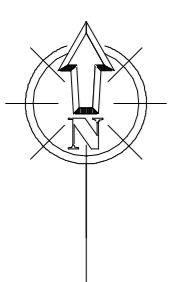


REVISED 30/1/23



**SITE ANALYSIS AND CONTEXT**

JOB No 21-2109  
SCALE 1:1.5 ON A1 SHEET

**PROPOSED DEVELOPMENT  
LOT 183 (No. 2) TRETOWAN PROMENADE  
ALKIMOS**

**LOU DI VIRGILIO DESIGNS**

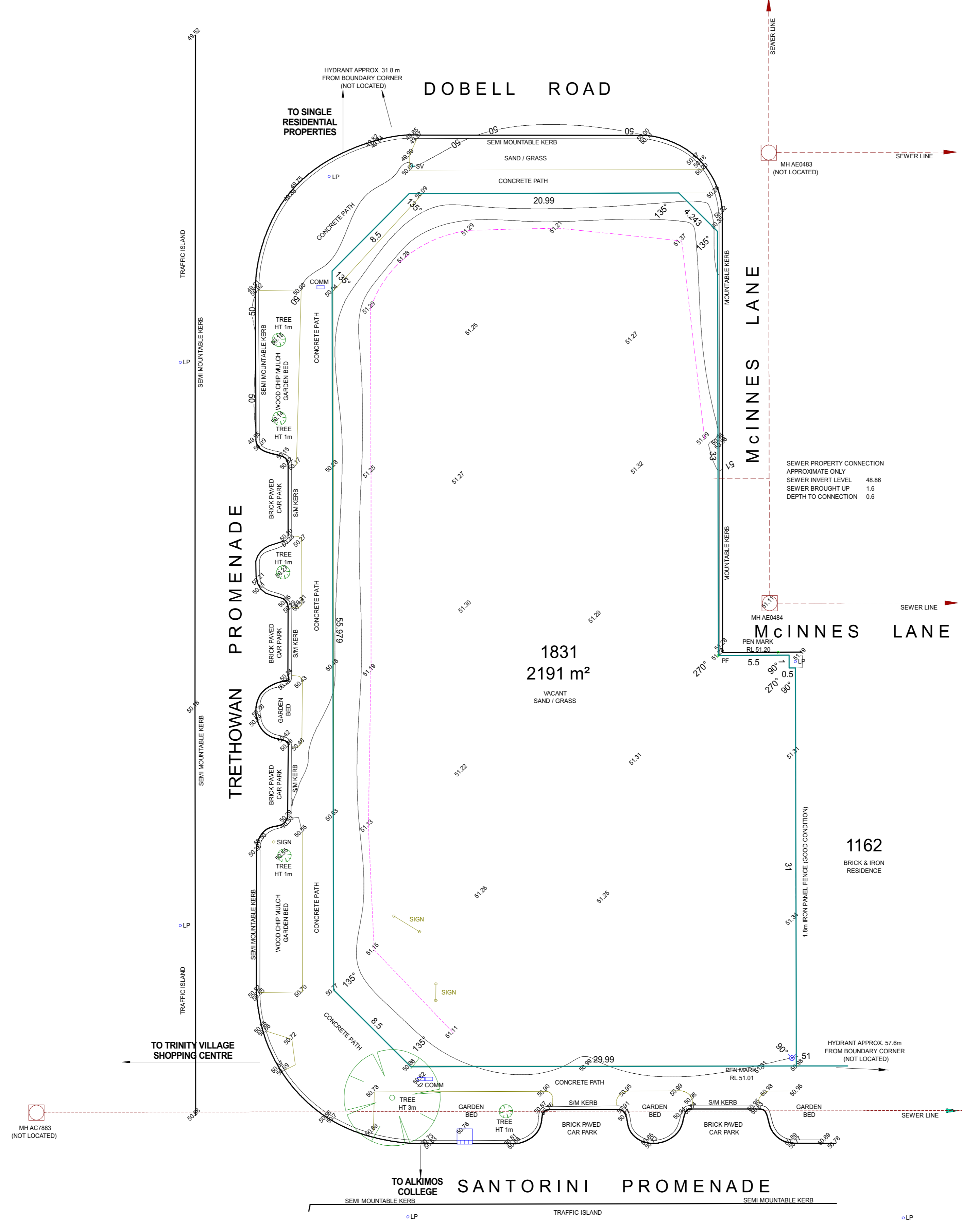
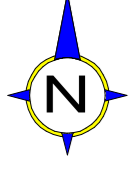
Mobile +61 414 621 280  
E-MAIL lou.ldvdesign@gmail.com

