

**Note:** Brickpaving to CP7 at 10.46 levelled across all proposed garage entry points falling to drainage as per stormwater design

Designated Garden Bed Area

**Soakwell Calculations**  
 Unit 1 Roof area 151m2 Soakwell capacity 169.69m2  
 Unit 2 Roof area 151m2 Soakwell capacity 169.69m2  
 Unit 3 Roof area 151m2 Soakwell capacity 169.69m2  
 Unit 4 Roof area 112m2 Soakwell capacity 169.69m2  
 Unit 5 Roof area 128m2 Soakwell capacity 169.69m2  
 Unit 6 Roof area 128m2 Soakwell capacity 169.69m2

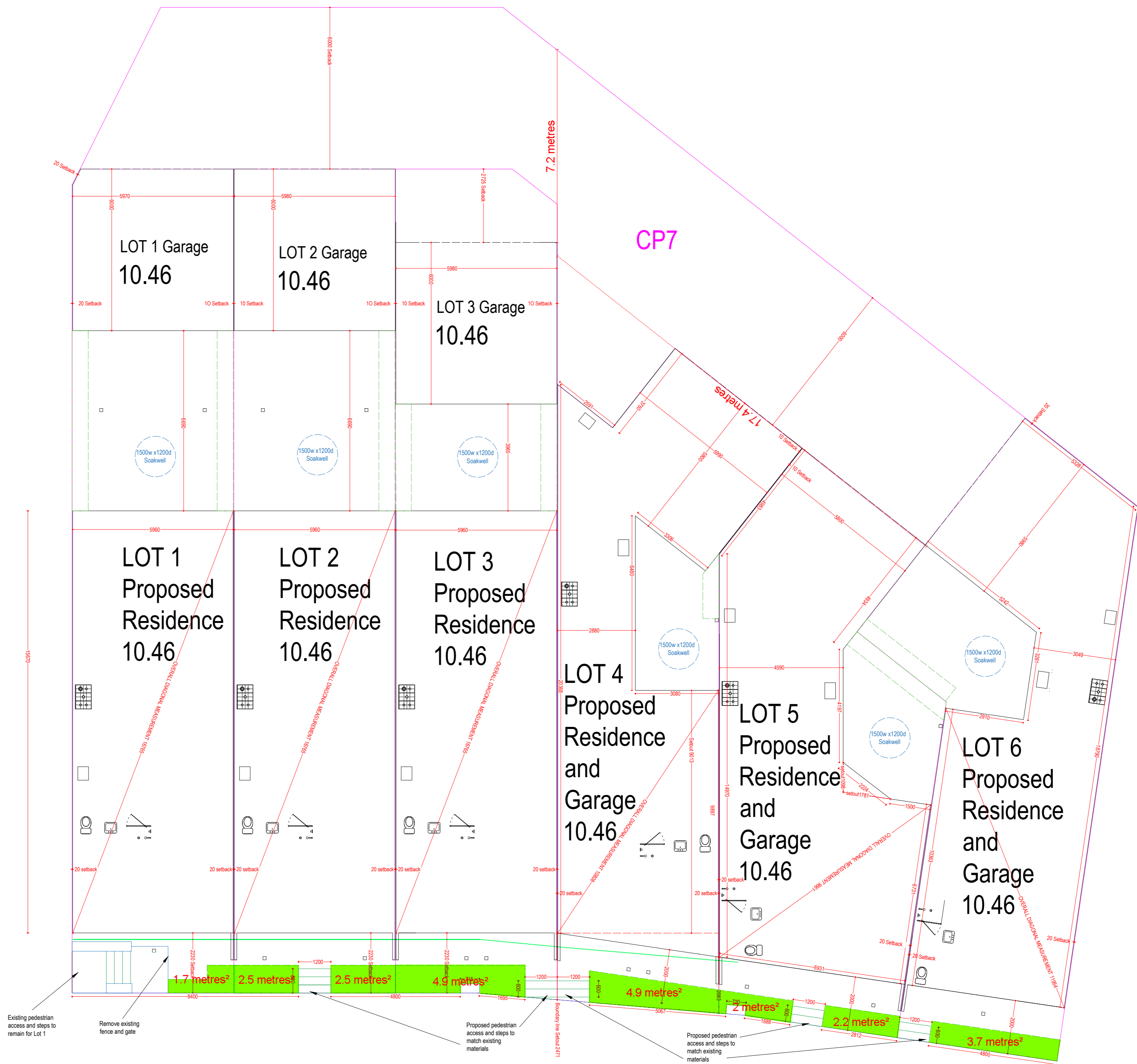
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 Mobile: 0407 099 901  
 Christopher Holdings (WA) Pty Ltd  
 Builders Reg. No.: 101357  
 Registered Supervisor: G. Cheshire Reg. No.: 101565

