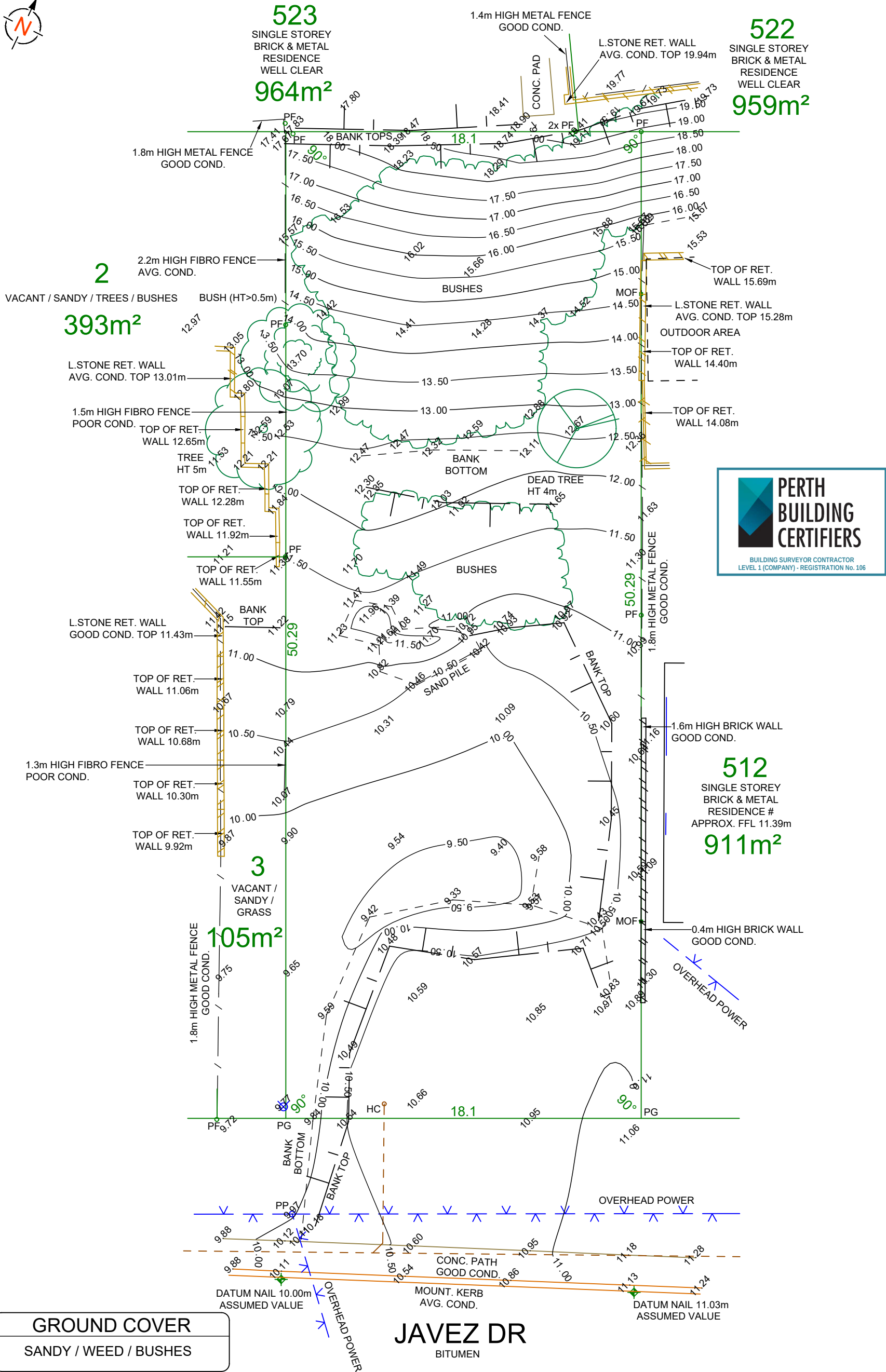




SERVICE LEGEND

POWER	
CONSUMER POLE	CP
POWER POLE	PP
LIGHT POLE	LP
STAY POLE	SP
S. WIRE ANCHOR	SWA
UNI PILLAR	UP
EXPOSED CABLES	EC
GAS	
PRE-LAID CONN.	GPL
METER	GM
SEWERAGE	
MANHOLE	SMH
INSPECT. SHAFT	IS
INSPECT. OPENING	IO
HOUSE CONNECTION	HC
HOUSE CONN. INDICATOR	HCI
INSPECT. SHAFT CONNECTION	ISC
TELE.	
PIT	TEL
PRE-LAID CONN.	TPL
DRAINAGE	
MANHOLE	DMH
GULLY PIT	GPI
LOT PIT	LDP
HOUSE CONN.	DHC
SIDE ENTRY PIT	SEP
COMBINATION ENTRY PIT	CEP
WATER	
STOP VALVE	WSV
HYDRANT	HY
FLUSH POINT	FP
WATER TAP	WTP
WATER METER	M
PRE-LAID CONN.	WPL
SURVEY	
DATUM NAIL	DN
PEG FOUND	PF
PEG DISTURBED	PD
PEG GONE	PG
MARK ON FEATURE	MOF

