

M: 0410343012
E: info@asconsurvey.com.au

SITE LOCATION
Lot No 790
Street Sedgley Ct
Suburb Landsdale
Loc Auth City of Wanneroo

LEGEND

Orange	Boundary	Green	Sever ID
Red	Building Line	Yellow	Ground Level
Blue	Strip Parking	Black	Hub
Green	Boundary	Blue	Sign
Red	Line Marker/Consp	Green	Water Meter
Blue	Power - Wood	Red	Mail
Blue	Footpath	Green	Post
Blue	Service	Red	Power Pole
Blue	Drain	Green	Telephone
Blue	Water - Headable		
Blue	Water - Stud		

TITLE PARTICULARS
Dia/Plan P02/912
Location NA
Volume NA
Folio NA

SERVICES AND DETAIL
Electricity YES
Water YES
Sewerage YES
Gas YES
Comms YES
Footpath NO
Kerb HK
Fencing TIMBER
Drainage -
Improvements -
Objectional Features -
Re Peg Required YES



MARAIS

LOT 790 (#4) SEDGLEY CLOSE
LANDSDALE
CITY OF WANNEROO

JOB NUMBER 2022046		DRAWING NAME EXISTING SITE PLAN	
START DATE JUNE 2022		REVISION DESCRIPTION	IN. DATE
SHEET 01 of 05		FINAL CONCEPT	SP 22/11/22
SCALE 1:200		PLANNING	SP 23/11/22
REVISION -			

KTR CREATIONS
IMAGINE | CREATE | CONSTRUCT

BUILDING DESIGN AND DRAFTING
www.ktrcreations.com.au
design@ktrcreations.com.au
9381 2106

2/5 Supreme Loop
Gnangara WA 6077

CONSTRUCTION NOTE:
All drawings to be reviewed and checked by the Builder, Client, Sub-Contractors or the like before commencement of any works. **No** responsibility will be accepted by KTR Creations if no correspondence was coordinated prior or during construction.

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PROPOSED AREAS		
OPEN SPACE CALCULATOR		
LOT AREA	614.070m ²	R20
OPEN SPACE REQUIRED	307.035m ²	(50%)
PROPOSED SITE COVER	264.960m ²	(43%)
OPEN SPACE PROVIDED	349.110m²	(57%)
NOTE: BUILDER TO LIAISE WITH WESTERN POWER REGARDING OVERHEAD CONSUMER LINES, POWER DOMES AND DISTRIBUTION BOARDS. ALL PROVISIONS AND LOCATIONS TO WESTERN POWERS DISCRETION.		
NOTE: BUILDER TO LIAISE WITH WATER CORPORATION REGARDING WATER METERS. ALL PROVISIONS AND LOCATIONS TO WATER CORPORATION'S DISCRETION.		
NOTE: REFLUX VALVE MAY BE REQUIRED DUE TO HOBLESS SHOWERS. LOCATION TO THE DISCRETION OF THE PLUMBER		
NOTE: PLUMBER TO ASSESS CAPACITY OF EXISTING DOWNPIPES AND SOAK WELLS. ADDITIONAL PROVISIONS AS REQUIRED TO PLUMBERS DISCRETION		



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EXISTING
1c FACE BRICKWORK
BASED ON 230 x 110 x 76mm

