

LOT 744

NO	DATE	DWN	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:
6463 (1)	6/12/13	PJ	
6463 (2)	20/03/13	TP	
6462 (1-54)	17/05/13	TP	

DATE: _____
OWNER: _____
OWNER: _____
BUILDER: _____

REF: 6 OF 6 J/N: G1701 REV: C OKD

NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

SOIL DESCRIPTION

Sand
Light Grass Cover

NOTE: LOT MISCLOSE (0.000 m)

STORMWATER CALCULATIONS
ROOF AREA = 264.775m²
STORAGE REQ'D = 3.23m³
(2x) 1200Ø x 1500d S/WELL = 1.7m³
TOTAL CAPACITY = 3.4m³

NOTE: ALL WALLS WITHIN 1m OF THE BOUNDARY ARE TO BE CONSTRUCTED WITHIN OUR LOT. NO TRADES ARE TO ACCESS NEIGHBOUR'S LAND.

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS

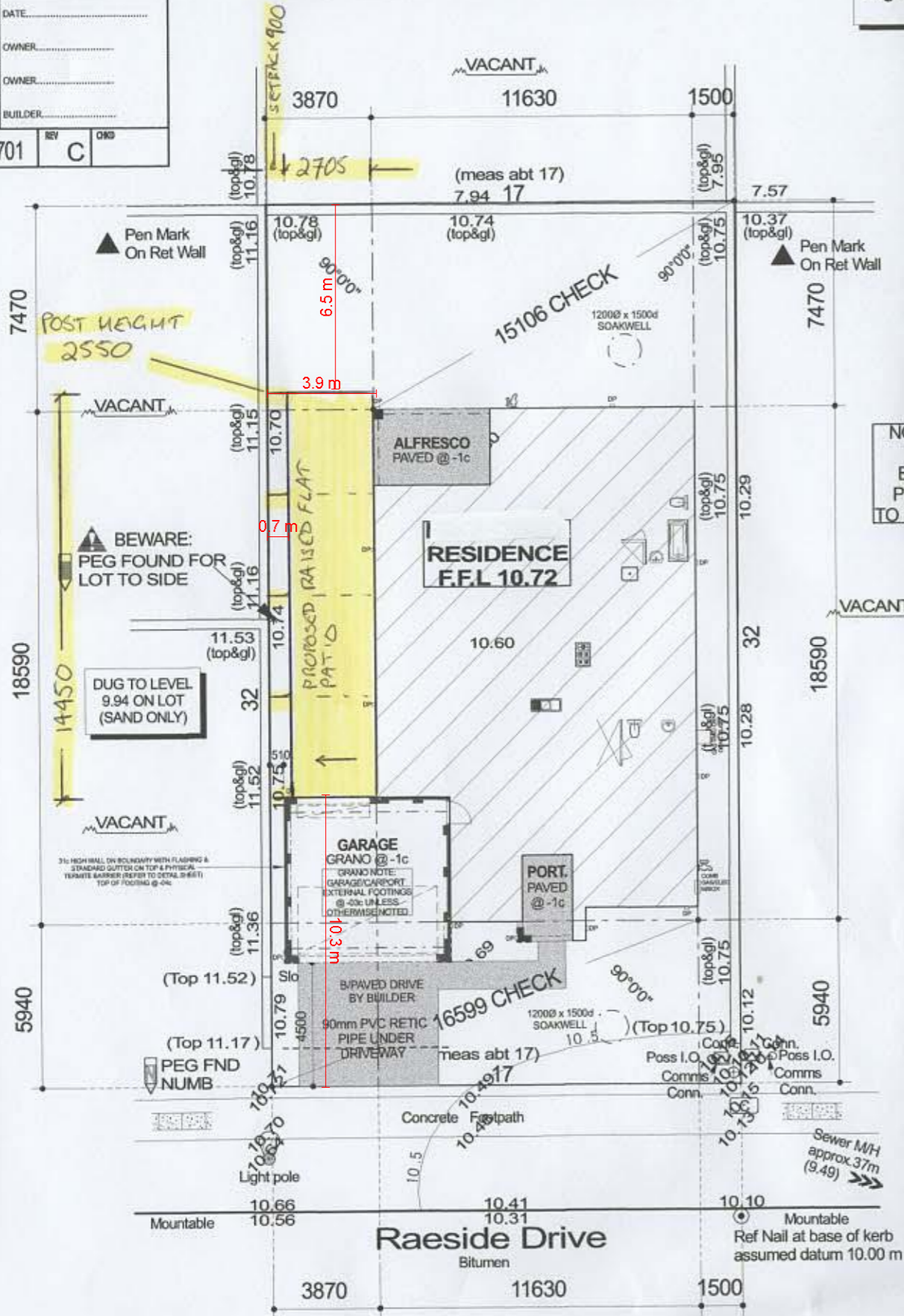
NOTE: ANY EXISTING BDRY FENCE TO BE REMOVED BY OWNER DUE TO BOUNDARY WALL/RETAINING WALLS PRIOR TO CONSTRUCTION. OWNERS TO LIAISE WITH ADJOINING NEIGHBOURS.