LOT RECORDS

STATUS	LOT RECORDS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER		✓		✓
SEWERAGE	✓			
GAS		✓		✓
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H	✓		✓

AREA: ESTAB 11/1964

COASTAL DISTANCE 400m

LOT: 511

AREA: 911 m²

APPROX. AHD + 5.25m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL 7.63

SEWER BROUGHT UP 0.00

DEPTH TO CONNECTION 3.04

GROUND COVER

SANDY / WEED / BUSHES

JAVEZ DR

BITUMEN

TITLE : FEATURE SURVEY

LOT : 511 No. 19 JAVEZ DR

SUBURB : QUINNS ROCKS

P : 8179

AUTHORITY : CITY OF WANNEROO

C/T : 253/155A

UBD REF : 104 F 16

GPS : S 31.67208°

E 115.69468°



P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996



SHEET 1 of 1	BUILDER'S REF 511JAV	SURVEYED 30/05/22	SCALE @ A3 1:200	DWG No 45025-01-100	REV A
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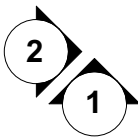
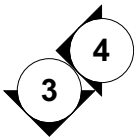
WHERE INCLUDED, THE POSITION OF
SKYLIGHTS
IS APPROXIMATE AND IS GOVERNED BY
ROOF
STRUCTURE AND AT INSTALLERS
DISCRETION



**PERTH
BUILDING
CERTIFIERS**

BUILDING SURVEYOR CONTRACTOR
LEVEL 1 (COMPANY) - REGISTRATION No. 106

TIMER STAIRS TO
MANUFACTURER SPEC.



SCALE 1:100

SITE COVER:	
R-CODE:	R20
SITE AREA:	911m2
SITE COVER (ENCLOSED)	
HOUSE:	109.36m2
GARAGE:	44.93m2
OUTDOOR LIVING:	33.51m2
TOTAL:	187.80m2
OPEN SPACE:	79.39%

AREAS:	
GROUND FLOOR	109.36 m2
GARAGE / STORE	44.93 m2
PORCH	9.42 m2
TOTAL:	163.71 m2
FIRST FLOOR	113.66 m2
BALCONY	13.43 m2
TOTAL:	127.09 m2

CLIENT: JONES	DATE: 13/03/23
ADDRESS: 19 JAVEZ DRIVE, QUINNS ROCK	JOB N° 001
	SHEET N° 2 OF 12

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTATION AND ENGINEERS DETAILS