DRAWING No : <b>DA 01</b> REV 6 (SHEET 1 OF 5)	DATE <b>27.01.23</b>
---	-------------------------



REVISED 30/1/23

SERVICE LEGEND			
<b>DRAINAGE</b>			
COMBO PIT			
GRATE			
SIDE ENTRY PIT			
STORM WATER MANHOLE			
<b>ELECTRICITY</b>			
CABLE DOME			
CABLE MANHOLE			
CABLE PIT			
CONSUMER POLE			
LIGHT POLE			
POWER POLE			
STAY POLE			
STAY WIRE ANCHOR			
O/H POWER LINE			
<b>GAS</b>			
GAS MANHOLE			
GAS MARKER			
GAS METER			
GAS VALVE			
<b>SEWERAGE</b>			
SEWER MANHOLE			
INSPECTION OPENING			
SEWER LINE			
<b>TELECOMMUNICATIONS</b>			
TEL / COMMS MANHOLE			
TEL / COMMS MARKER			
TEL / COMMS PIT			
<b>WATER</b>			
FLUSH POINT			
HYDRANT			
STOP VALVE			
TAP			
WATER MARKER			
WATER METER			
<b>SURVEY</b>			
DATUM			
PEG FOUND			
<b>OTHER</b>			
AWNING / EAVES			
BANK - BOTTOM			
BANK - TOP			
ROOF RIDGE			
WINDOW / DOOR			
<b>SERVICE RECORD</b>			
STATUS			
LOCATED	NO SERVICE	CONFIRM	
WATER	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
SEWERAGE	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
GAS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
TEL / COMM	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
POWER	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
O/H	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM AVAILABILITY AND/OR POSITION ON SITE.			



**FEATURE SURVEY**

JOB No 21-2109  
SCALE 1:200 ON A1 SHEET

NOTE : APPROXIMATE AHD LEVEL DERIVED FROM SEWERAGE MANHOLE AE0484

WARNING! BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

**PROPOSED DEVELOPMENT  
LOT 183 (No. 2) TRETOWAN PROMENADE  
ALKIMOS**

LOT : 183 (#2) TRETOWAN PROMENADE	CLIENT : LOU DIVIRGILIO DESIGNS
SUBURB : ALKIMOS	DEPOSITED PLAN 412821
AUTHORITY : WANNEROO	C/T : 2945 / 302
SURVEYED ON : 13/07/2021	
SURVEYOR : JB	
DRAFTER : TM	
BUILDERS / CLIENTS	
SITE SURVEY only. The information shown on this plan is current as at the date of survey. Boundary information, easements etc. to be verified from the Certificate of Title, Plan / Diagram or a Boundary Report. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation, clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For underground services - ring 'DIAL BEFORE YOU DIG' for confirmation of those services.	
SCALE : 1:200	JOB No : 2104423
5m 0 2.5 5 10 15m	PLAN : FS
DRG : 001	REV : A
SHEET : 1	OF 1

**LOU DI VIRGILIO DESIGNS**

Mobile +61 414 521 280  
E-MAIL lou.divdesign@gmail.com

DRAWING No : DA 01  
REV 6  
(SHEET 2 OF 5)

DATE  
**27.01.23**



**REVISED**  
**30/1/23**

DOBELL ROAD

TO SINGLE RESIDENTIAL PROPERTIES

HYDRANT APPROX. 31.8 m FROM BOUNDARY CORNER (NOT LOCATED)

MH AED483 (NOT LOCATED)

