

Management Plan Katies Kattery

Reason for planning application:

Business relocation from 38 Gibbs Road to 359 Gibbs Road, Nowergup 6032

Overview:

Ross & Vicki Hutson have successfully owned & operated Katie's Kattery out of a leased property at 38 Gibbs Road for the past nineteen (19) years. The business was operated to a high standard which was generally acknowledged by peers and industry professionals such as Veterinarians, Pet Transport companies and the like. This reflected in the success of the business and the premium reviews the business received on its web site and other social media sites, our business & highly regarded reputation was not only acknowledged in Perth but across Australia, New Zealand and the UK where we received enquires from customers that had heard of our service and wanted to relocate or permanently move to Perth. We are well known in the industry & by our customers for operating a neat, tidy & immaculately clean, well organised facility, with an empathy for our guests which our customer relied on & trusted.

Unfortunately we vacated our business premises due to unreasonable and unworkable demands by the landlord.

Business Goal:

To operate a premium boutique cat boarding facility at 359 Gibbs Road to satisfy customer demand.

Business Operating parameters:

Cattery. Number of Runs Twenty (20)

We initially envisage keeping the business to 20 runs to provide a premium service. The run sizes will be large at approximately 2mtrs x 2.8mtrs with a quality fit out. These sizes will be for single or multiple cat Families. (We do not mix cats from different families) e.g. if a family owns two cats (2) then these will be accommodated in a single run

Capacity:

Our research indicates 20% of our customers have multiple cat families. Working on this assumption we envisage capacity to between 24 & 26 guests. We. Believe with our current customer base we will be at capacity 80% of year.

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Staffing:

Owners and 2 casual staff members.

Safe experience:

Ross & Vicki have had 19 years in the industry and are experienced operators with a large loyal customer base. We are trusted by these customers to look after their family members.

Waste:

All waste is bagged and removed from property e.g. waste management bin

Chemicals

No harsh chemicals are used in our cleaning processes. We are aware of our responsibilities to the environment and use natural cleaning products where possible, all other chemicals are household cleaners. We use a steam cleaner and essential oils where possible such as eucalyptus & lavender oils for cleaning.

Operating hours for Public:

It is envisaged we will open to the public between the hours of:

8:30am - 10:30am

3:30pm - 4:30pm

Closed to Public Wednesdays & public holidays

Owners on site most of time.

Fire mitigation

Roof Sprinklers, fire fighting hoses stationed both ends of building, integrated generator if power loss to run bore and pumps, sprinkler system around building perimeter ie garden and lawn sprinklers.

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Traffic impact to area:

As we are keeping the business small it is envisaged that traffic will have little or no impact to the area. With the new extension to the freeway at Romeo road most of our customers will use this exit to access the business and at most two to three cars per day will use our service.

Building:

A purpose built eco friendly building to be erected to latest building standards which will be fully insulated and fire compliant for the area. Power & hot water systems to be complimented with a solar systems, backup generator installed. Car packing spaces to council requirements.

22nd March 2023.

City of Wanneroo Approval Services.
2 Dundobar Road,
Wanneroo.
6065.

Regarding relocation of Katies Kattery to 359 Gibbs Rd Nowergup. Land Parcel 6D:2485

Please find this letter of justification.

Katies Katter, has existed at 38 Gibbs Rd Nowergup for over 20 years and has operated as a successful and growing enterprise. The intention is to move the business to 359 Gibbs Rd Nowergup. The reason for the move is to consolidate the business on to their residential address at 359 Gibbs Rd.

I believe the business has operated with out incident or the need for the City's to need attend regarding concerns.

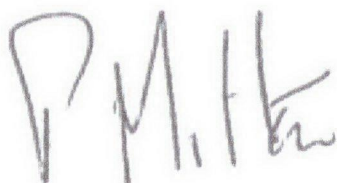
The new operation will be reduced in size to just 20 pens initially with the opportunity to expand to 40 in the future.

The construction will be a portal frame construction with colour bond cladding, the anticipate colour being pale eucalyptus. The intention is that whilst I will be connected to the power grid is that it will be self sufficient from solar. The are certain design factors being included in the construction to assist with thermal conservation control. The facility will include cooling and heating appliances, as a back up to the natural thermal control.