ALL DIMENSIONS TAKE PREFERENCE TO SCALE

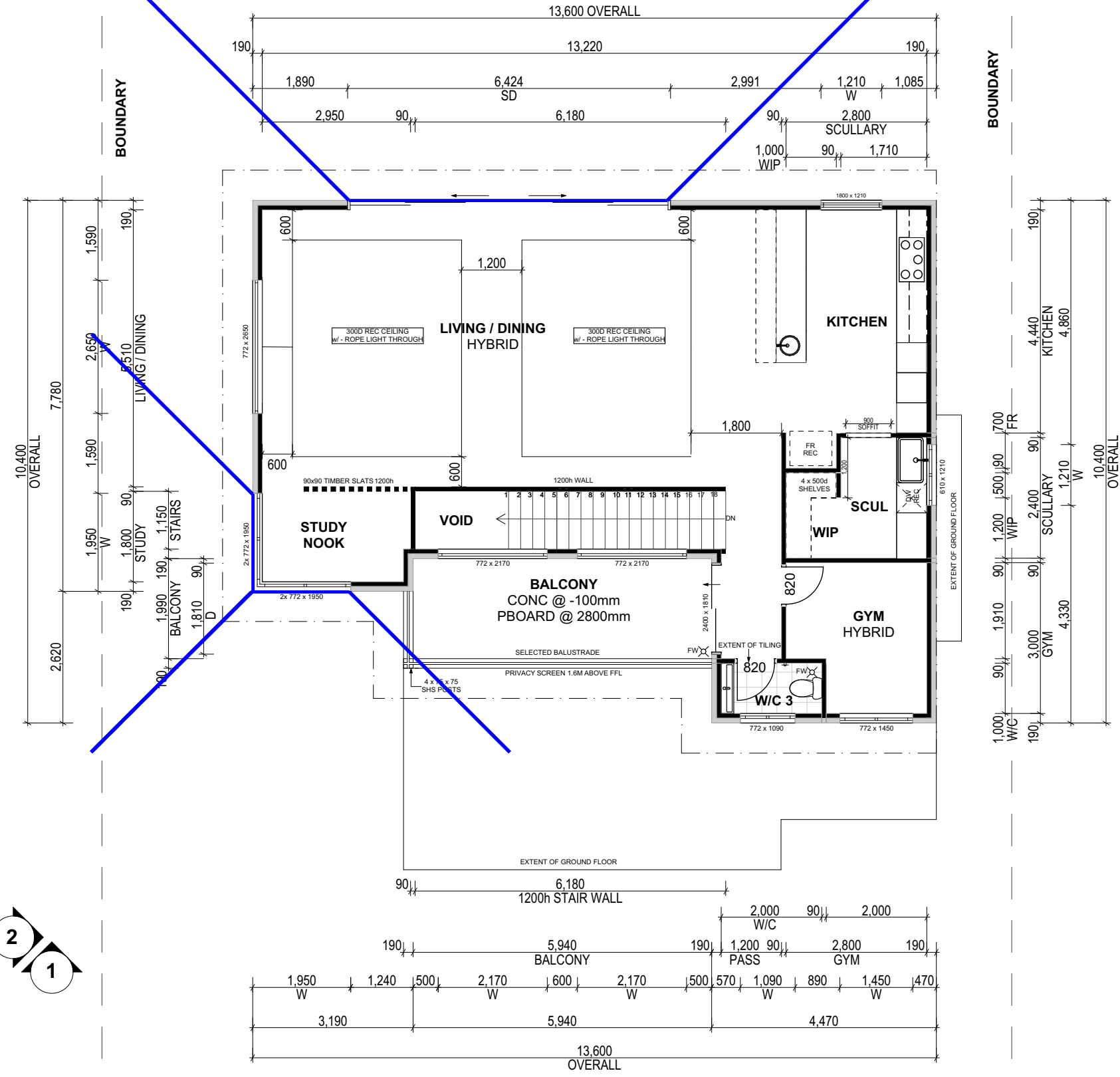
DIMENSIONS SHOWN ON PLAN RELATE TO BRICKWORK SET OUT ONLY. PLEASE ALLOW AN ADDITIONAL 10mm TO EACH WALL FOR PLASTER. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS

NUMBER AND POSITION OF RWP's IS APPROXIMATE AND IS GOVERNED BY ROOF STRUCTURE AND AT INSTALLERS DISCRETION

WHERE INCLUDED, THE POSITION OF SKYLIGHTS IS APPROXIMATE AND IS GOVERNED BY ROOF STRUCTURE AND AT INSTALLERS DISCRETION



- 2800mm CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE
- R4.1 CEILING INSULATION TO HOUSE AND GARAGE AREA
- BAL NOTE: DWELLING TO COMPLY WITH AS3959 TO BAL 12.5 RATING.
- 230 CAVITY BRICKWORK TO GROUND FLOOR
- TIMBER STUD FRAME WALLS WITH 100mm EPS CLADDING TO FIRST FLOOR EXTERNAL WALLS
- TIMBER STUD FRAME WALLS TO ALL FIRST FLOOR INTERNAL WALLS
- TIMER STAIRS TO MANUFACTURER SPEC.