Lot 597 Jansae Grove  
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 Jindalee

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**Proposed Site Plan and Setout**  
 Scale 1:100



Existing pedestrian access and steps to remain for Lot 1

Remove existing fence and gate

Proposed pedestrian access and steps to match existing materials

Proposed pedestrian access and steps to match existing materials

1.7 metres<sup>2</sup> 2.5 metres<sup>2</sup> 2.5 metres<sup>2</sup> 4.9 metres<sup>2</sup> 4.9 metres<sup>2</sup> 2 metres<sup>2</sup> 2.2 metres<sup>2</sup> 3.7 metres<sup>2</sup>

# Floor Areas

Unit 1  
 Ground Floor area 93.4m<sup>2</sup>  
 Upper Floor area 90.5m<sup>2</sup>  
 Garage 35.8m<sup>2</sup>  
 Alfresco 15m<sup>2</sup>  
 Balcony 4.8m<sup>2</sup>  
 Verandah 4.8m<sup>2</sup>  
 Total Area 244.3m<sup>2</sup>

Unit 2  
 Ground Floor area 93.4m<sup>2</sup>  
 Upper Floor area 90.5m<sup>2</sup>  
 Garage 35.8m<sup>2</sup>  
 Alfresco 15m<sup>2</sup>  
 Balcony 6m<sup>2</sup>  
 Verandah 6m<sup>2</sup>  
 Total Area 246.7m<sup>2</sup>

Unit 3  
 Ground Floor area 93.4m<sup>2</sup>  
 Upper Floor area 90.5m<sup>2</sup>  
 Garage 35.8m<sup>2</sup>  
 Alfresco 15.7m<sup>2</sup>  
 Balcony 6m<sup>2</sup>  
 Verandah 6m<sup>2</sup>  
 Total Area 247.4m<sup>2</sup>

Unit 4  
 Ground Floor area 82m<sup>2</sup>  
 Upper Floor area 89.7m<sup>2</sup>  
 Garage 34.7m<sup>2</sup>  
 Alfresco 8.6m<sup>2</sup>  
 Balcony 6m<sup>2</sup>  
 Verandah 6m<sup>2</sup>  
 Total Area 227m<sup>2</sup>

Unit 5  
 Ground Floor area 77m<sup>2</sup>  
 Upper Floor area 97m<sup>2</sup>  
 Garage 33.4m<sup>2</sup>  
 Alfresco 9.6m<sup>2</sup>  
 Balcony 6.9m<sup>2</sup>  
 Verandah 6.9m<sup>2</sup>  
 Total Area 230.8m<sup>2</sup>

Unit 6  
 Ground Floor area 75.4m<sup>2</sup>  
 Upper Floor area 95m<sup>2</sup>  
 Garage 35.5m<sup>2</sup>  
 Alfresco 12m<sup>2</sup>  
 Balcony 4.8m<sup>2</sup>  
 Verandah 4.8m<sup>2</sup>  
 Total Area 227.5m<sup>2</sup>

