

DESCR Proposed Place of Worship
STAGE SP4 : Proposed Sketch Plan
BUILDER
CLIENT **Drukpa Australia Incorporated**
ADDRESS 5 Mangano Place Wanneroo
JOB No 4535
DRAWN BR

CONTENTS

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VILLANOVA STREET

TBM: 34.79m
NAIL IN BIT.

TBM: 35.28m
NAIL IN PAVING

MANGANO PLACE

PLACE

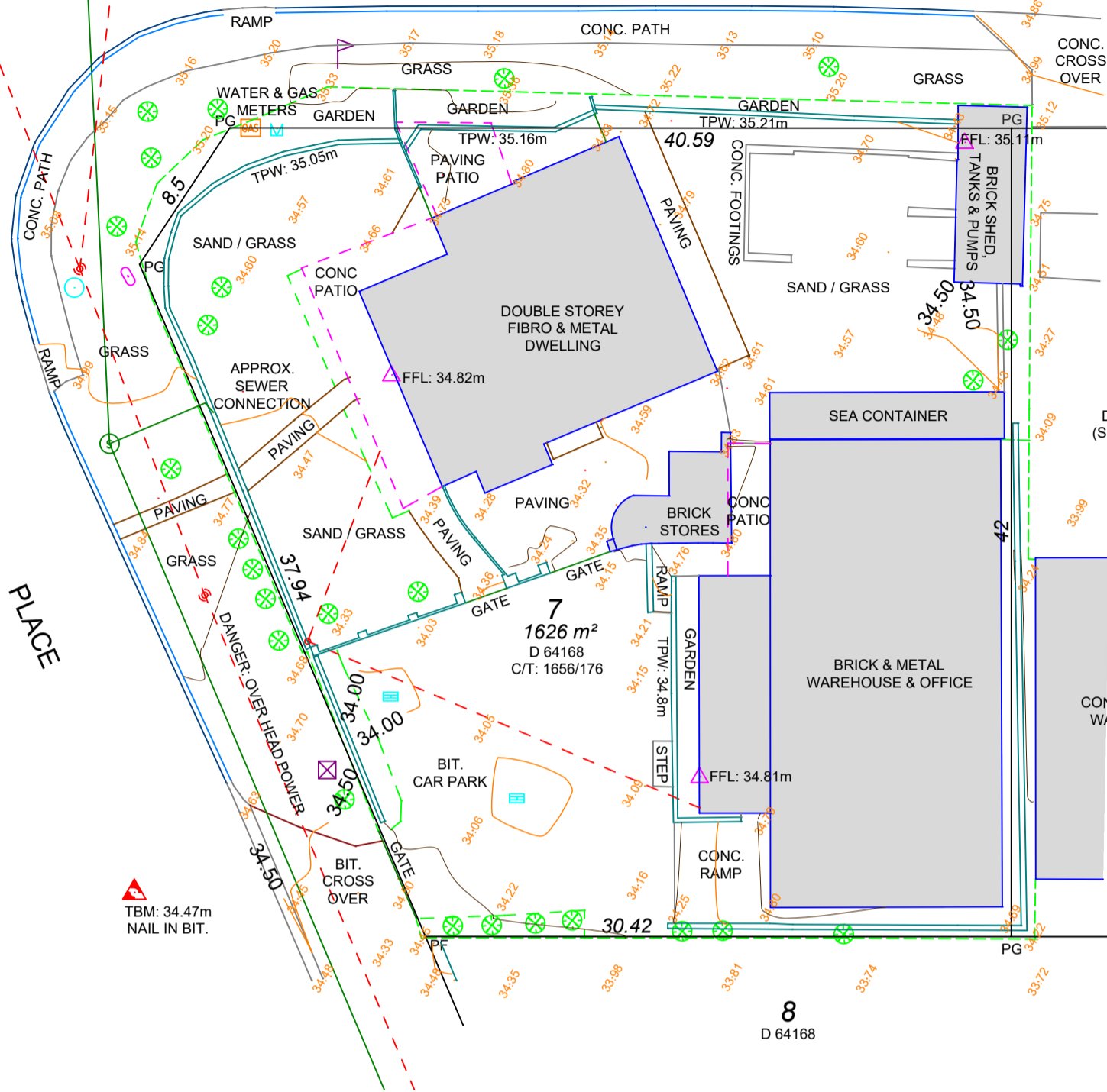
TBM: 34.47m
NAIL IN BIT.

5
D 61057
(SP 11925)

8
D 64168

Legend

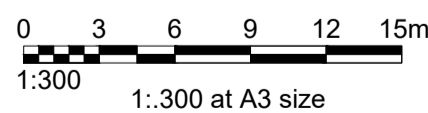
- Kerb Bottom
- Kerb Top
- Edge of Paving
- Edge of Concrete
- Approx. Boundary
- Approx. Sewer Line
- Vegetation Line
- Wall
- Building
- Openings
- Eave / Ridge Line
- Fence
- ▲ Survey Control
- ⊗ Water Meter / Marker
- Surface Height
- ⊗ Drainage Manhole
- ⊗ Telecom Pit
- ⊗ Electrical Consumer Pole
- ⊗ Sewer Manhole
- ⊗ Drainage Grate
- ⊗ Sign
- ⊗ Tree
- ⊗ Letter Box
- ⊗ Power Pole
- TPW Top of Wall Height
- PF Peg Found (To Be Confirmed)
- PG Peg Gone
- GC Good Condition
- PC Poor Condition
- O/S Offset
- MF Mark Found



DIAL BEFORE YOU DIG PLAN INSET

- Notes:**
1. This plan has been prepared for DRUKPA AUSTRALIA INCORPORATED and should not be used for any other purpose or by any third party unless authorised in writing by Total Project Consultants Pty Ltd;
 2. Cadastral Boundaries shown are approximate only and have been derived from Landgate SCDB data and must be verified prior to any construction. Prior to the commencement of any work, relevant authorities should be contacted for the location of all underground services;
 3. Prior to the commencement of any work, relevant authorities should be contacted for the location of all underground services;
 4. Levels are based on SEWER X6612 and prior to any construction must be verified with a second AHD datum;
 5. Total Project Consultants Pty Ltd accepts no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey;
 6. Due to overwriting some levels may be switched off for this plan only and;
 7. This note is an integral part of this plan and must not be removed.