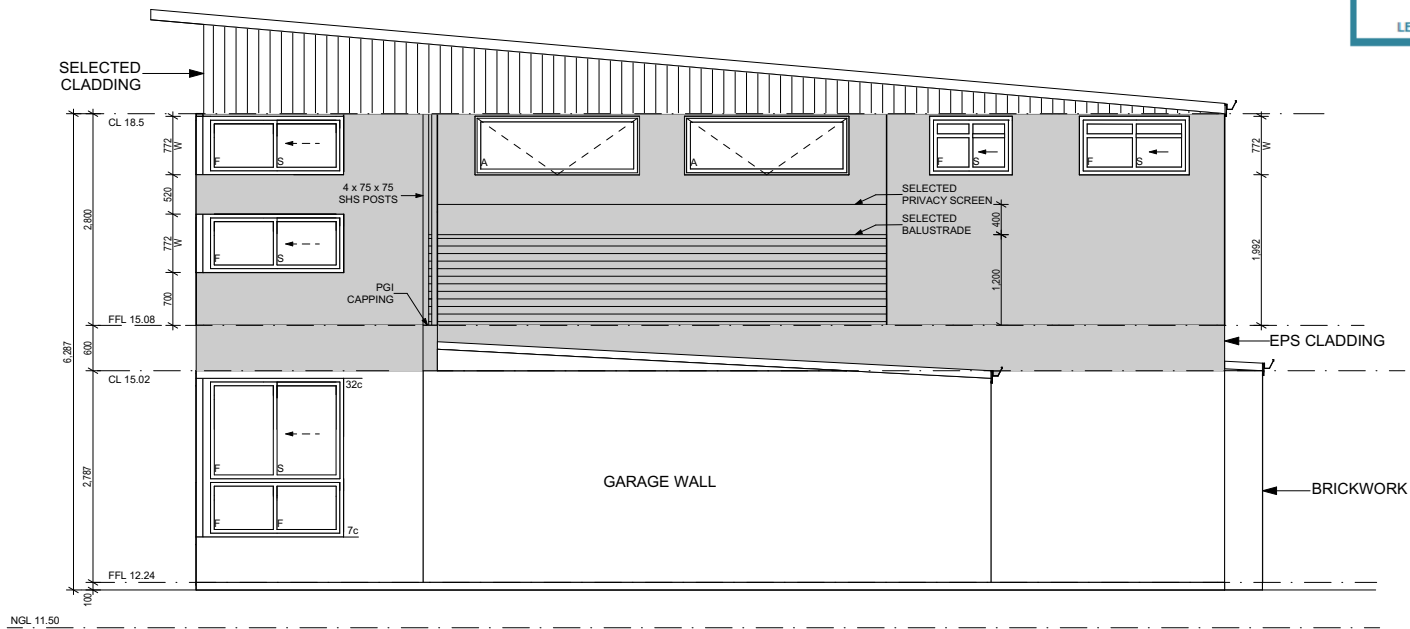


FIRST FLOOR
SCALE 1:100

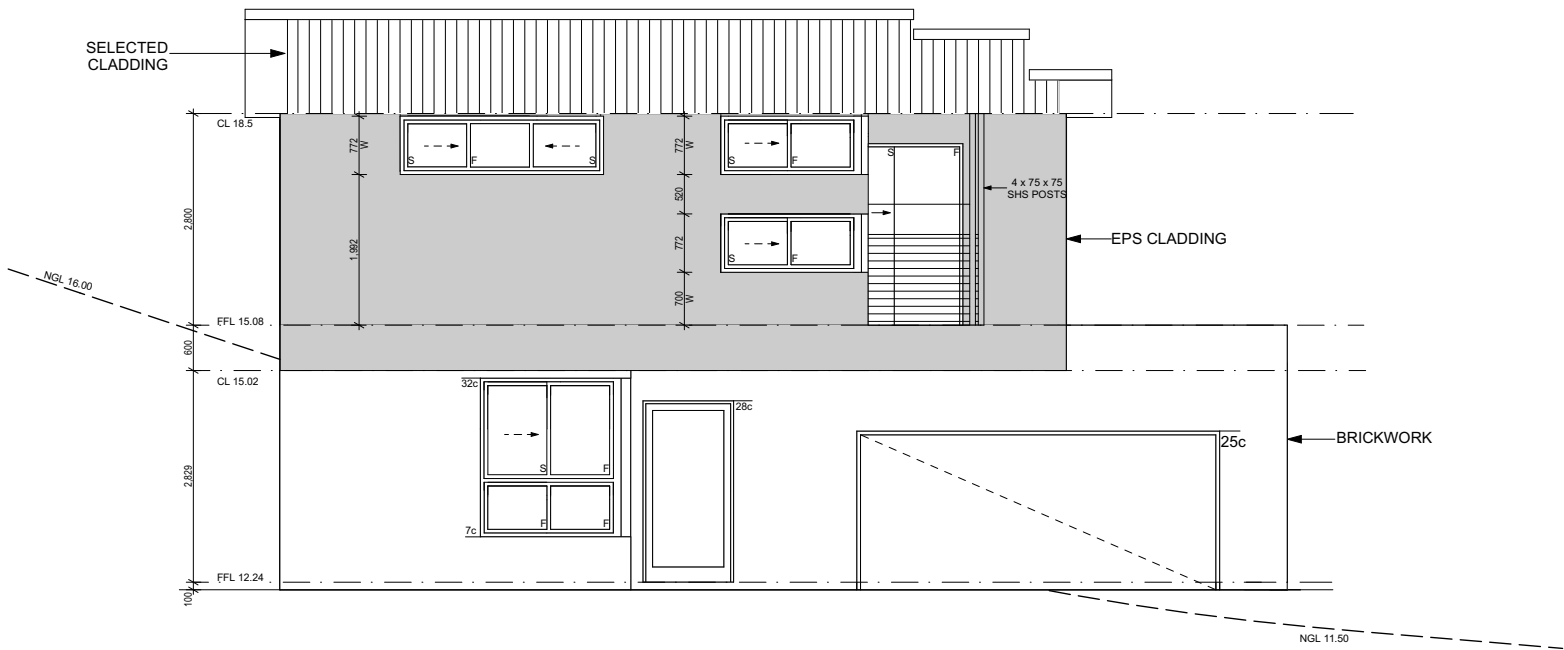
AREAS:	
GROUND FLOOR	109.36 m2
GARAGE / STORE	44.93 m2
PORCH	9.42 m2
TOTAL:	163.71 m2
FIRST FLOOR	113.66 m2
BALCONY	13.43 m2
TOTAL:	127.09 m2