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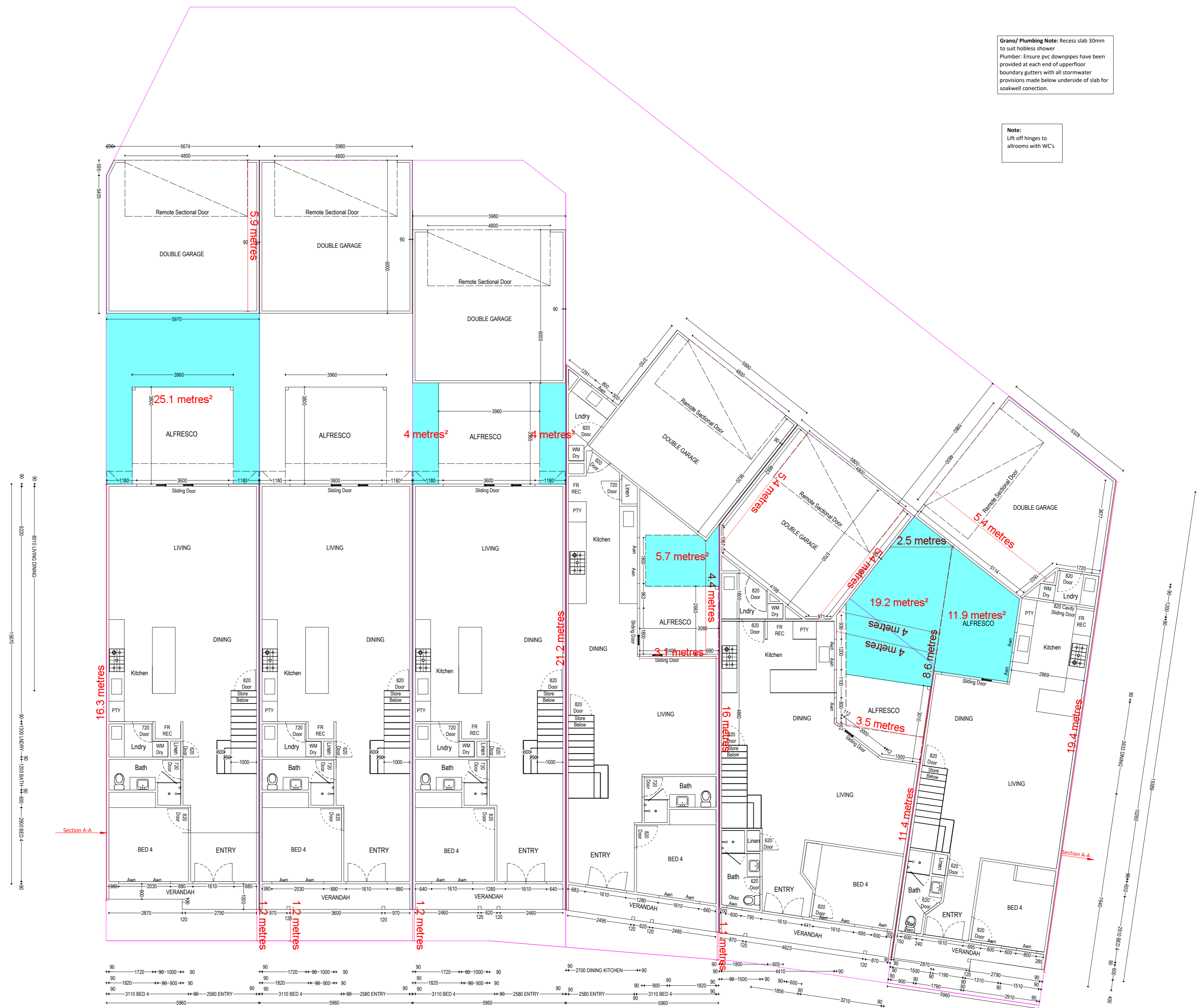
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A2 Page 2

Proposed Ground  
 Floor Plan  
 Scale 1:100

**Grano/ Plumbing Note:** Recess slab 30mm to suit hobless shower  
 Plumber: Ensure pvc downpipes have been provided at each end of upperfloor boundary gutters with all stormwater provisions made below underside of slab for soakwell connection.

**Note:**  
 Lift off hinges to allrooms with WC's



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 Garage 35.8m<sup>2</sup>  
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 Alfresco 8.6m<sup>2</sup>  
 Balcony 6m<sup>2</sup>  
 Verandah 6m<sup>2</sup>  
 Total Area 227m<sup>2</sup>

Unit 5  
 Ground Floor area 77m<sup>2</sup>  
 Upper Floor area 97m<sup>2</sup>  
 Garage 33.4m<sup>2</sup>  
 Alfresco 9.6m<sup>2</sup>  
 Balcony 6.9m<sup>2</sup>  
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 Ground Floor area 75.4m<sup>2</sup>  
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 Total Area 227.5m<sup>2</sup>