NOTE: WINDOWS, DOORS AND OTHER OPENINGS NOT OBSERVED PART OF THIS SURVEY, TO BE CONFIRMED BY ON SITE MEASURE UP.
NOTE: EXISTING BOUNDARY DIMENSIONS AND LOT AREAS TAKEN FROM LANDGATE RECORD D 64168
NOTE: SEWER DATA DERIVED FROM WATER CORP. INFORMATION SHEETS AND IS COMPILED AS A BEST-FIT MODEL TPC CANNOT GUARANTEE THE ACCURACY OF THIS DATA



PROPERTY DETAILS - LOT 7						
Electricity	Water	Sewer	Gas	Comms.	Zoning	Misclose
Located Over Head	Located	Available to be Located	Located	Located 1 x Pit	Contact Local Government	SCDB

REV	DATE	DESCRIPTION	DRAWN	SURVEYOR	APPROVED
A	12/12/2022	Contour & Feature Survey	PS	PS	PS

CLIENT: DRUKPA AUSTRALIA INCORPORATED

PROJECTION: HORIZONTAL : Approx. PCG 94 VERTICAL : Approx. AHD

LIMITATIONS OF USE
The contents of this plan are current and correct as of the date stated within the revision panel. All consultants and persons intending to use this data should satisfy themselves of the plans currency by contacting Total Project Consultants.

p: 08 6141 3154
e: admin@totalprojectconsultants.com.au

- project managers
- licensed surveyors
- town planning

CONTOUR & FEATURE SURVEY OF LOT 7 ON D 64168 No 5 MANGANO PLACE, WANNEROO

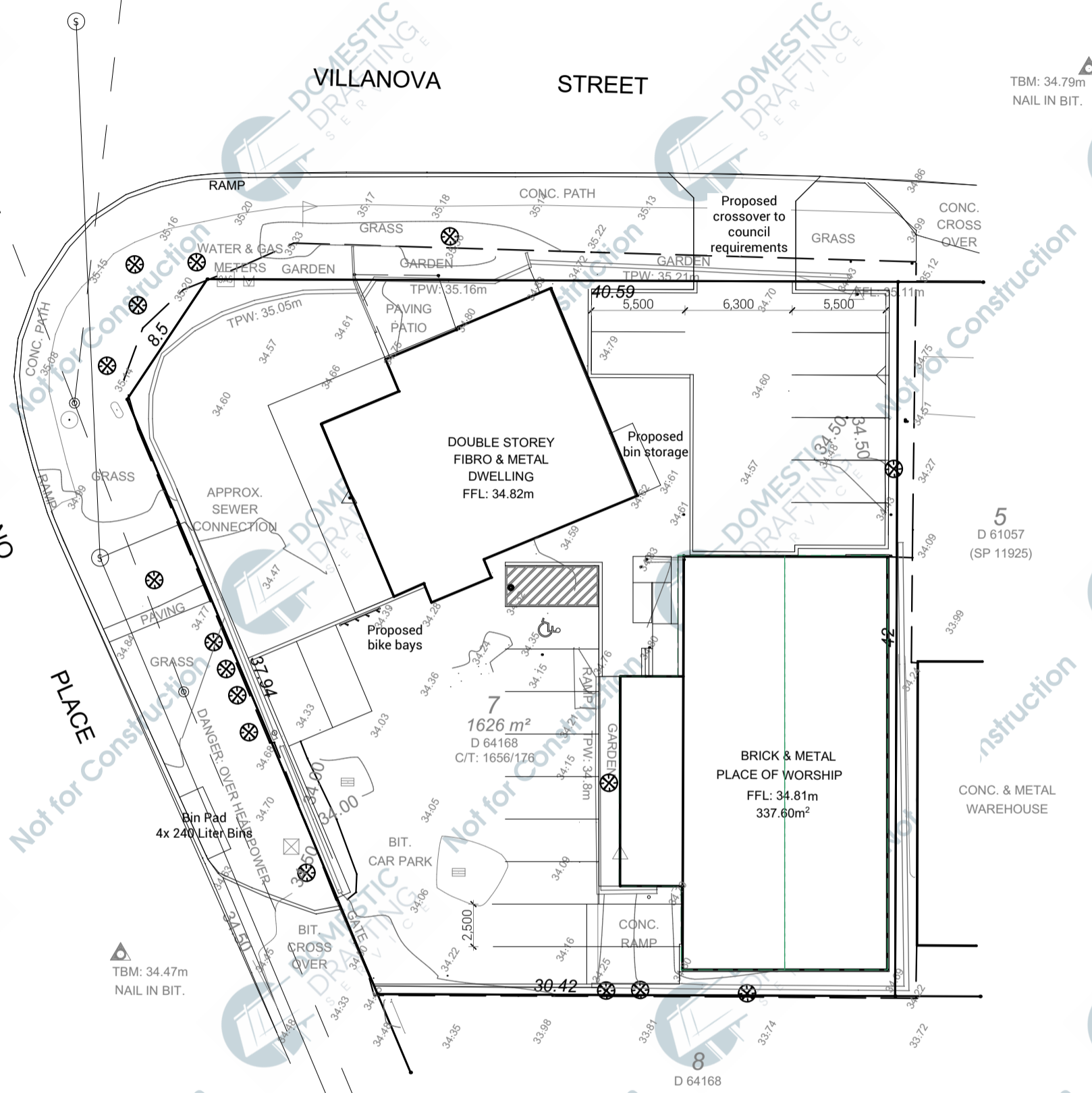
JOB No: J2022095
PLAN No: J2022095 01
SCALE: 1 : 300 @ A3
REVISION: A
SHEET: 1 OF 1