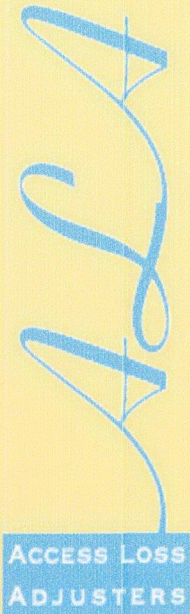
The pen sizes are increased from the previous Kattery and offering a superior environment for the residents. The previous accommodation was classed as first class which accounted for the huge demand and long waiting lists during holiday periods.

The location of the proposed kattery is situated 35 meters from the boundary with the carpark 24 meters from the boundary. The carpark contains 10 bays for the visitors. The previous Kattery which was more than double the capacity of this proposal never experienced more than 4 vehicles at any time. Employees of the kattery will park of site at the residence.

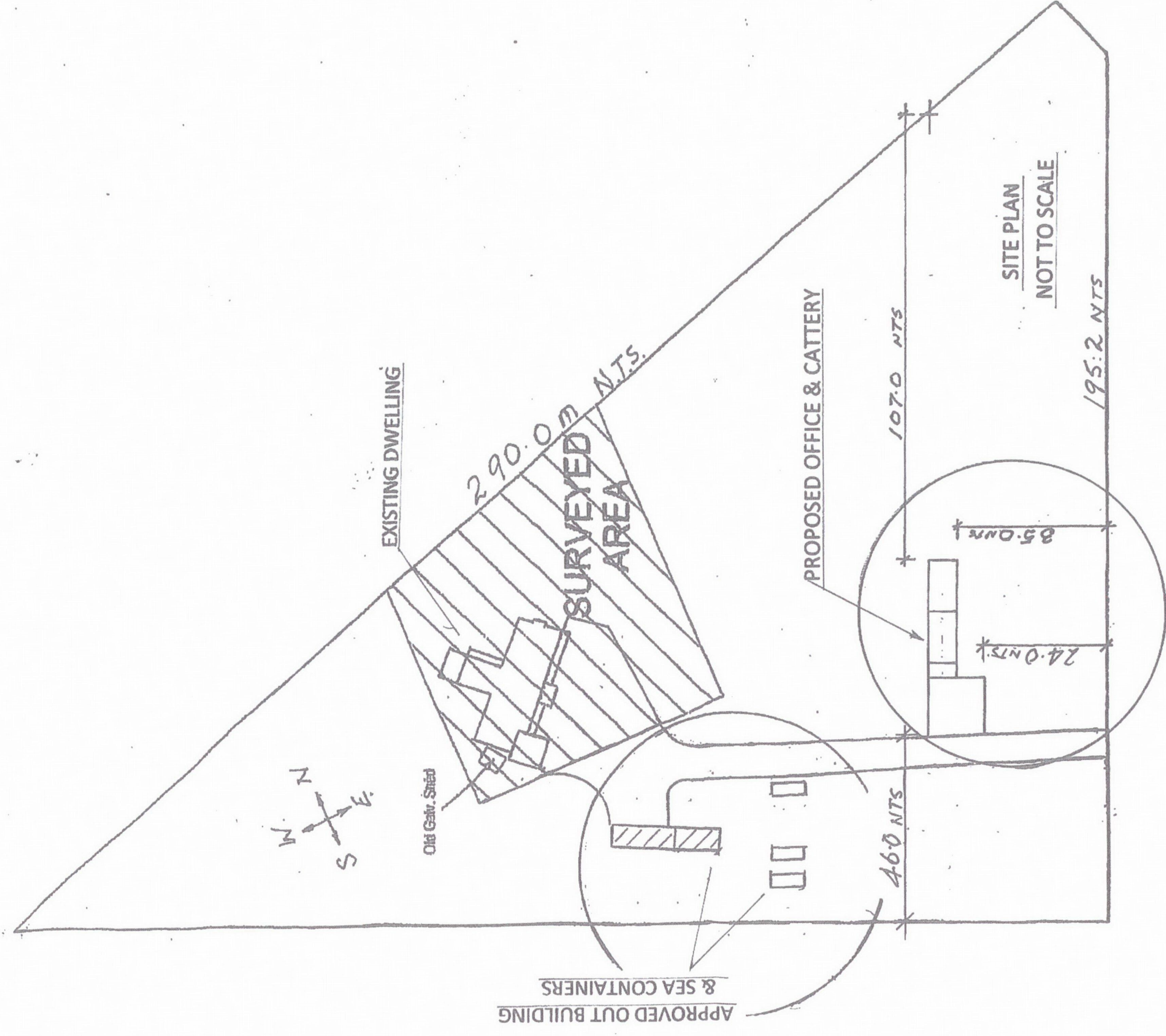
Thank you for the opportunity to make this application and justification, I look forward to a successful application.