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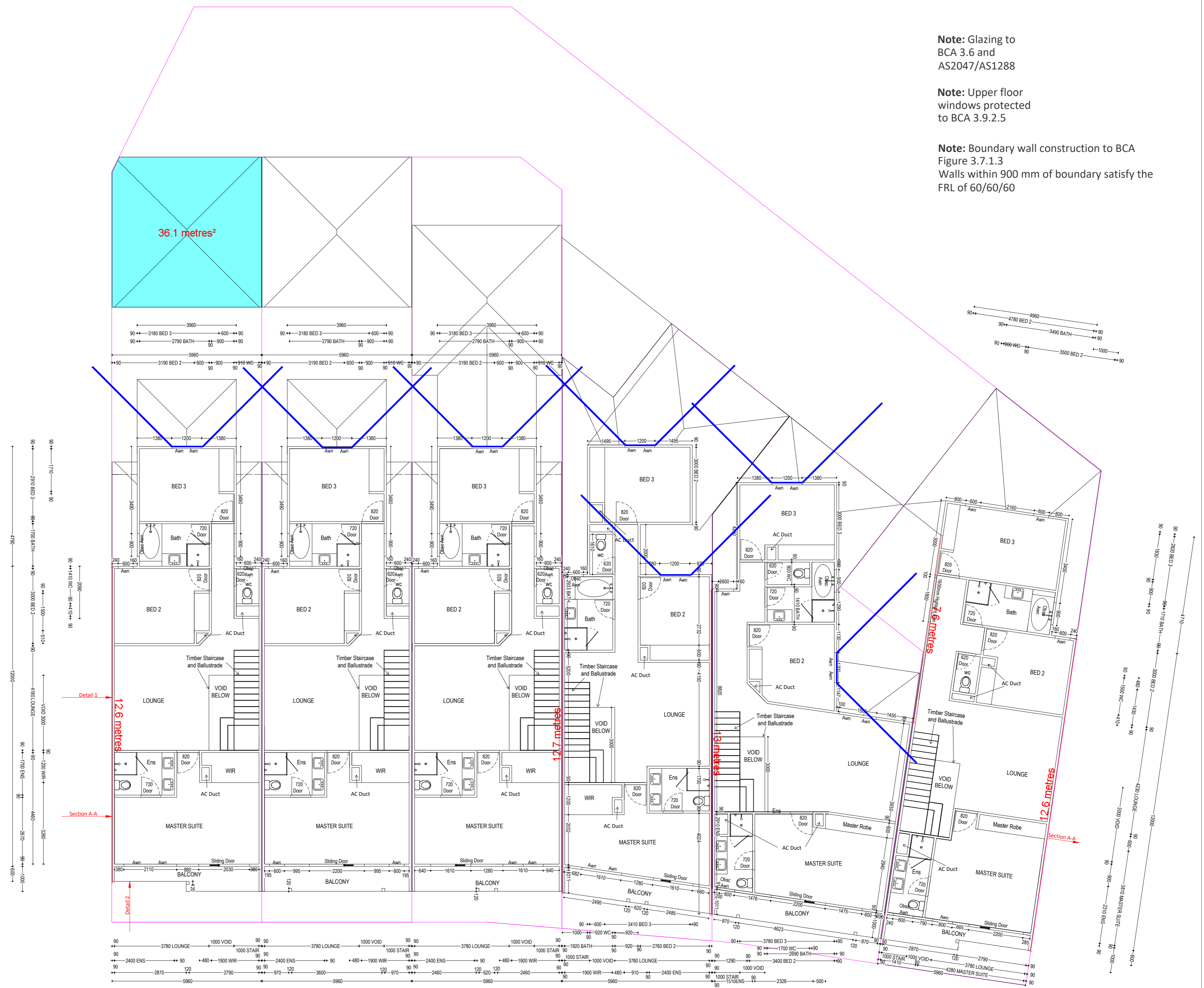
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