Not for Construction

TBM: 35.28m
NAIL IN PAVING

TBM: 34.79m
NAIL IN BIT.

TBM: 34.47m
NAIL IN BIT.



Parking	
Car bays:	21
Dis bay:	1
Bike bays:	4

Proposed Site Plan

Scale 1:300



DRAWN	DATE	CHECK	DESCR
BR	15.11.2022	FL	SP1
BR	06.12.2022	FL	SP2
BR	19.12.2022	FL	SP3
BR	17.01.2023	FL	SP4

CLIENT
Drukpa Australia Incorporated

PROJECT
Proposed Place of Worship

ADDRESS
5 Manganoo Place
Wanneroo

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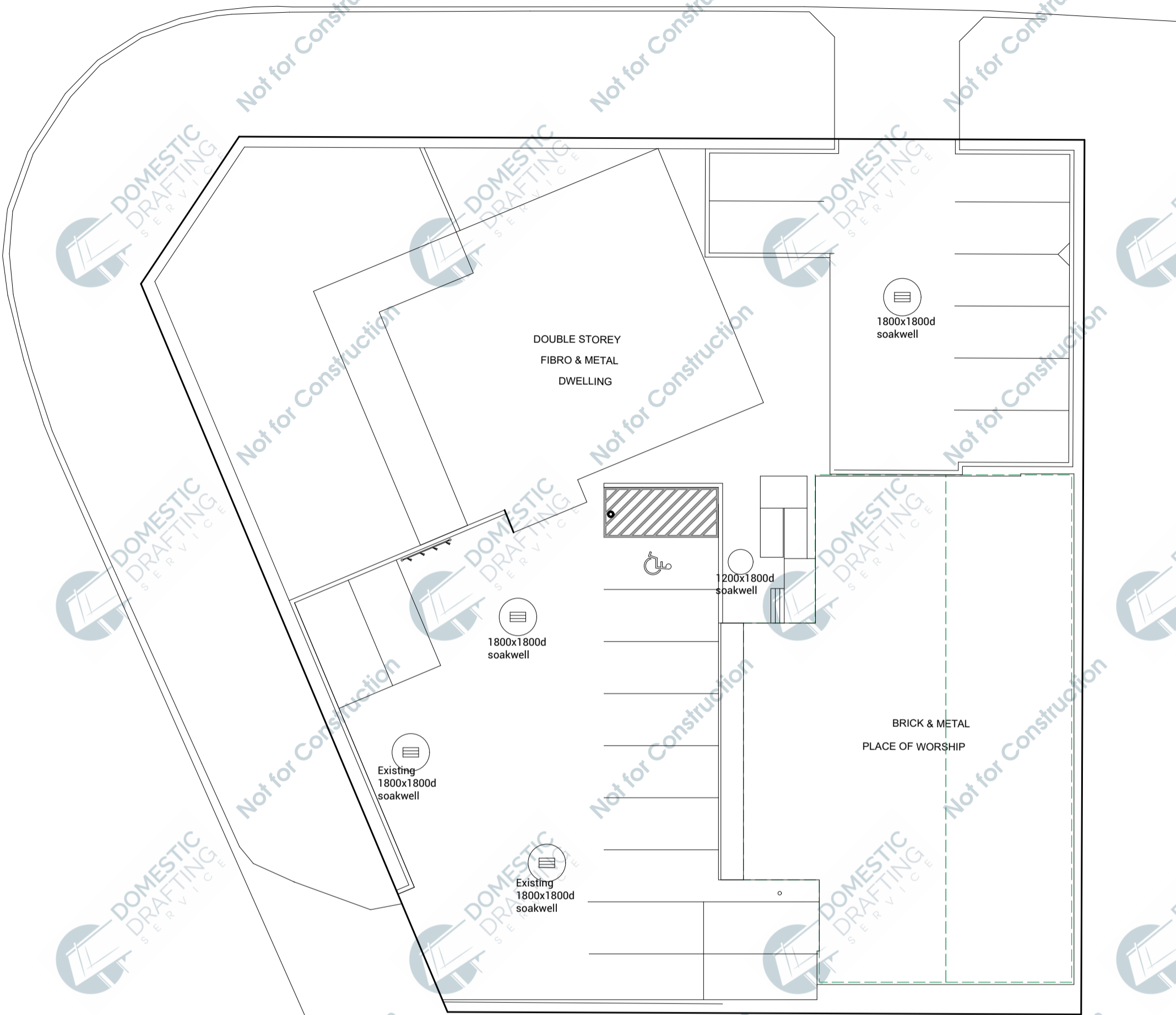
REV SP4