goodlife HOMES
PART OF THE GERRILL HOMES GROUP

WARNING: PLAN/DIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

CLIENT:	Brennan & Clements		CONTRACT / JOB NO.	G1701
			MAP REF:	253 / 26 - 02
SITE SURVEY	LOT 744		COASTAL NO	(Scaled from StreetSmart Directory Only)
	Raeside Drive		SSA AREA	
Suburb	Landsdale			
Loc. Auth.	CITY OF WANNEROO			
D. Plan	76.043	Volume	Folio	
Location	Check Title			

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.
NOTE: ANGLES AND DIMENSIONS TO BE VERIFIED WITH TITLES OFFICE PLAN WHEN ISSUED.



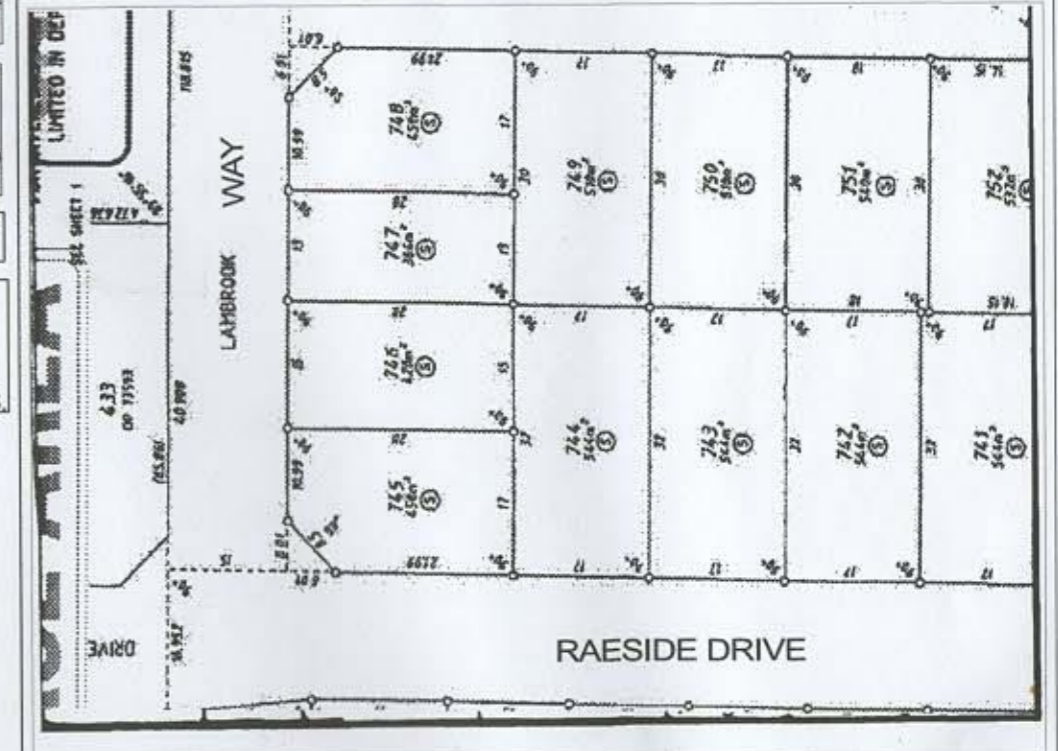
SITE AREA = 544sqm
ALLOWABLE SITE COVER = 353.6 sqm (65%)
ACTUAL SITE COVER = 221.995 sqm (40%)