**SITE CALCULATIONS**

LAND AREA LOT 183 (Hse # 2)	=	2191 m <sup>2</sup>
CHILDCARE BUILDING AREA	=	582 m <sup>2</sup>
UNIT 1 BUILDING AREA	=	204 m <sup>2</sup>
TOTAL BUILDING AREA	=	786 m <sup>2</sup>
PARKING PROVIDED OFF STREET PARKING ON STREET PARKING	=	25
TOTAL PARKING PROVIDED	=	30
TOTAL LANDSCAPING AREA	=	63 m <sup>2</sup>

**PROPOSED CHILDCARE CENTRE (94 PLACES)**

LOT AREA	:	2191 m <sup>2</sup>
BUILDING AREA	:	582 m <sup>2</sup>
INDOOR ACTIVITY AREA (3.25m <sup>2</sup> / CHILD, TOTAL 305.5 m <sup>2</sup> required)	:	311 m <sup>2</sup>
OUTDOOR ACTIVITY AREA (7.0m <sup>2</sup> / CHILD, TOTAL 658 m <sup>2</sup> required)	:	655 m <sup>2</sup>
CARBAYS REQUIRED (BAYS RESERVED FOR STAFF PARKING)	:	24 BAYS
	:	10 STAFF BAYS
	:	14 VISITORS