SCALE 1:300

DWG 4535

25a Dorothy Street, Gosnells, WA 6110
TEL 08 9398 2139 | ABN 47 660 588 278

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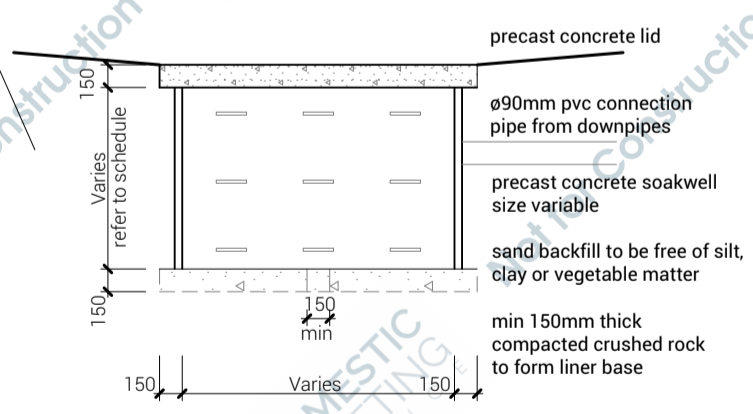
DRAINAGE CALCS

Catchment Area
 Roof area : 341.56m²
 Paving area: 623.59m²

Total Catchment Area: 965.15m²

Capacity
 615.57 X 0.0208 = 20.07m³

Diam.	Depth	m ³	Qty	Capacity
ø1800 X 1800D	4.58	18.32m ³	4	
ø1200 X 1800D	3.18	3.18m ³	1	
				21.50m³



Typical Soakwell Detail
 Scale 1:50

DRAINAGE & EARTHWORKS NOTES

1. Remove All Vegetable and Deleterious Matter From Area of Construction.
2. Use Only Clean Clay Free Sand as Fill.
3. Provide Compaction Test Certificate to Ensure Min 7 Blows / 300mm
4. All Site Works to Be in Compliance With as 3798 Earthworks for Residential and Commercial Developments
5. Backfill to Sumps to Be Clean Sand, Free From Silt, Clay and Vegetable Matter
6. Contractor to Be Responsible for the Location and Protection of All Utility Services Within the Road Reserve and on Site. Dial 1100 Minimum 48 Hours Prior to Construction for Service Locations.
7. Contractor to Verify All Levels on Site
8. Connect All Roof Water Into Stormwater Pits via 90mm Pvc Pipes and Fittings Laid at Minimum Grade 1:200. Minimum Cover 300mm
9. Site to Be Left Clean and Free of Rubbish and Debris Upon Completion