NOTE: TELSTRA PIT STILL TO BE ESTABLISHED AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA

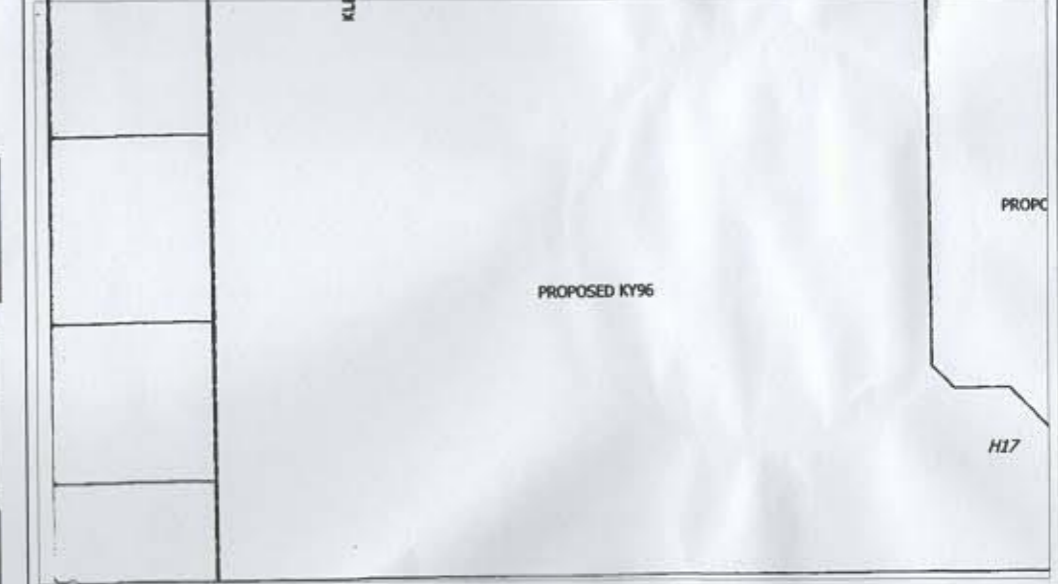
NOTE: NOTIFICATION. REFER TO SEC 165 P&D. ACT SEE DOCUMENT (Market Gardens)

NOTE: RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT

NOTE: BEWARE: ADVISE TRADES OF Head power lines



Elec.	U/Ground	Water	Yes	Sewer	Yes (to be adv.)
Gas	Alinta Gas Map Indicates Gas in Area Check Your Lot call 131358	Phone	Yes (To be Est)	Footpath	Concrete
Road	Bitumen	Kerb	Mountable	Drainage	Good



