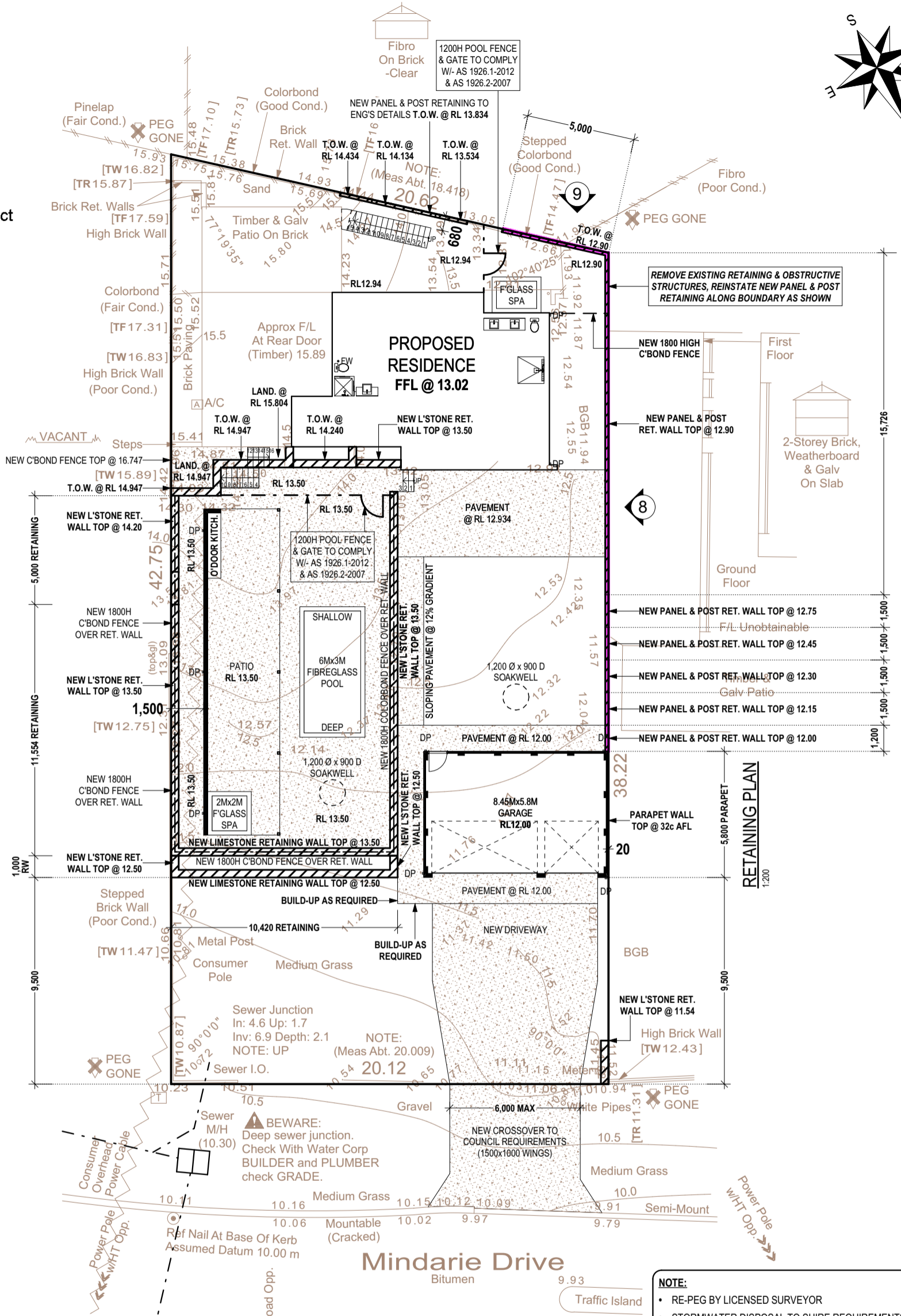


Development subject to this application



⊕	Power Dome
○	Power Pole
⊠	Phone Pits
⊞	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