**PROPOSED CAFE / RESTAURANT (50 SEATS)**

CARBAYS REQUIRED	:	13 BAYS
PARKING RECIPROCAL WITH CHILDCARE VISITOR BAYS	:	14 BAYS

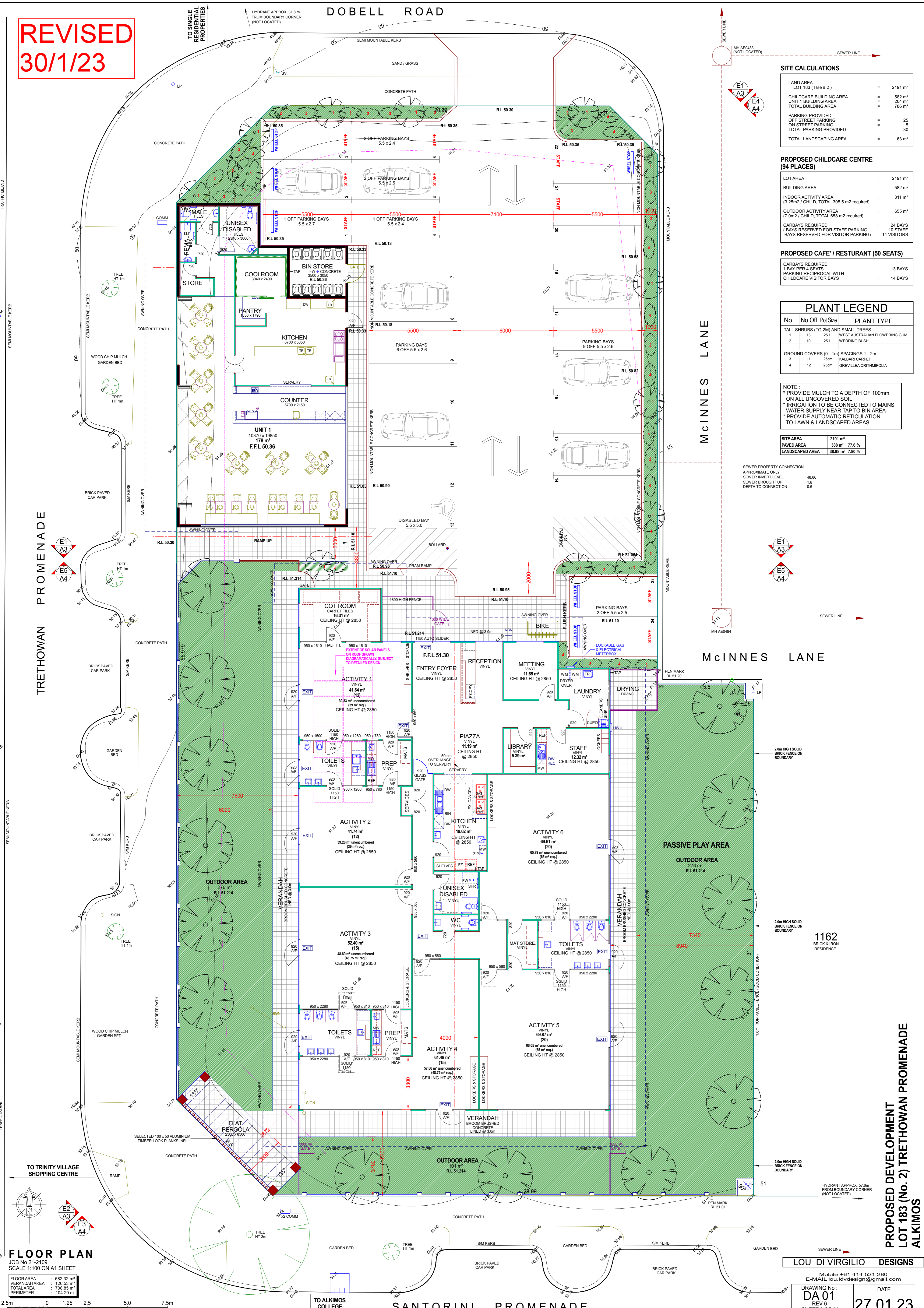
**PLANT LEGEND**

No	No Off	Pot Size	PLANT TYPE
TALL SHRUBS (TO 2M) AND SMALL TREES			
1	13	25 L	WEST AUSTRALIAN FLOWERING GUM
2	10	25 L	WEDDING BUSH
GROUND COVERS (0 - 1m) SPACINGS 1 - 2m			
3	11	25cm	KALBARI CARPET
4	12	25cm	GREVILLEA CRITHMIFOLIA

**NOTE:**  
 \* PROVIDE MULCH TO A DEPTH OF 100mm ON ALL UNCOVERED SOIL.  
 \* IRRIGATION TO BE CONNECTED TO MAINS WATER SUPPLY NEAR TAP TO BIN AREA.  
 \* PROVIDE AUTOMATIC RETICULATION TO LAWN & LANDSCAPED AREAS.