CLIENT:	JONES	DATE:	13/03/23
ADDRESS:	19 JAVEZ DRIVE, QUINNS ROCK	JOB N°	001
		SHEET N°	3 OF 12

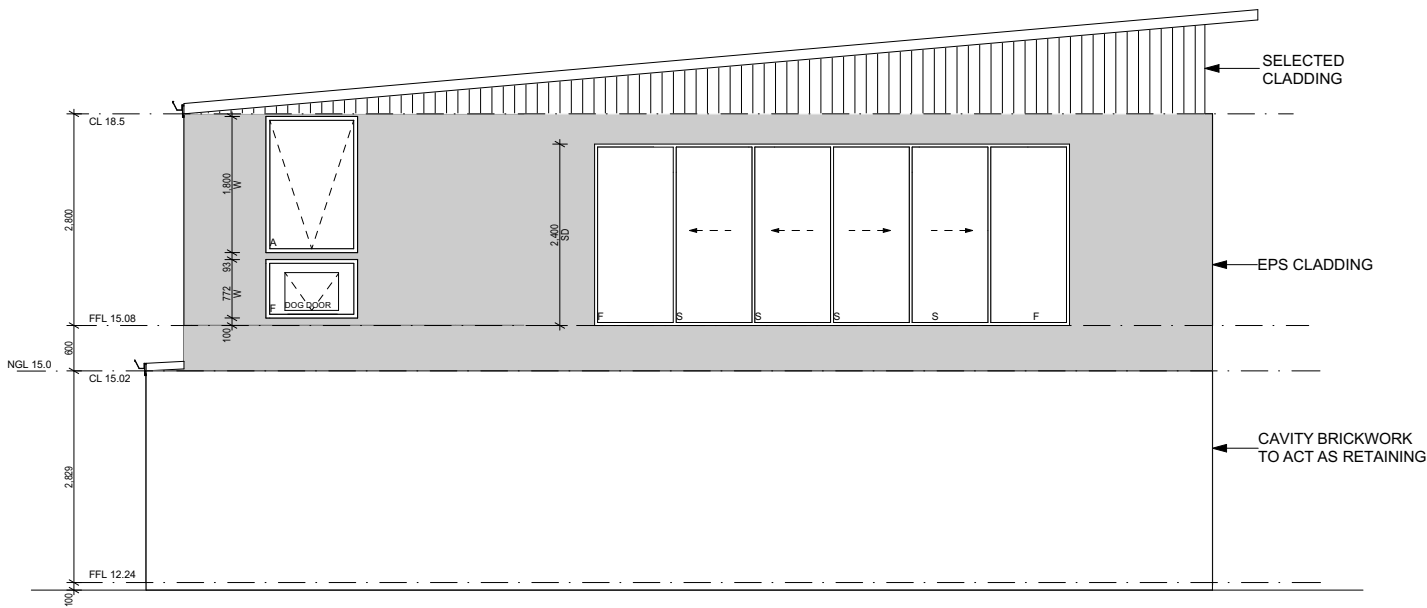
COLORBOND ROOF ON 5° PITCH
UNLESS NOTED OTHERWISE



ELEVATION 1
SCALE 1:100



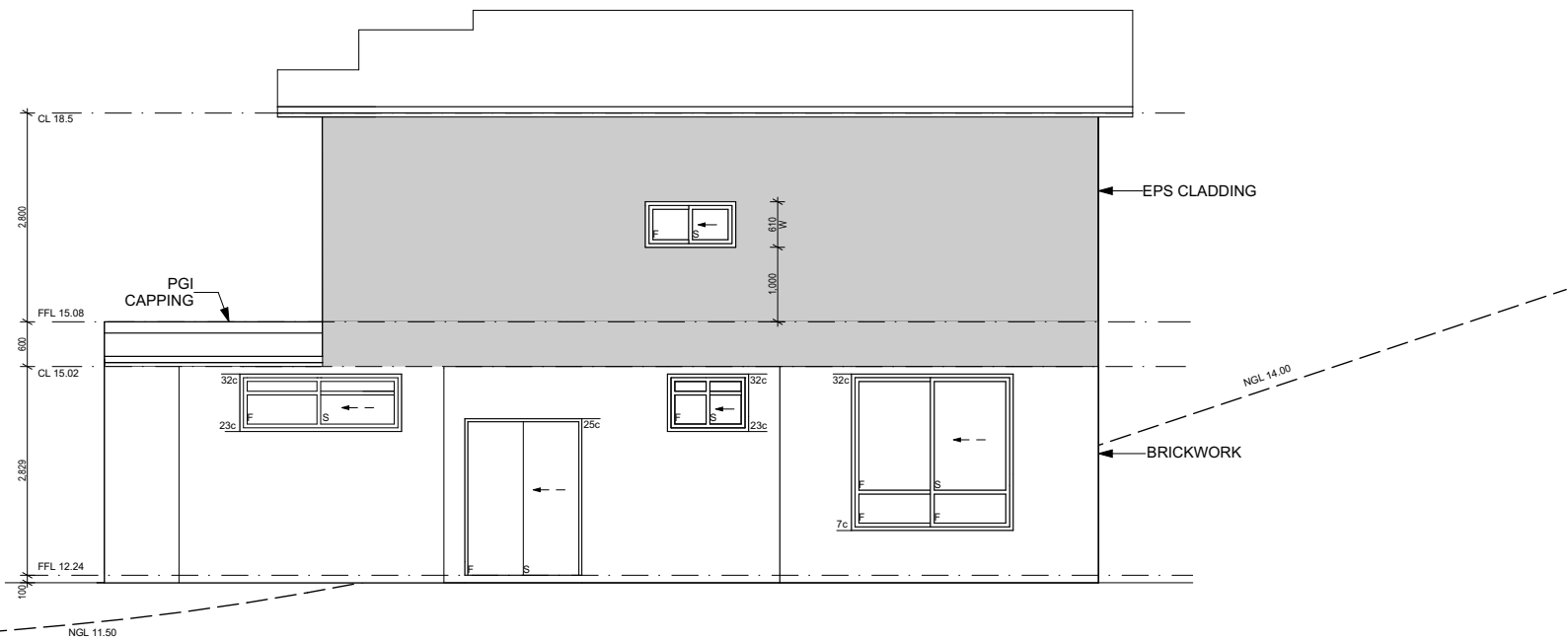
ELEVATION 2