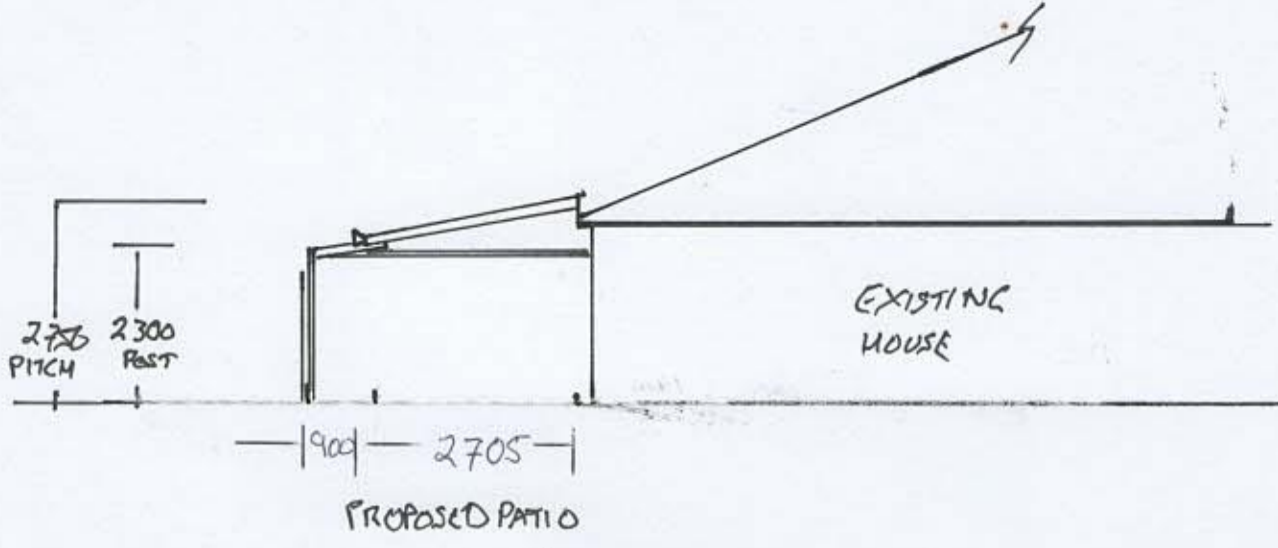
COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

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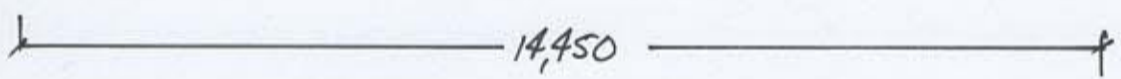
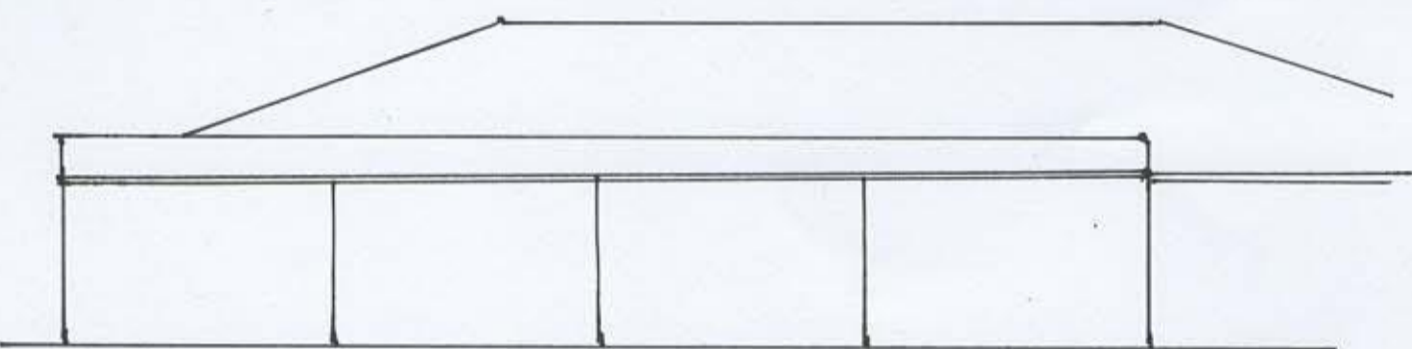
J/N: 301809 Drawn: M Bateman

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING. CHECK TITLE FOR EASEMENTS / COVENANTS ETC. NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.

56 RAESIDE DRIVE
LANDSDALE



REAR ELEVATION



SIDE ELEVATION

SCALE 1:1