SITE AREA	2191 m <sup>2</sup>
PAVED AREA	388 m <sup>2</sup> 77.6 %
LANDSCAPED AREA	38.86 m <sup>2</sup> 7.80 %

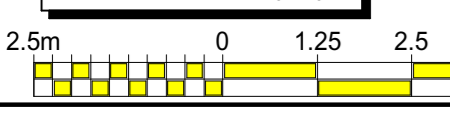
SEWER PROPERTY CONNECTION APPROXIMATE ONLY  
 SEWER INVERT LEVEL 48.86  
 SEWER BROUGHT UP 1.6  
 DEPTH TO CONNECTION 0.6



**FLOOR PLAN**

JOB No 21-2109  
 SCALE 1:100 ON A1 SHEET

FLOOR AREA	582.32 m <sup>2</sup>
VERANDAH AREA	128.53 m <sup>2</sup>
TOTAL AREA	708.85 m <sup>2</sup>
PERIMETER	104.20 m



LOU DI VIRGILIO DESIGNS

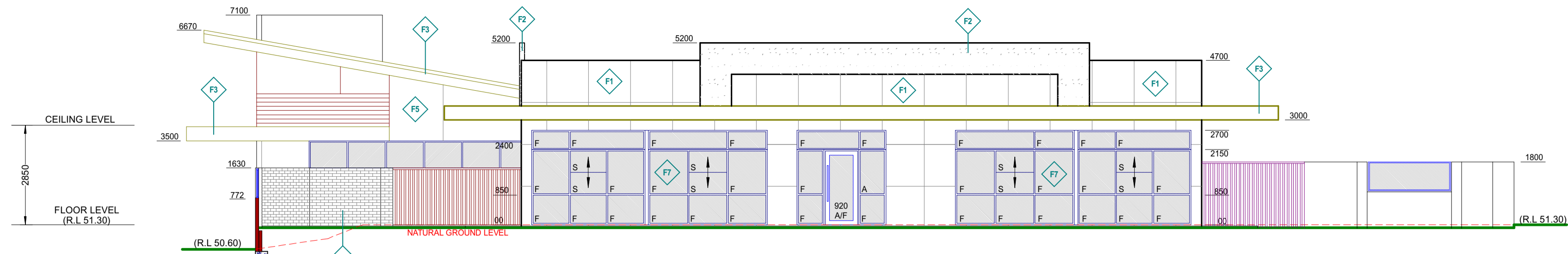
Mobile +61 414 521 280  
 E-MAIL lou.di.virgilio@gmail.com