SCALE 1:100



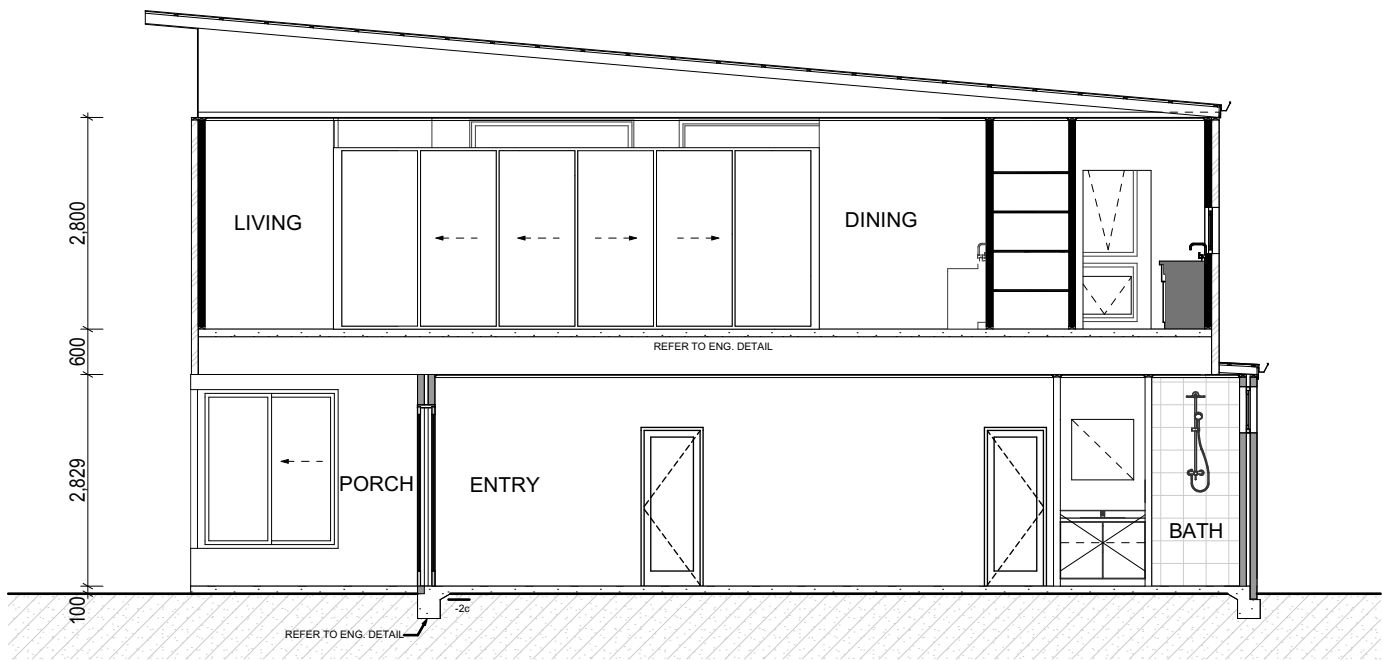
ELEVATION 3
SCALE 1:100

CLIENT:	JONES	DATE:	13/03/23
ADDRESS:	19 JAVEZ DRIVE, QUINNS ROCK	JOB N°	001
		SHEET N°	4 OF 12

COLORBOND ROOF ON 5° PITCH
UNLESS NOTED OTHERWISE

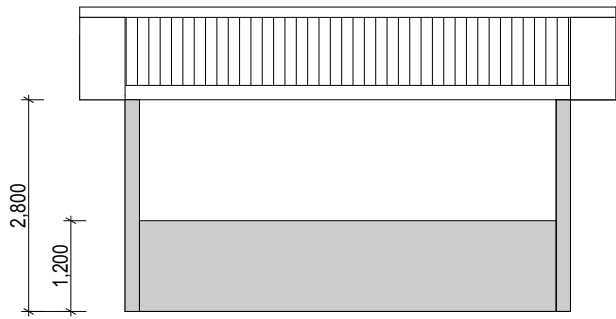


ELEVATION 4