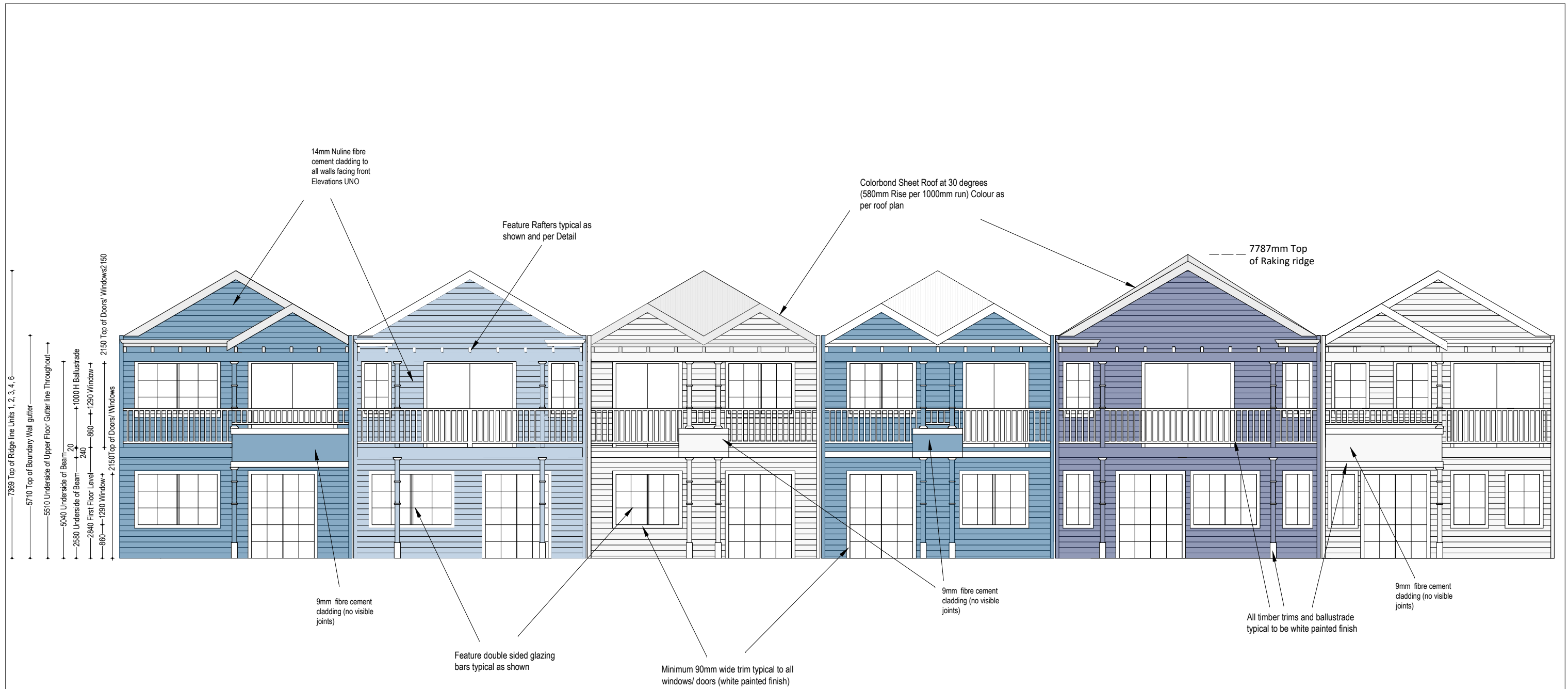
A2 Page 3  
**Proposed Upper  
 Floor Plan**  
 Scale 1:100