DRAWING No:	DATE
DA01	27.01.23
REV 6	
(SHEET 3 OF 5)	

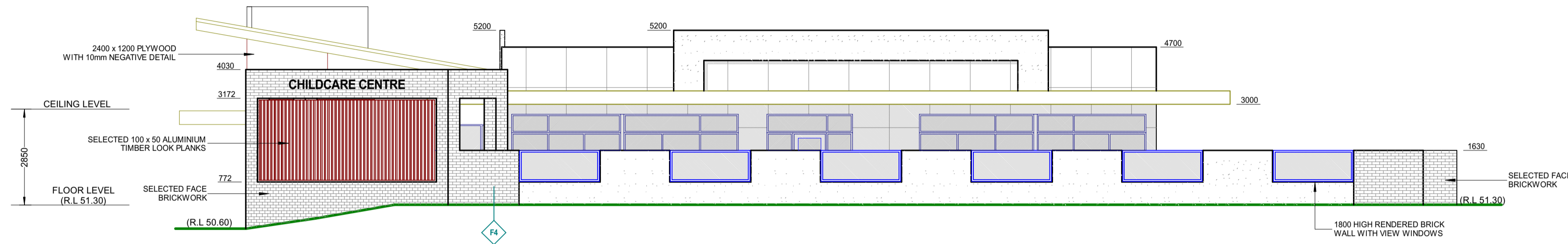
**PROPOSED DEVELOPMENT**  
**LOT 183 (No. 2) TRETOWAN PROMENADE**  
**ALKIMOS**



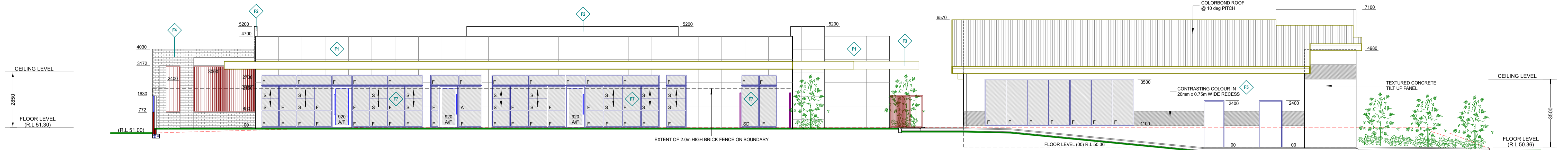
**REVISED**  
30/1/23



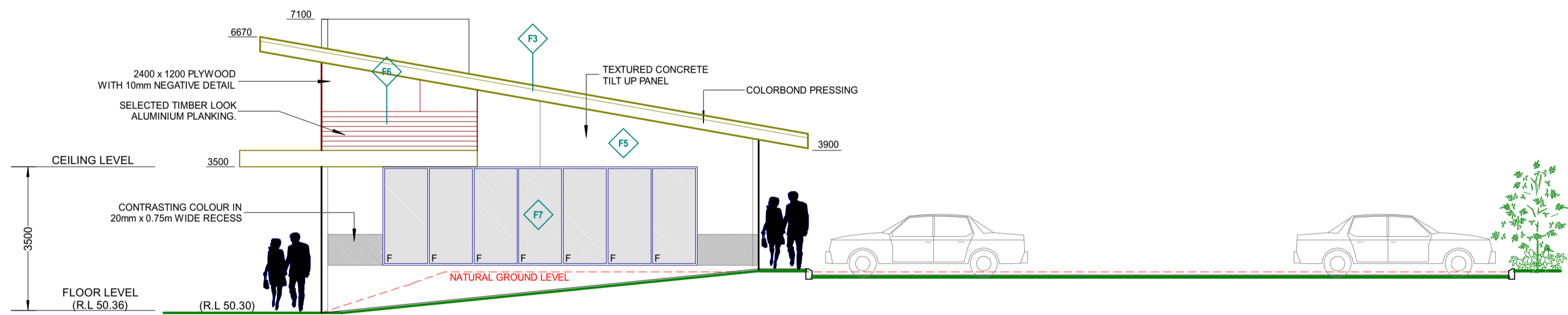
**ELEVATION E3**



**ELEVATION E3 (SANTORINI PROMENADE ELEVATION)**



**ELEVATION E4**



**ELEVATION E5**

**ELEVATIONS 02**

JOB No 21-2109  
SCALE 1:100 ON A1 SHEET  
0 1.25 2.5 5.0 7.5m

**PROPOSED DEVELOPMENT  
LOT 183 (No. 2) TRETOWAN PROMENADE  
ALKIMOS**

**LOU DI VIRGILIO DESIGNS**

Mobile +61 414 521 280  
E-MAIL lou.dvdesign@gmail.com

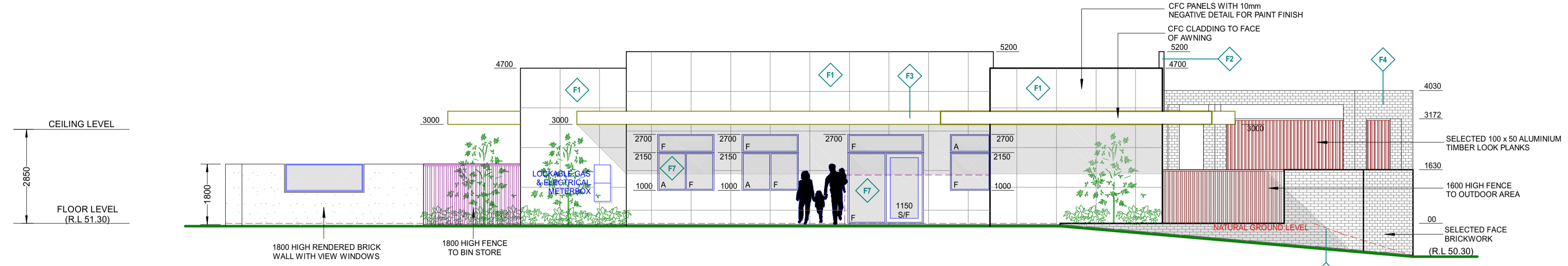
DRAWING No: **DA 01**  
REV 6  
(SHEET 5 OF 5)