LOT MISCLOSE
0.006 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

SITE PLAN - GROUND FLOOR

1:200

DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

Scale 1:200



NOTE:

- RE-PEG BY LICENSED SURVEYOR
- STORMWATER DISPOSAL TO SHIRE REQUIREMENTS
- RETAINING WALLS TO ENGINEERS DETAILS
- REFER TO ENGINEERS DETAILS FOR UNDERMINING AND SURCHARGING

STORMWATER CALCULATIONS

REQUIRED SOAKWELL CAPACITY:
= 1m³ OF STORAGE PER 65m² OF ROOF AREA

REQUIRED MINIMUM TOTAL CAPACITY
= ROOF AREA OF (101.68m² / 65m²) x 1m³ = 1.56m³

SELECTED SOAKWELLS
2 x 1200Ø x 900D (1.02m³) = 2.04m³

TOTAL SOAKWELL CAPACITY = 2.04m³



87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

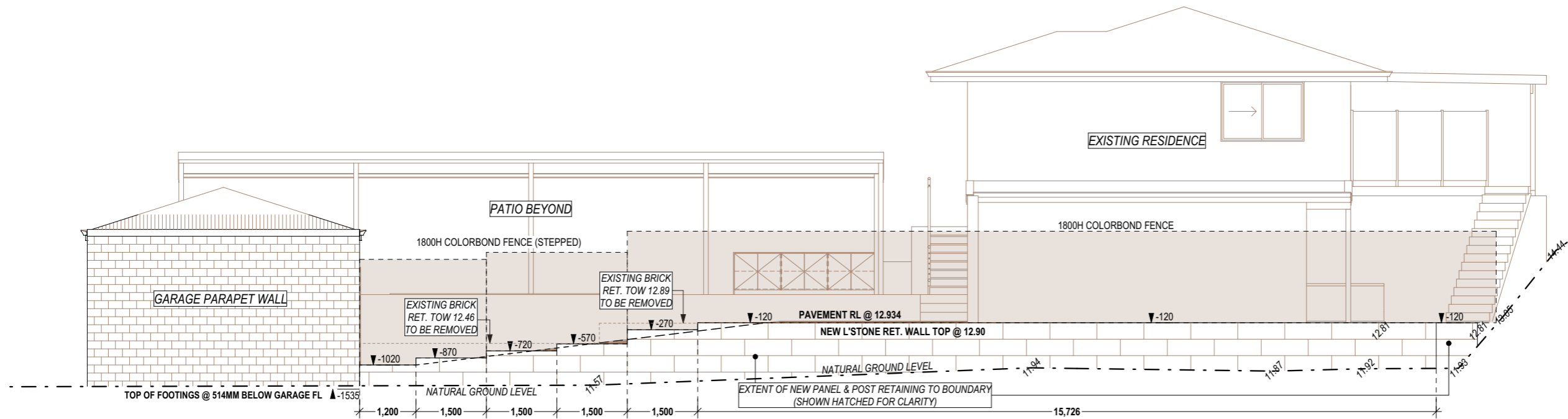
JOB # 528097
CLIENT Roth
ADDRESS #60 Mindarie Drive
SUBURB Quinns Rocks
LGA CITY OF WANNEROO
DRAWN T.Currey

GPS Lat: -31.673245 Long: 115.698370
LOT Lot 463 (Plan 7798)
AREA 814m² **VOL.** 1311 **FOL.** 547
DATE 24 Jun 22 **SSA No**

ROADS Bitumen
KERBS Mountable / Semi-Mount
FOOTPATH Nil
SOIL Sand, L'Stone(Poss)
DRAINAGE Good
VEGETATION Refer to Survey