SCALE 1:100

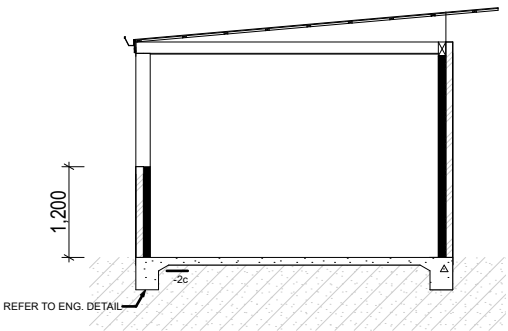


SECTION
SCALE 1:100

CLIENT:	JONES	DATE:	13/03/23
ADDRESS:	19 JAVEZ DRIVE, QUINNS ROCK	JOB N°	001
		SHEET N°	5 OF 12



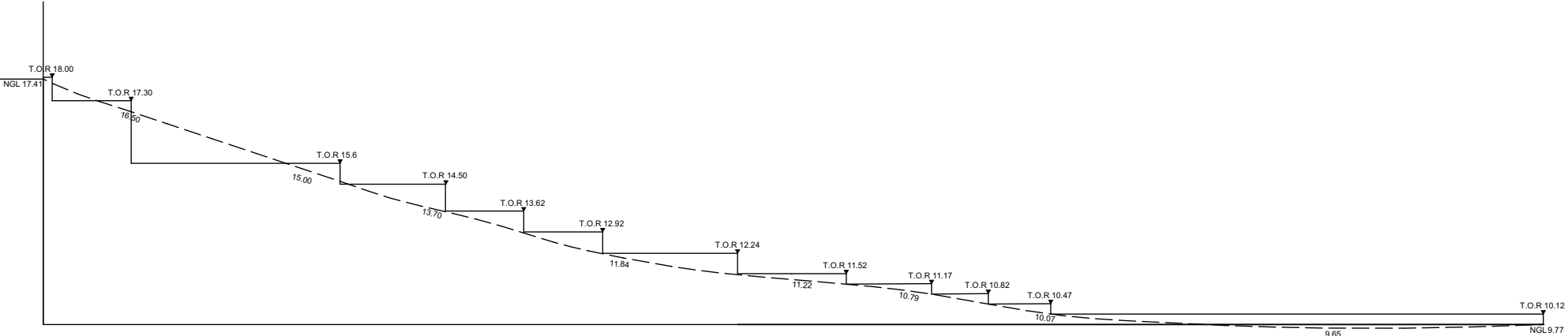
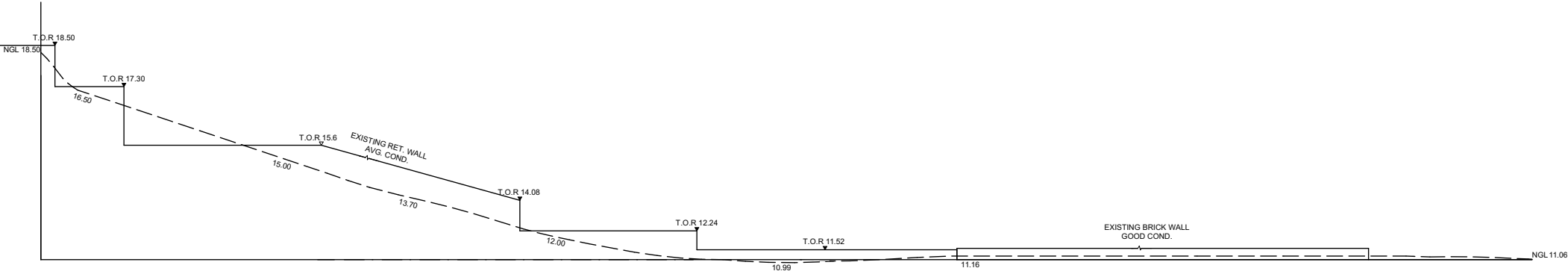
ELEVATION 5
