

1 Existing Site Survey  
1 : 100



GOOGLE MAPS REFERENCE IMAGE PRIOR TO 2021\*  
(FRONT SETBACK TREES SINCE REMOVED)



IMAGE 1 (JUNE 2023)



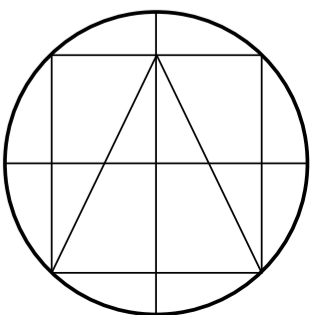
IMAGE 2 (JUNE 2023)

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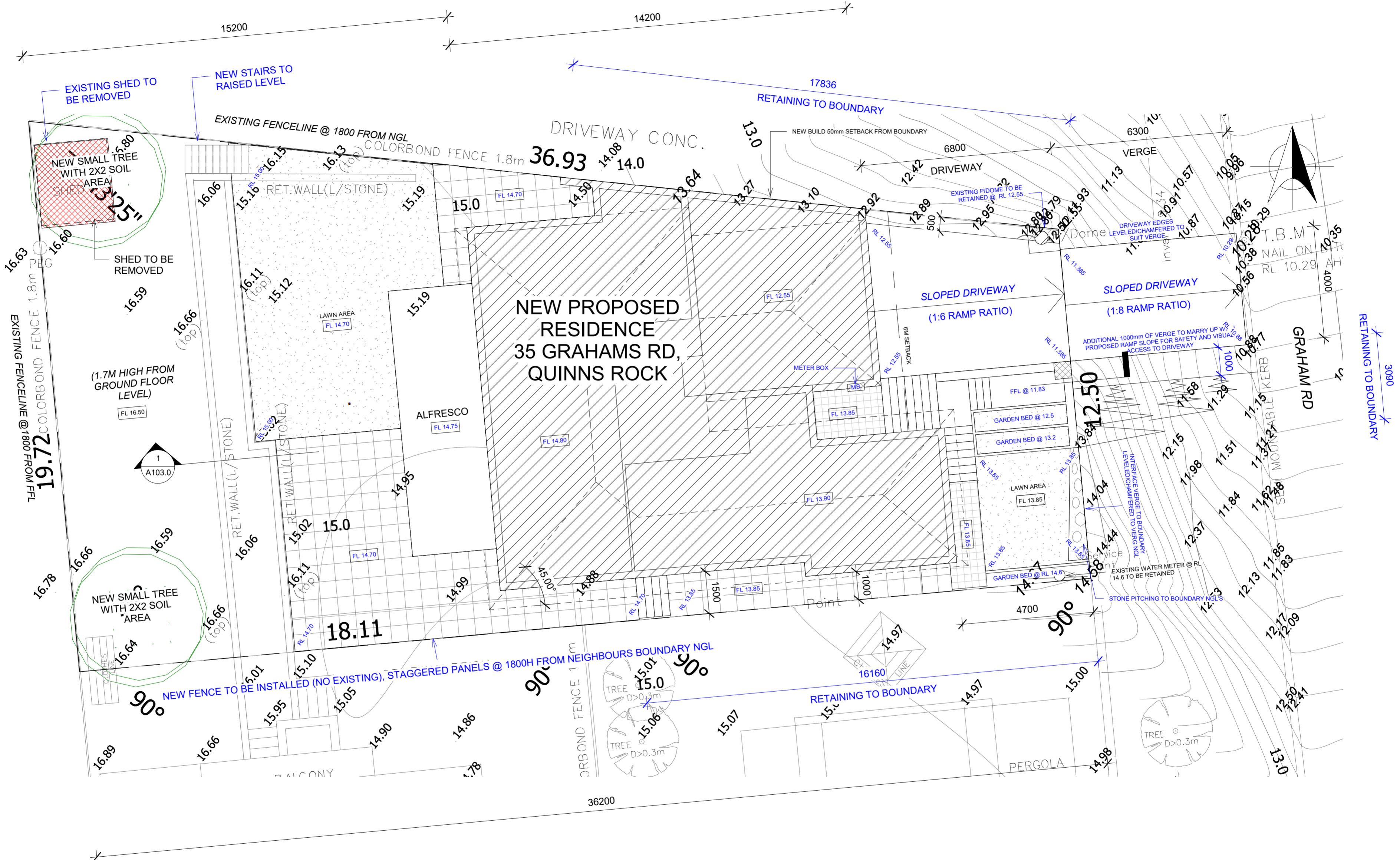
Client	Neil & Lynne Lomax	Project number	2218
Project	New Residential	Drawn by	jb
		Reviewed by	md
Address	35 Grahams Rd, QUINNS ROCK	Scale	1 : 100
		Date	12.09.23

Suite 8 / 9 Cleaver Street  
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A100.2