Drainage Plan

Scale 1:200



DOMESTIC DRAFTING SERVICE

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BR	06.12.2022	FL	SP2
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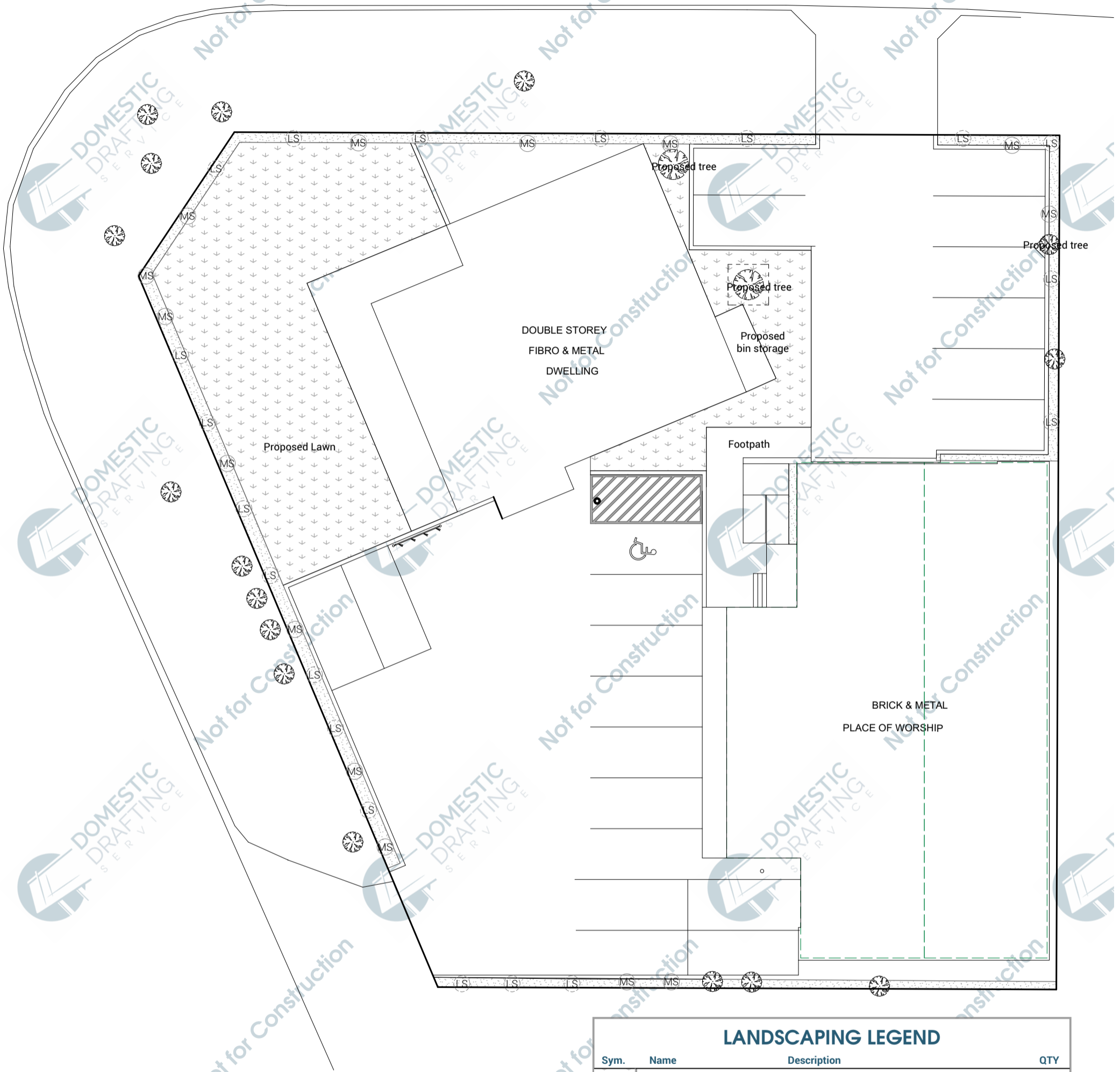
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PAGE 1c
REV SP4
SCALE 1:200, 1:50
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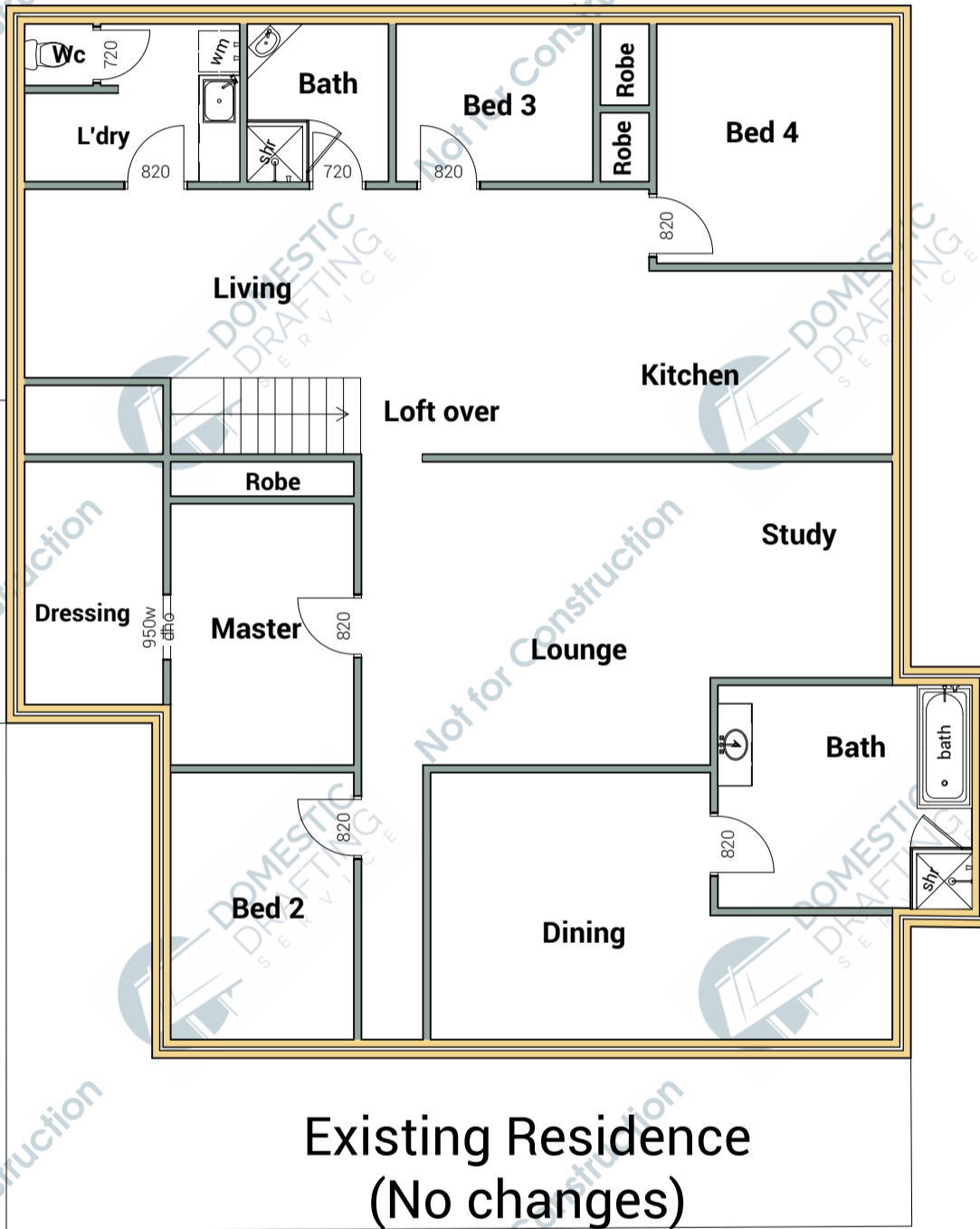


LANDSCAPING LEGEND			
Sym.	Name	Description	QTY
	Lawn	Stenotaphrum Secundatum Sir Walter Buffalo Grass	46m ²
	Mulch	A rich mixture of composting Mulch to a depth of 100mm (min.)	5m ²
	Cigar Plant	Cuphea Ignea Small Spreading Shrub with Red tubular flowers, tipped with Ash Grey	8 100mm pot
	Honey Pots	Banksia Spinulosa Dwarf form of Banksia spinulosa, 1m. Honey- scented golden flowers autumn to early spring	8 100mm pot