DATE  
**27.01.23**

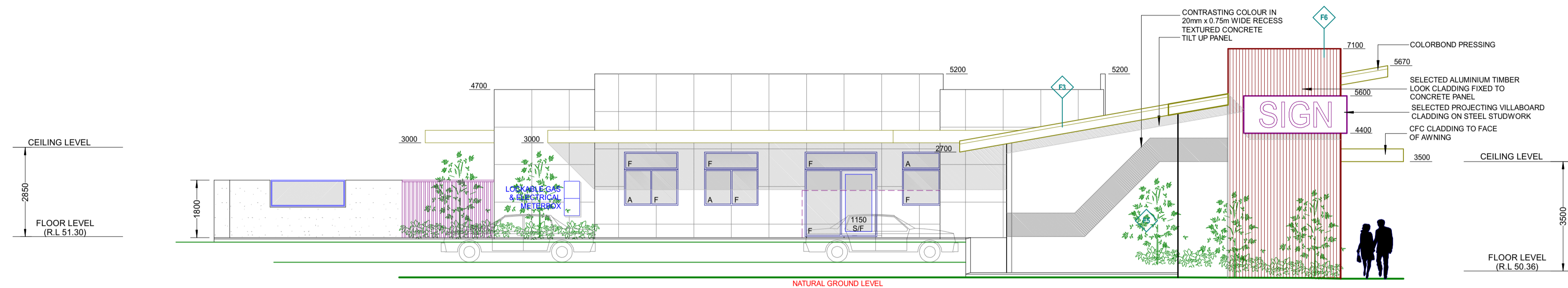


**REVISED**  
**30/1/23**

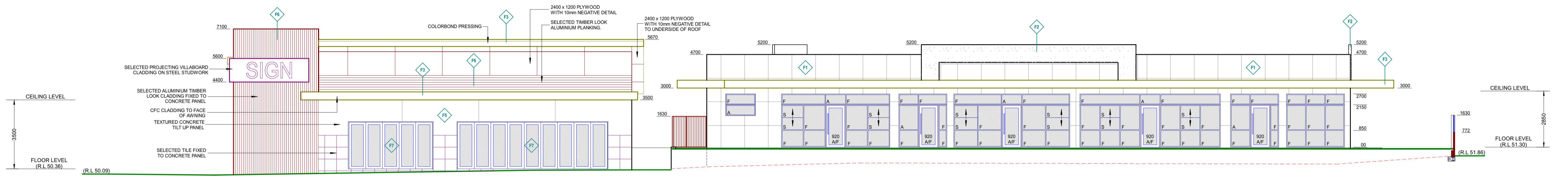
REF	CLOUR	POSITION	NOTES
F1	WHITE OF WHITE	CHILDCARE EXTERNAL WALLS	EXTERIOR GRADE
F2	DOMINO-CHARCOAL	EXTERNAL PROJECTING WALLS (CHILDCARE)	EXTERIOR GRADE
F3	COPPER COLOUR	AWANINGS	COLORBOND CLADDING
F4	MIDLAND BRICK NOUVEAU GREY	FEATURE BOUNDARY WALLS	FACE BRICKWORK
F5	DOMINO-CHARCOAL	CAFE EXTERNAL WALLS	EXTERIOR GRADE
F6	TEAKWOOD	CAFE EXTERNAL WALLS	COLORBOND SECTIONS
F7	CHARCOAL PEARL MATT	WINDOW FRAMES	ALUMINIUM



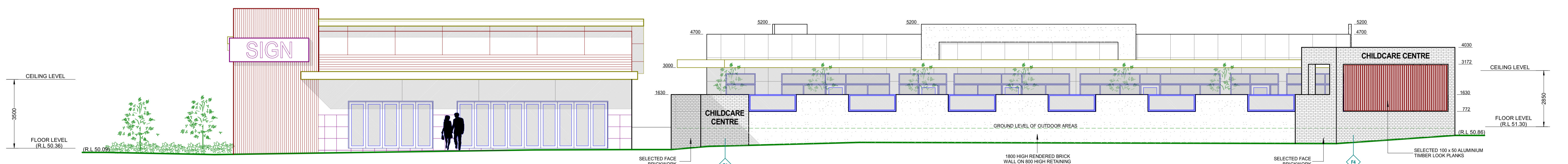
**ELEVATION E1**



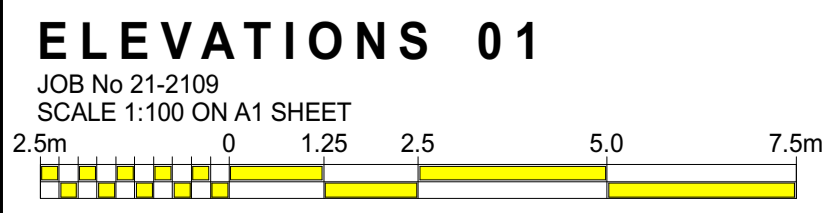
**ELEVATION E1 (DOBELL ROAD ELEVATION)**



**ELEVATION E2**



**ELEVATION E2 (TRETHORN PROMENADE ELEVATION)**



**PROPOSED DEVELOPMENT**  
**LOT 183 (No. 2) TRETHOWAN PROMENADE**  
**ALKIMOS**

**LOU DI VIRGILIO DESIGNS**  
Mobile +61 414 521 280  
E-MAIL: lou.dvdesign@gmail.com

DRAWING No: **DA 01**  
REV 6  
(SHEET 4 OF 5)

DATE: **27.01.23**