SCALE 1:100



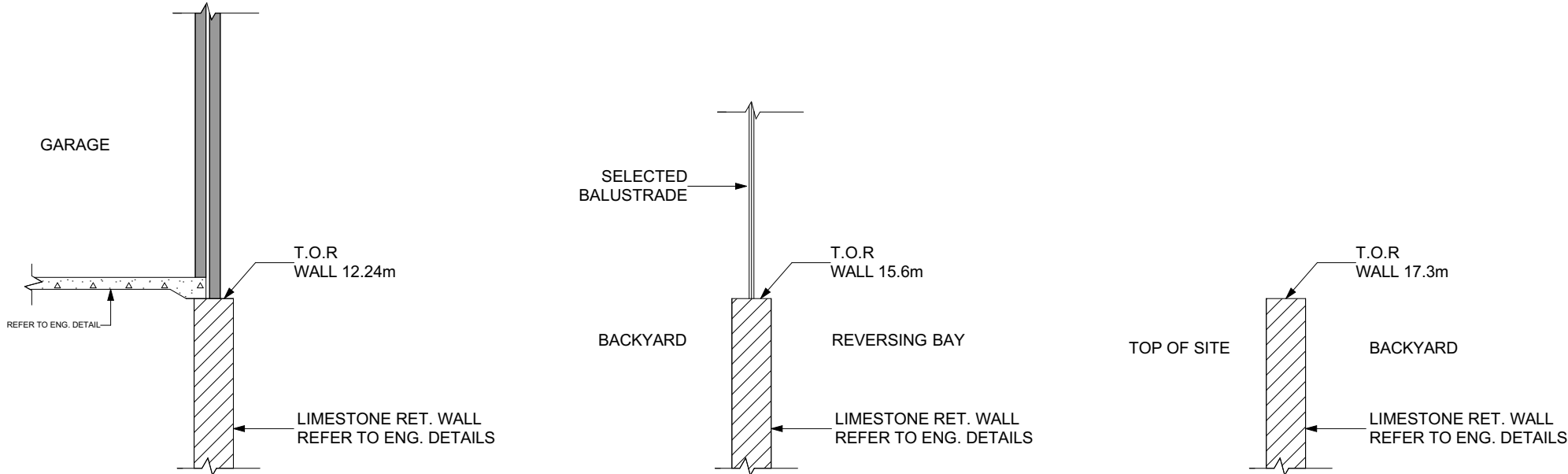
SECTION
SCALE 1:100



ALFRESCO FLOOR PLAN
SCALE 1:100



RETAINING PLAN
SCALE 1:200



RETAINING WALL DETAILS
SCALE 1:50

CLIENT:	JONES	DATE:	13/03/23
ADDRESS:	19 JAVEZ DRIVE, QUINNS ROCK	JOB N°	001
		SHEET N°	12 OF 12