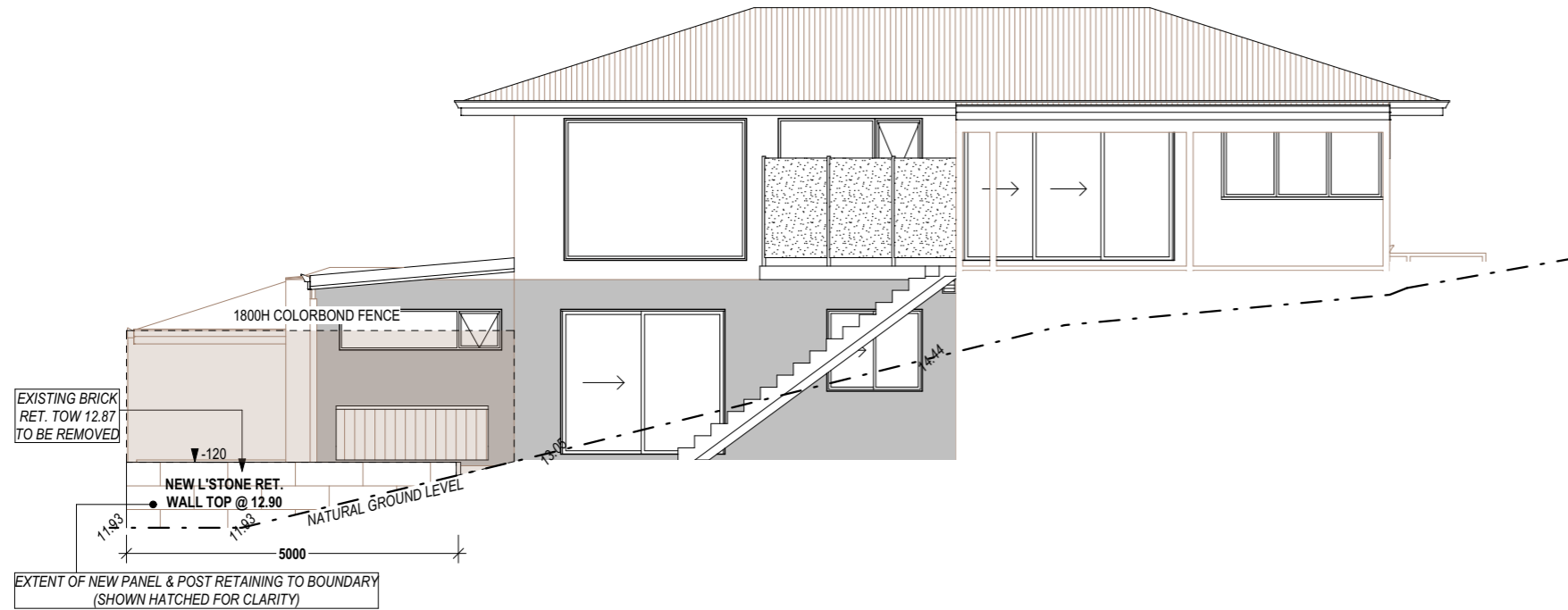
ELEC. O/Head
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL 700m To Ocean (Approximate Only Confirm With Shire)

TO SCALE ON A3 SHEET



ELEVATION 8

1:100



ELEVATION 9

1:100


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 Email: admin@premierresidential.com.au
 ABN: 69 305 673 609

Project details

Client: Clinton Roth
 Address: Lot 463 (#60)
 Mindarie Drive
 Quinns Rocks
 City of Wanneroo

Note: Dimensions on plan do not allow for plastering/flooring finish.

Revisions			
Rev No.	Date/Dwn.	Chkd.	
DA Plans	31.08.22	MM	MM
Final Plans	21.12.22	MM	MM
Spa	11.01.23	MM	MM
Retaining	02.02.23	MM	MM

Sheet 8 of 12

Job No: 239

Retaining Elevations (8-9)

Drawn	Date	Chkd.
MM	2/02/2023	MM

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