Proposed Landscaping Plan

Scale 1:200


<p>25a Dorothy Street, Gosnells, WA 6110 TEL 08 9398 2139 ABN 47 660 588 278</p>	<p>DRAWN BR 15.11.2022 BR 06.12.2022 BR 19.12.2022 BR 17.01.2023</p>	<p>DATE FL FL FL FL</p>	<p>CHECK SP1 SP2 SP3 SP4</p>	<p>DESCR SP1 SP2 SP3 SP4</p>	<p>CLIENT Drukpa Australia Incorporated</p>	<p>PROJECT Proposed Place of Worship</p>	<p>ADDRESS 5 Mangelo Place Wanneroo</p>	<p>PAGE 1d</p>	<p>REV SP4</p>	<p>SCALE 1:200</p>	<p>DWG 4535</p>
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	<p>Not for Construction</p>										



Existing Residence
(No changes)
1998.10m²

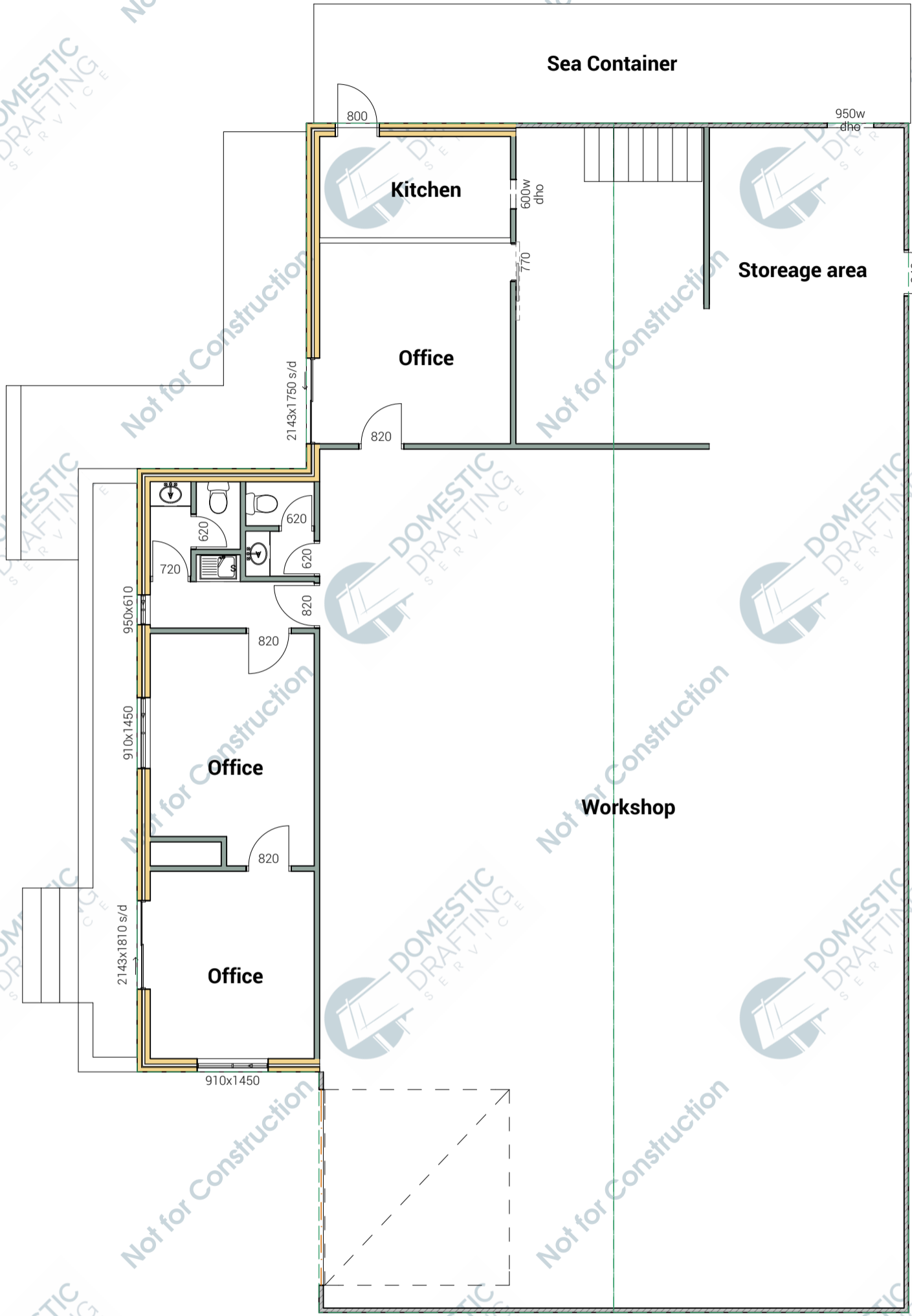
Existing Floor Plan

Scale 1:100

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	BR	06.12.2022	FL	SP2		SP4
	BR	19.12.2022	FL	SP3	PROJECT	
	BR	17.01.2023	FL	SP4	Proposed Place of Worship	SCALE
					ADDRESS	1:100
					5 Mangano Place	DWG
					Wanneroo	4535