**Note:** Glazing to  
 BCA 3.6 and  
 AS2047/AS1288

**Note:** Upper floor  
 windows protected  
 to BCA 3.9.2.5

**Note:** Boundary wall construction to BCA  
 Figure 3.7.1.3  
 Walls within 900 mm of boundary satisfy the  
 FRL of 60/60/60





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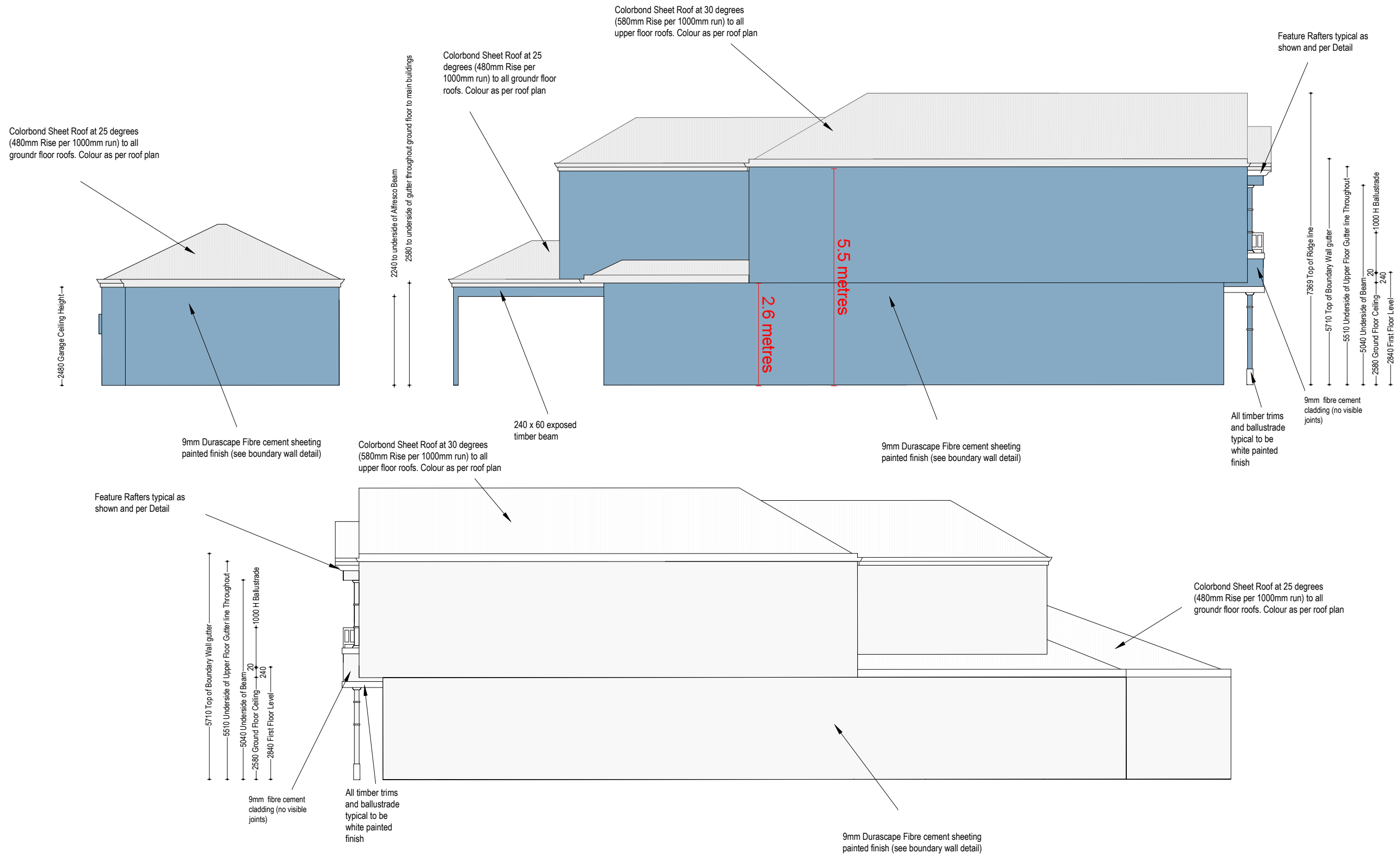
## Front Elevation

Scale 1: 100

# A3 page 1

## Primary Exterior Colour Chart

- Unit 1 Dulux Winter Palace S37F7
- Unit 2 Dulux Placid Blue S37F1
- Unit 3 Colorbond Shale Grey
- Unit 4 Dulux Winter Palace S37F7
- Unit 5 Dulux Legal Eagle S4D15
- Unit 6 Colorbond Shale Grey