Phil Milton
Registered Building Practitioner 7618
Registered Building Contractor 102614



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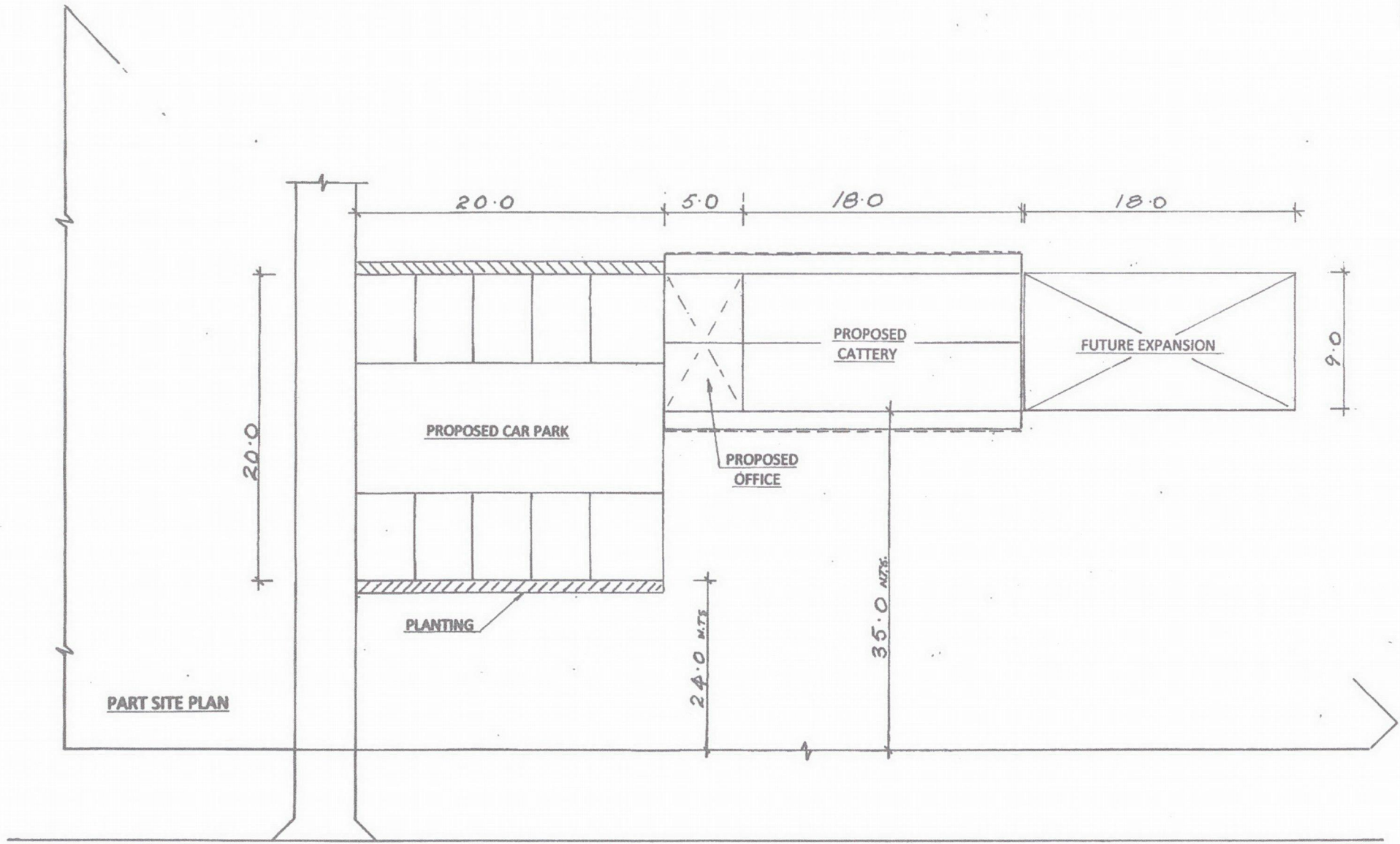