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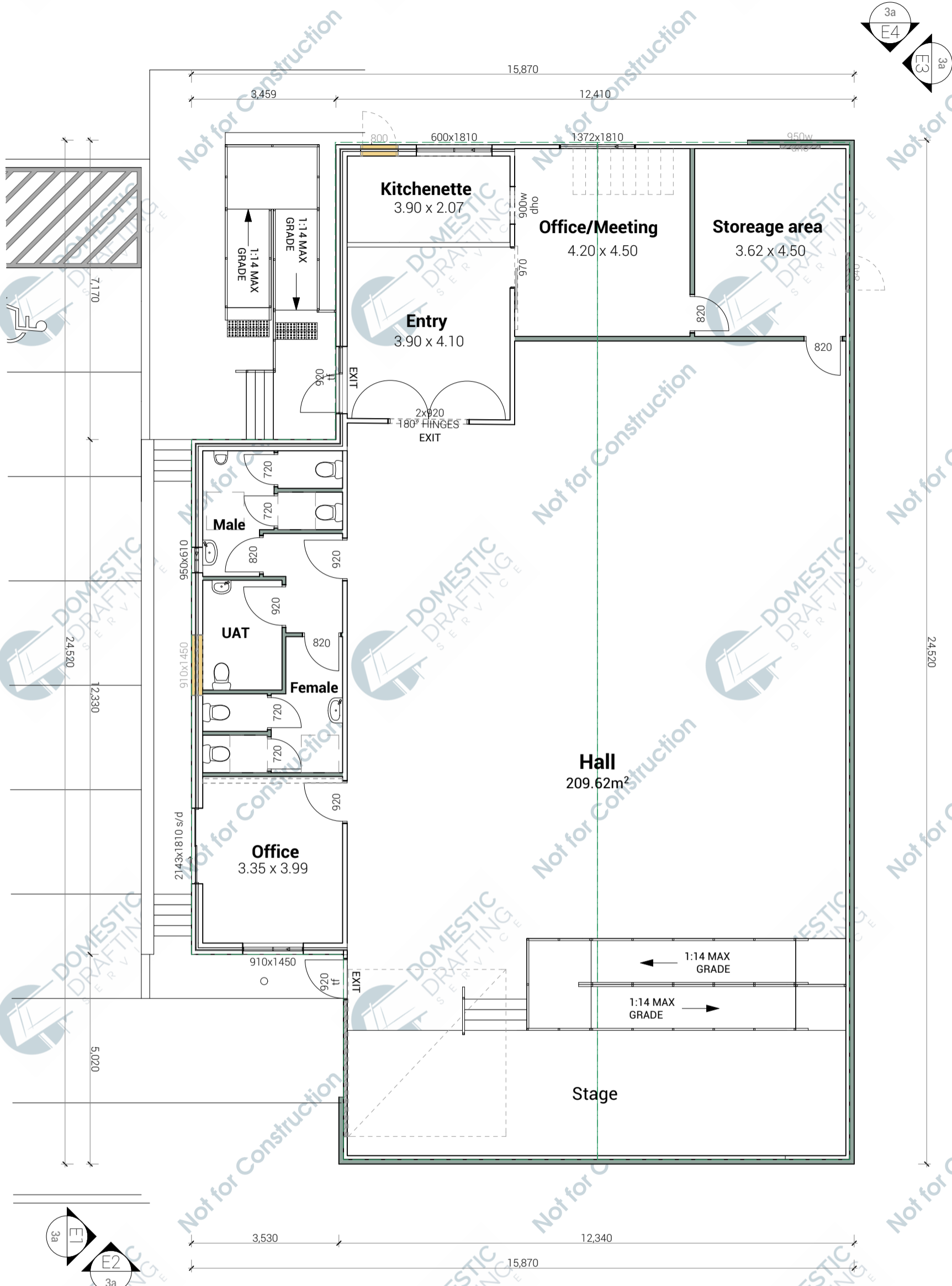
Existing Floor Plan

Scale 1:100

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	BR	19.12.2022	FL	SP3	PROJECT	
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					5 Mangano Place	DWG
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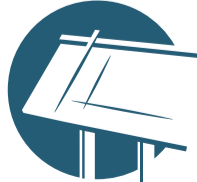
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Proposed Floor Plan- Place of Worship

Scale 1:100

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	BR	19.12.2022	FL	SP3	PROJECT	
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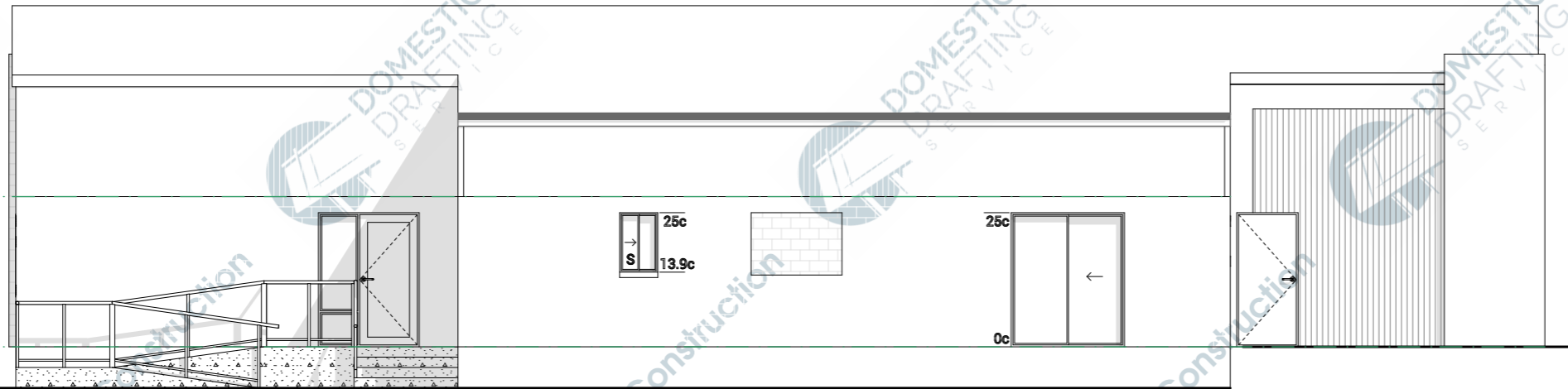
existing colorbond roof sheeting at approx
10° pitch over steel framed roof
to AS4100 steel framing codes

colorbond
gutter & fascia

colorbond cladding

C.L. at 2400

Painted facebrick work
aluminium frame
windows & s/ds
F.L. at 00



Elevation 1

Scale 1:100

existing colorbond roof sheeting at approx
10° pitch over steel framed roof
to AS4100 steel framing codes