NEW
RENDERED MAXI BRICKWORK
BASED ON 305 x 90 x 162mm

**PROPOSED RENDER AND
CLADDING AS PER
ELEVATIONS**

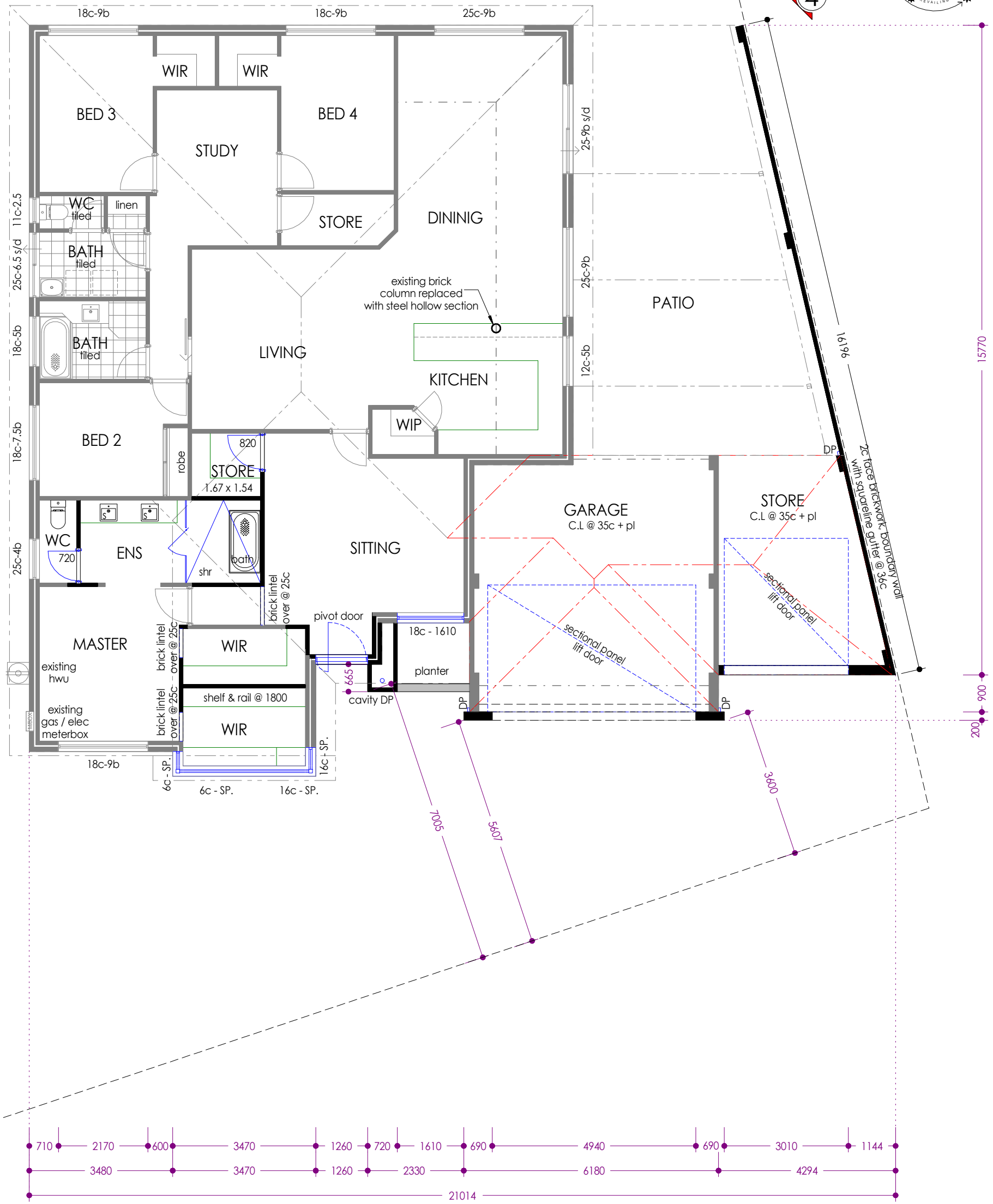
- 1st COURSE OF BWK ABOVE FOOTING
& SLAB TO BE 76mm CORED BRICK

EXISTING
TILED ROOF
ASSUMED 25° PITCH

NEW
TILED ROOF
TO MATCH EXISTING PITCH

WIND CLASSIFICATION AS PER ENGINEER

AREAS		PERIM.
HOUSE	207.540m ²	62.84m
GARAGE	57.420m ²	32.70m
ALFRESCO	55.870m ²	
TOTAL AREA	320.830m²	
OPEN SPACE CALCULATOR		
LOT AREA	614.07m ²	R20
OPEN SPACE REQUIRED	307.035m ²	(50%)
PROPOSED SITE COVER	264.96m ²	(43%)
OPEN SPACE PROVIDED	349.110m²	(57%)



NOTE:
EXISTING
250 CAVITY
BRICKWORK GENERALLY

PROPOSED
230 CAVITY BRICKWORK
GENERALLY

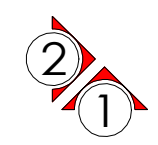
NOTE:
EXISTING
CEILING LEVELS @ 28c + PLATE

PROPOSED
CEILING LEVELS @ 35c + PLATE

NOTE:
PLUMBER TO ASSESS CAPACITY
OF EXISTING DOWNPIPES AND
SOAK WELLS. ADDITIONAL
PROVISIONS AS REQUIRED TO
PLUMBERS DISCRETION

NOTE:
REFLUX VALVE MAY BE
REQUIRED DUE TO
HOBLESS SHOWERS.
LOCATION TO THE DISCRETION
OF THE PLUMBER

DENOTED STRUCTURAL
COLUMN &/or WIND POSTS
(REFER ENGS.)