SITE PLAN
NOT TO SCALE

GIBBS ROAD

PROPOSED CATTERY @
359 GIBBS ROAD *Newberg*

NOT TO SCALE



PART SITE PLAN

PROPOSED CAR PARK

PLANTING

PROPOSED OFFICE

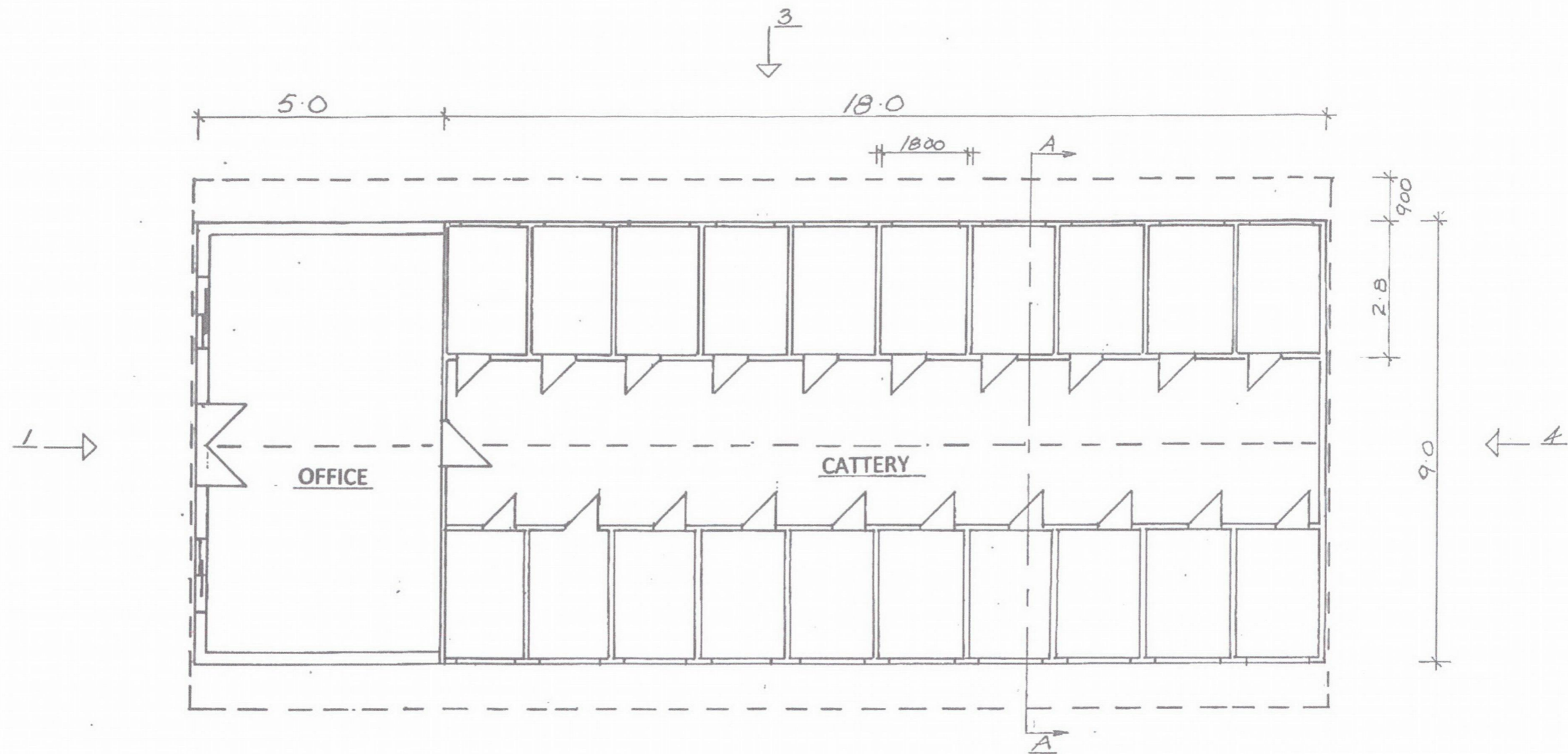
PROPOSED CATTERY

FUTURE EXPANSION

GIBBS ROAD

SCALE 1:250

PROPOSED CATTERY @