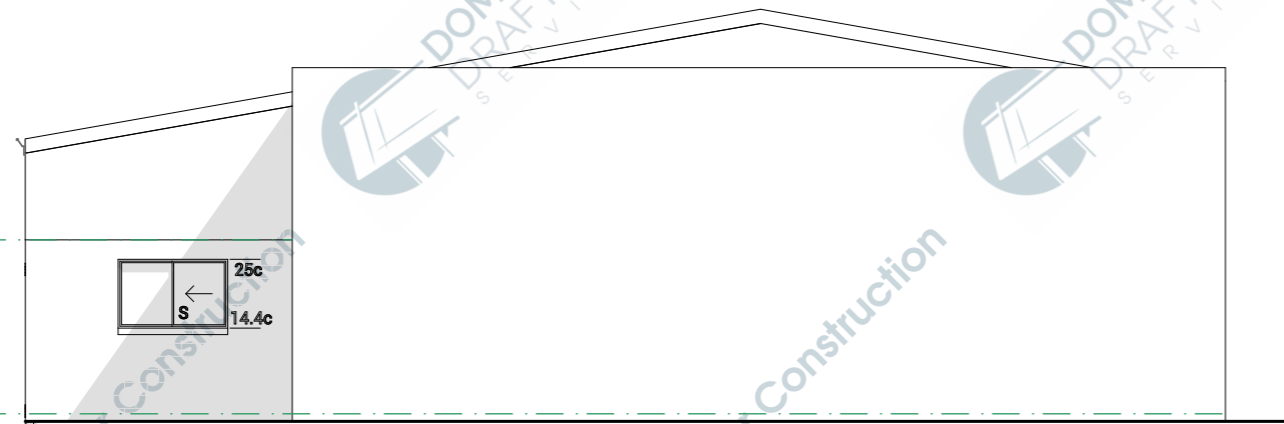
colorbond
gutter & fascia

colorbond cladding

C.L. at 2400

Painted facebrick work

aluminium frame
windows & s/ds
F.L. at 00



Elevation 2

Scale 1:100



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PAGE

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REV

SP4

SCALE

1:100

DWG

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existing colorbond roof sheeting at approx
10° pitch over steel framed roof
to AS4100 steel framing codes



Elevation 3

Scale 1:100

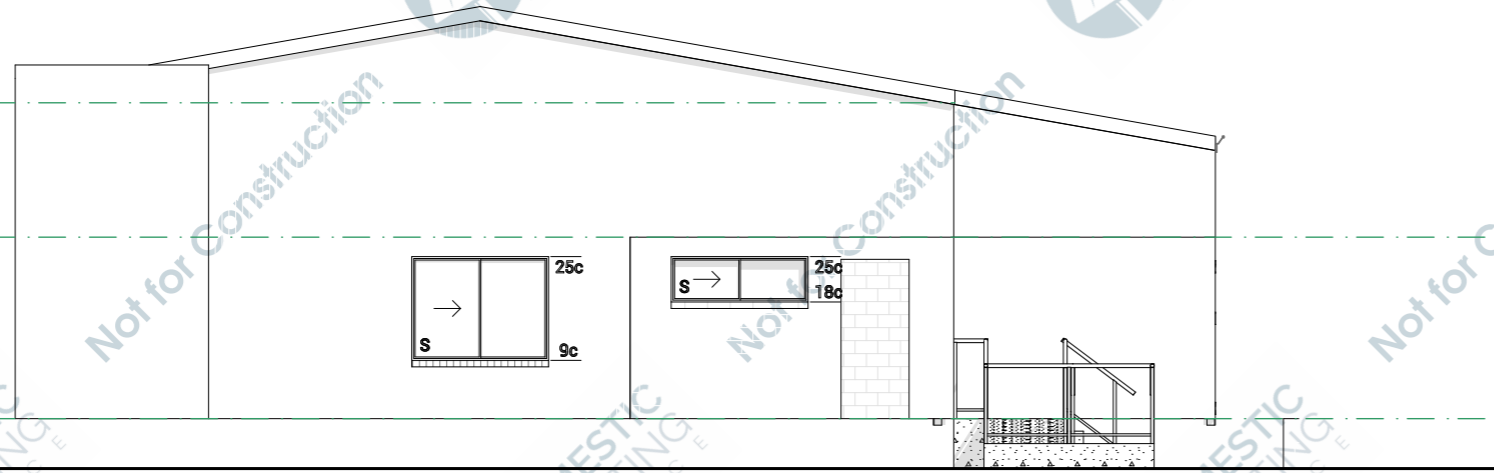
existing colorbond roof sheeting at approx
10° pitch over steel framed roof
to AS4100 steel framing codes

colorbond
gutter & fascia

C.L. at 3200
colorbond cladding

C.L. at 2400
painted facebrick work
aluminium frame
windows & s/ds

F.L. at 00



Elevation 4

Scale 1:100



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