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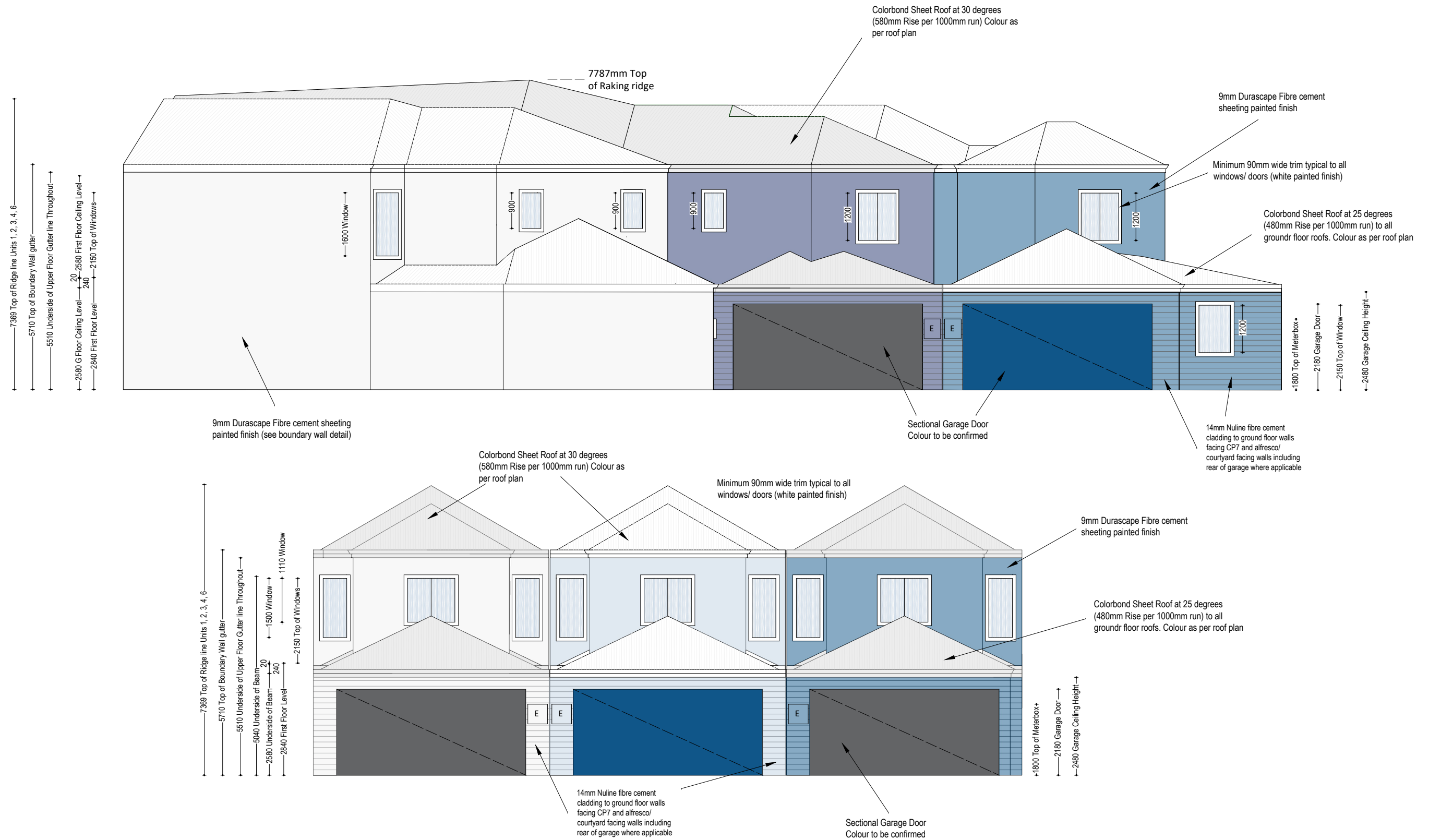
## West & East Elevation

Scale 1: 100

A3 page 2

### Primary Exterior Colour Chart

- Unit 1 Dulux Winter Palace S37F7
- Unit 2 Dulux Placid Blue S37F1
- Unit 3 Colorbond Shale Grey
- Unit 4 Dulux Winter Palace S37F7
- Unit 5 Dulux Legal Eagle S4D15
- Unit 6 Colorbond Shale Grey



