRO LUXURY 2c



SKETCH No. L12775	CARTER Lot 5067 Harden Park Trail CARRAMAR Estate : Wildwood Shire : CITY OF WANNEROO		Client Signature		CONCEPT														
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