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START DATE JUNE 2022	REVISION DESCRIPTION	IN.	DATE	BUILDING DESIGN AND DRAFTING www.ktrcreations.com.au design@ktrcreations.com.au 9381 2106	
SHEET 04 of 05	FINAL CONCEPT	SP	22/11/22		
SCALE 1:100	PLANNING	SP	23/11/22		
	A3			1 Carbonate Road Gnangara WA 6077	

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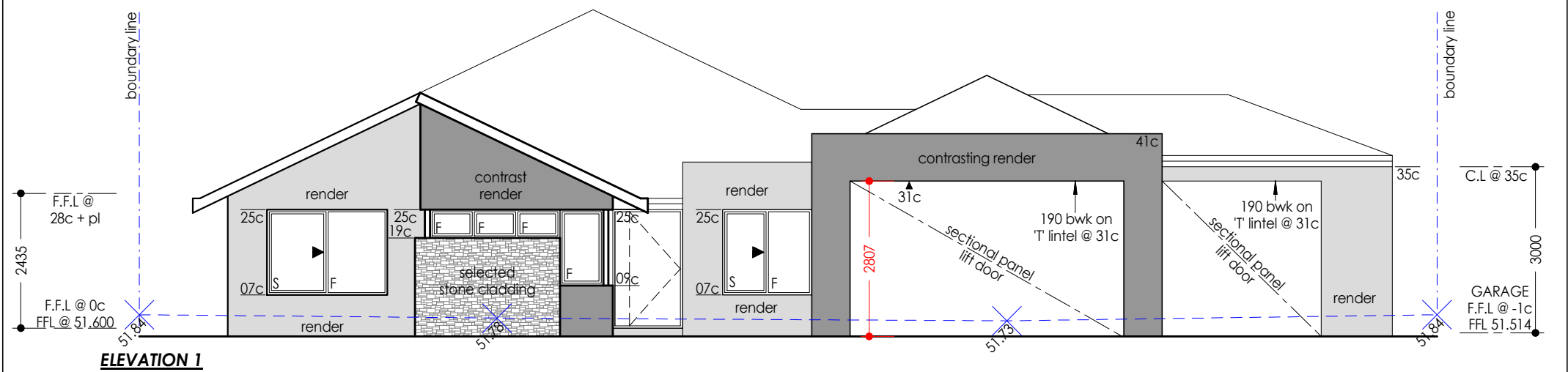
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- 1st COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK

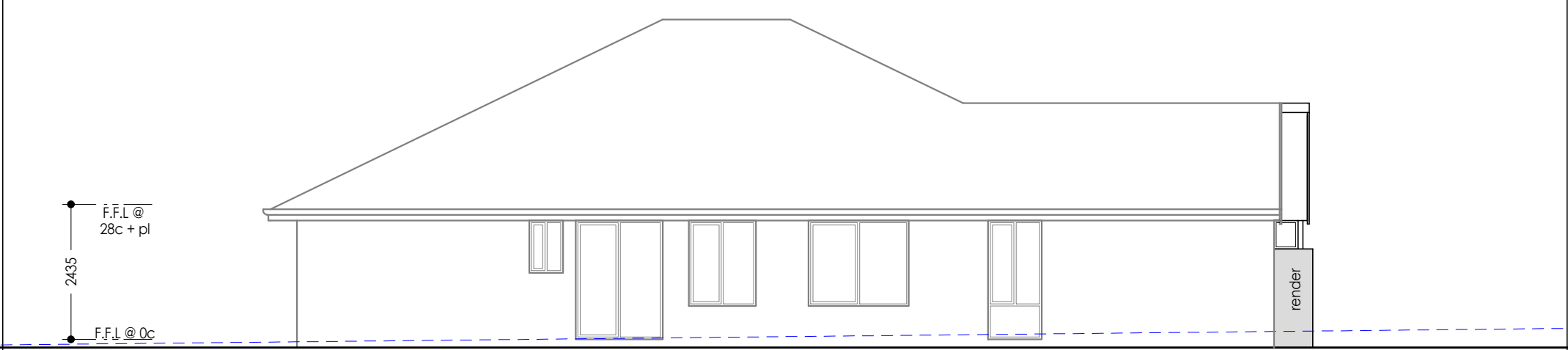
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TILED ROOF
ASSUMED 25° PITCH