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# North Boundary Elevation

Scale 1: 100

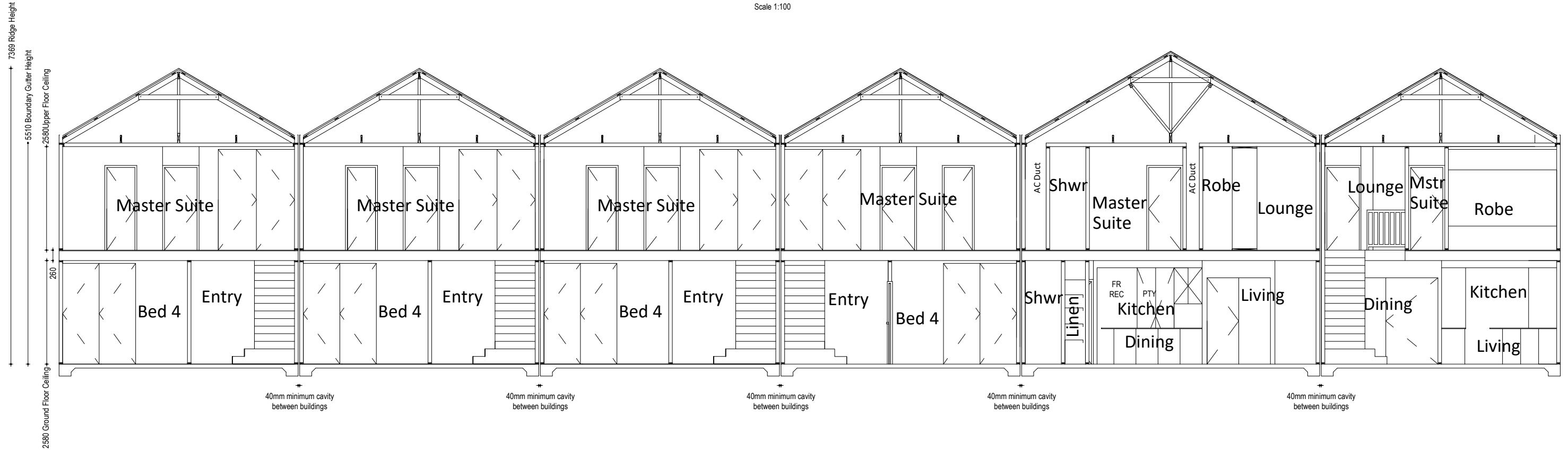
A3 page 3

## Primary Exterior Colour Chart

- Unit 1 Dulux Winter Palace S37F7
- Unit 2 Dulux Placid Blue S37F1
- Unit 3 Colorbond Shale Grey
- Unit 4 Dulux Winter Palace S37F7
- Unit 5 Dulux Legal Eagle S4D15
- Unit 6 Colorbond Shale Grey

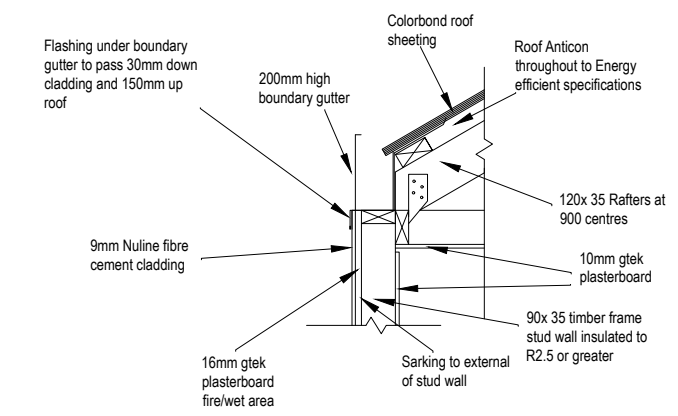
Section A - A

Scale 1:100



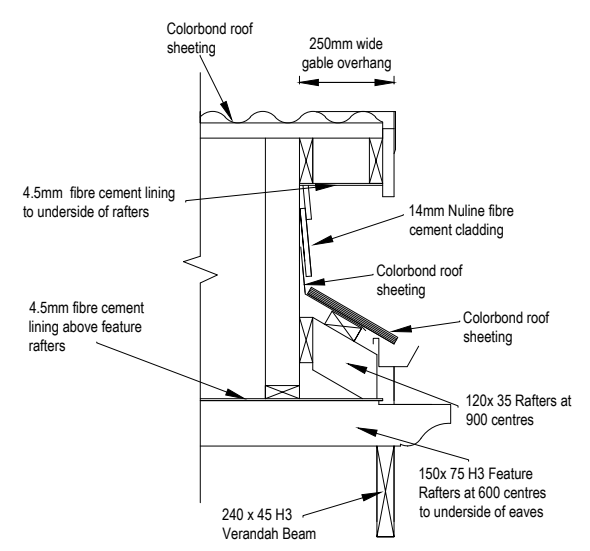
**Note:**  
Conventional Roof and Wall and Floor Construction in Accordance with Timber Framing Code A.S 1684

**Note:**  
Timber framed staircase and internal ballustrade to Builders details and NCC requirements



Detail 1 Zero Lot Boundary Gutter detail (typical)

Scale 1:20



Detail 2 Verandah and Gable Detail

Scale 1:20

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**Section/Detail**  
 Scale 1: 100 / 1: 20  
**A3 page 4**