359 GIBBS ROAD MARIGINIUP



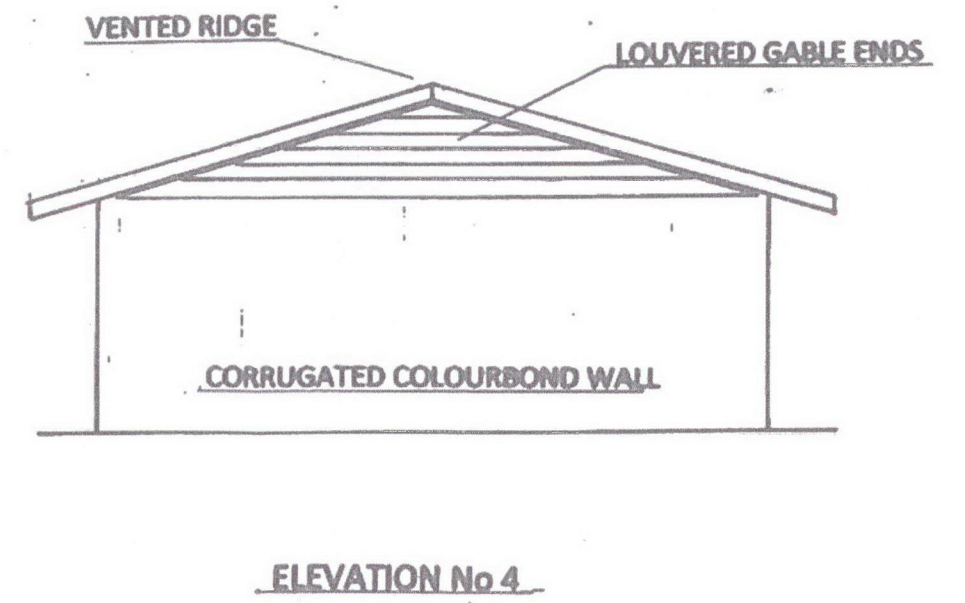
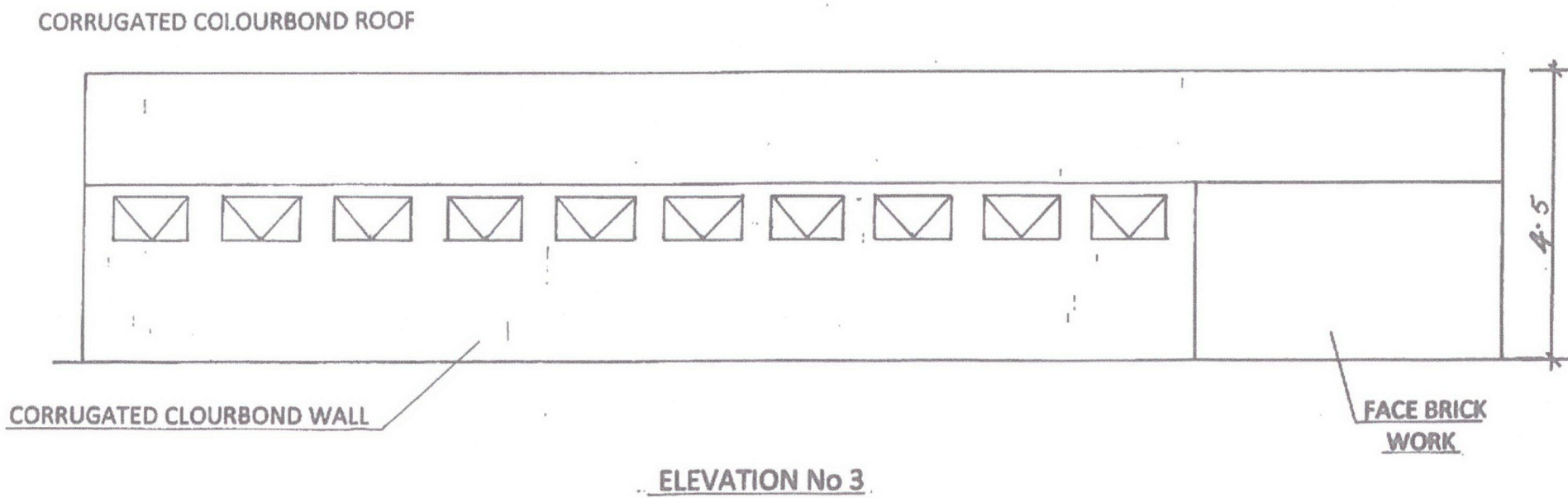
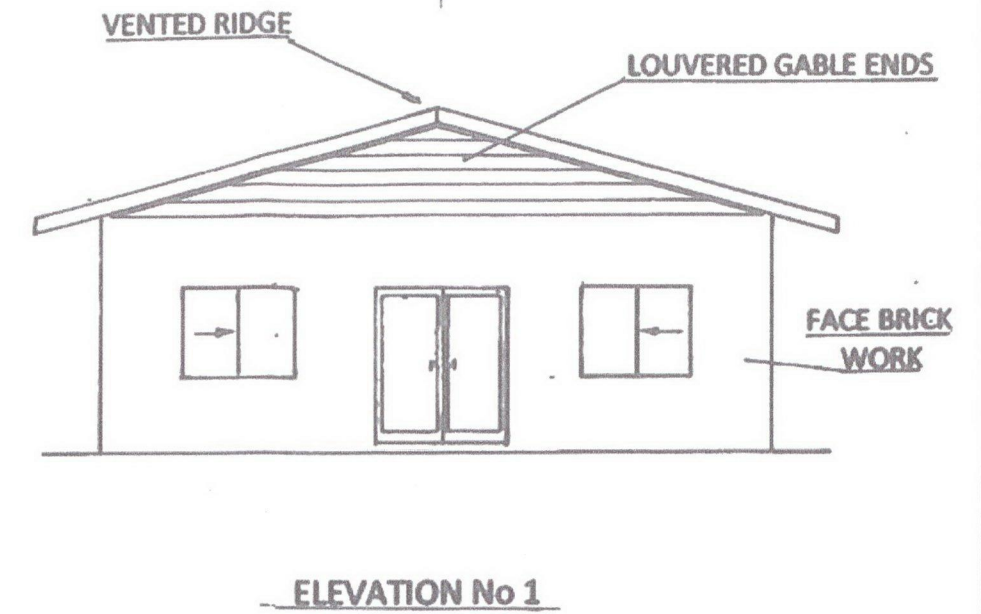
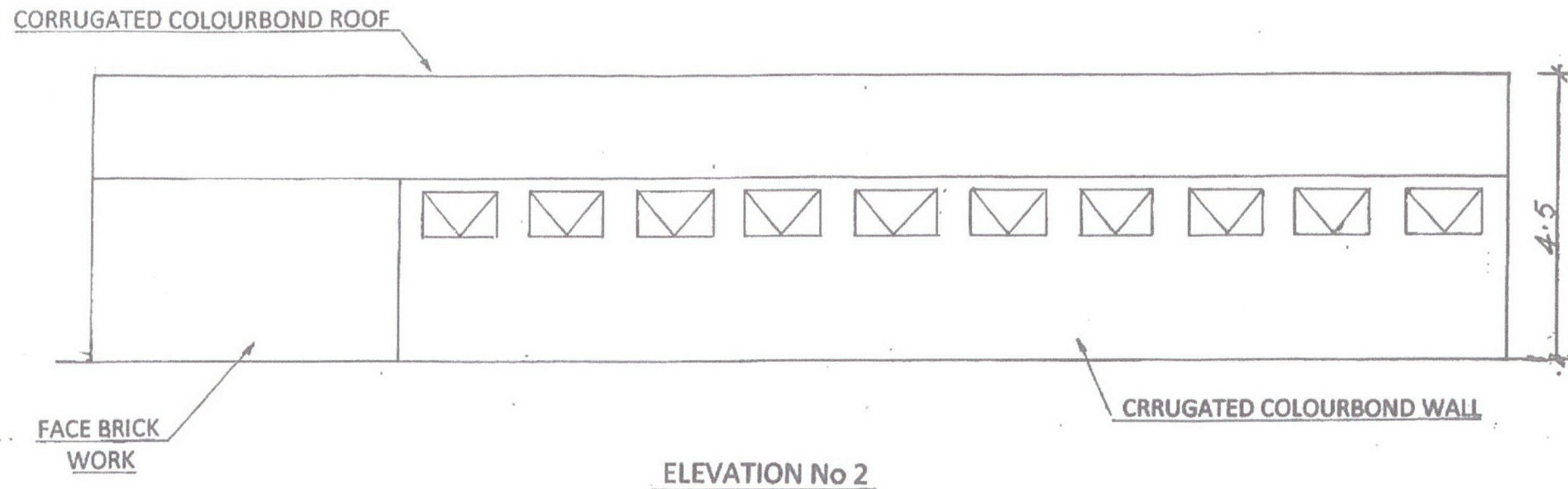
PLAN VIEW OFFICE & CATTERY

OFFICE DETAILS

- 1/ 250mm FACE BRICK CAVITY WALLS.
- 2/ WINDOWS 2/OFF 1200 X 14560.
- 3/ GLASS DOORS 2/OFF 2040 X 820.
- 4/ FRAMED GABLE END OVER BRICK WORK TO SUPPORT ROOF FRAME TO ENGINEERS DETAILS.

SCALE 1:100

PROPOSED CATTERY @
359 GIBBS ROAD *NOWERGUP*



SCALE 1:100

PROPOSED CATTERY @
359 GIBBS ROAD *Nowerup*