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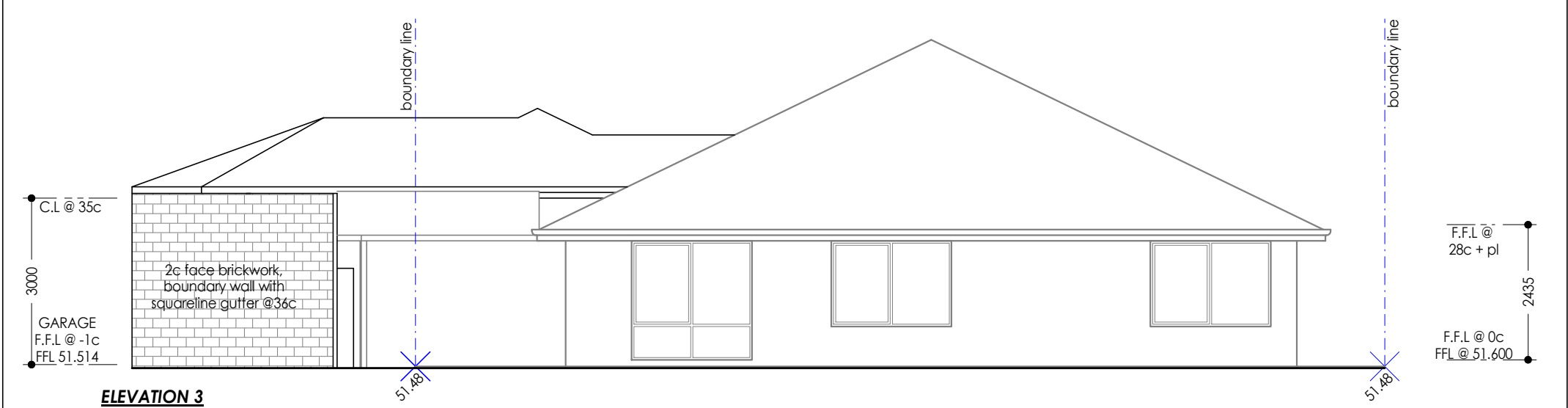
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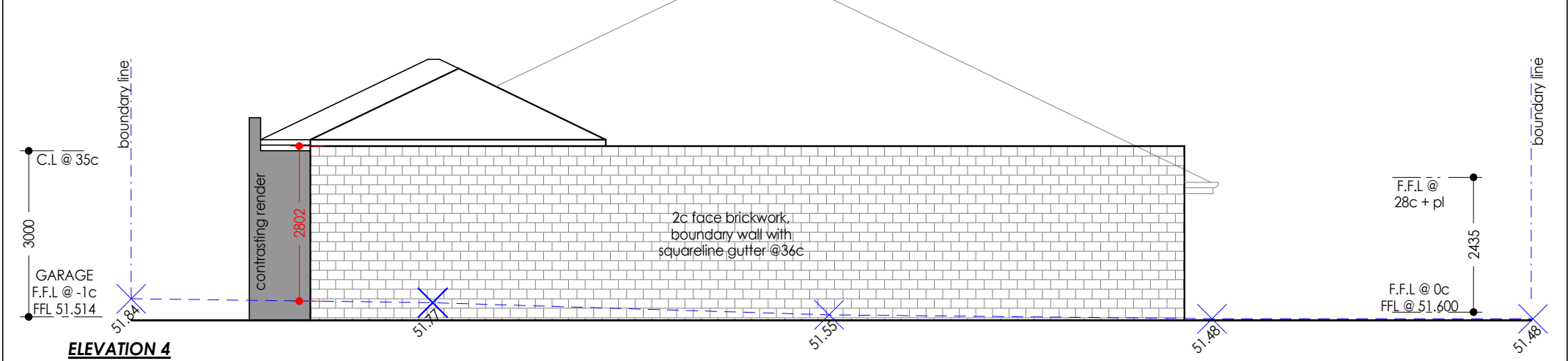
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4



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