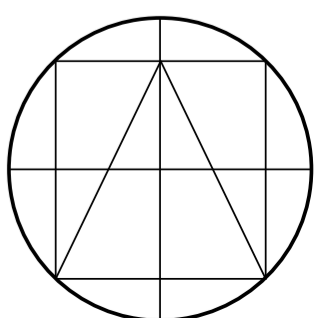
1 Site Plan  
1 : 100

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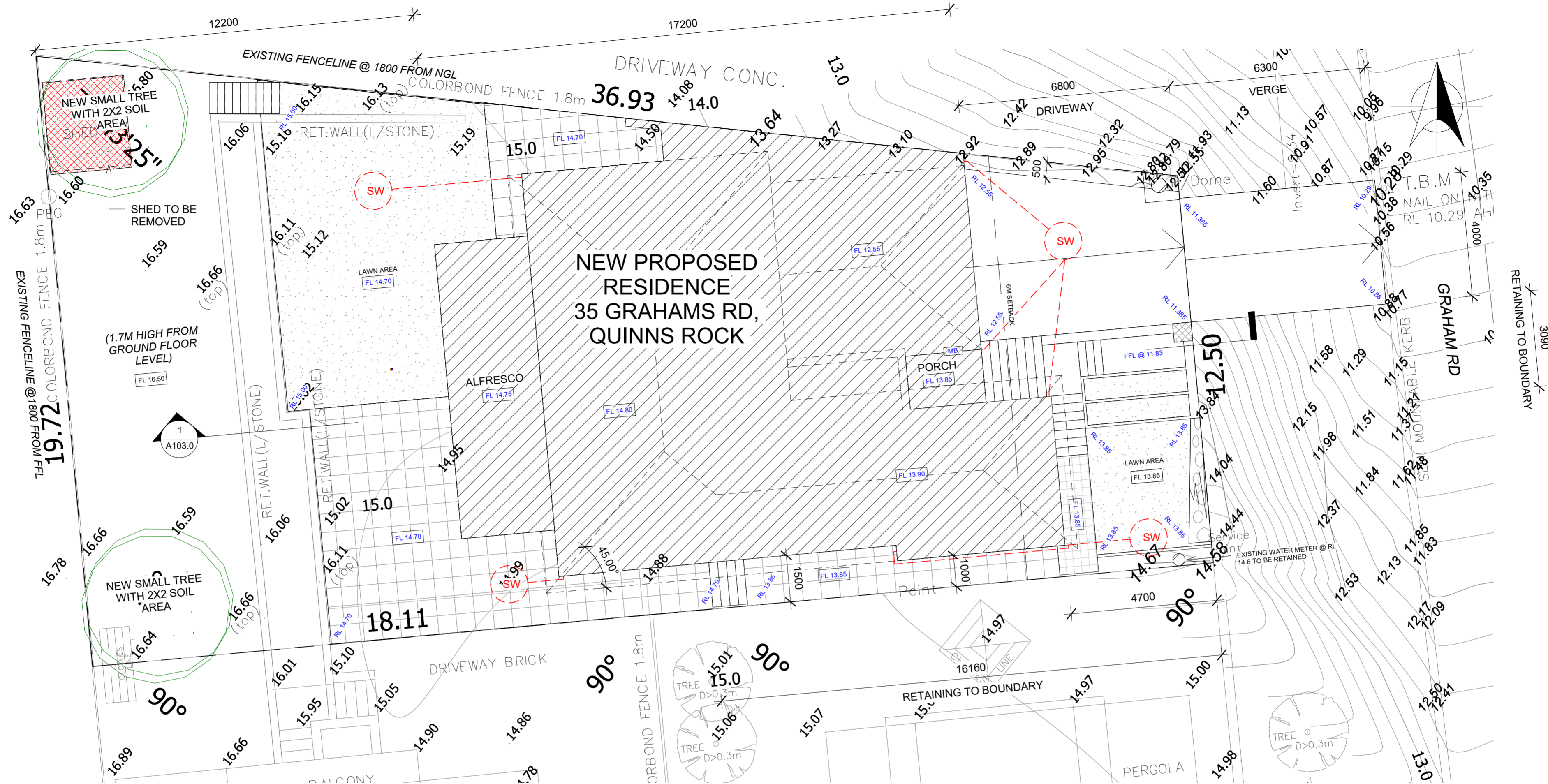
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Soakwell Calculations									
Property Address: 35 GRAHAM ROAD, QUINNS ROCK, WESTERN AUSTRALIA, WA, 6030									
Impervious Area Calculations				Number of Soaks Provided					
Length (m)	Width (m)	Area (m2)	Number	Diam	Depth	Vol m3	Area Servd Total		
		0.00			600	600	0.17	13.05	0.00
		0.00			600	900	0.25	19.57	0.00
		0.00			900	600	0.38	29.36	0.00
		0.00			900	900	0.57	44.04	0.00
		0.00			900	1200	0.76	58.72	0.00
		0.00			1200	600	0.68	52.20	0.00
		0.00		3	1200	900	1.02	78.30	3.05
		0.00			1200	1200	1.36	104.39	0.00
		0.00			1200	1500	1.70	130.49	0.00
		0.00			1500	600	1.06	81.56	0.00
		0.00			1500	900	1.59	122.34	0.00
		0.00			1500	1200	2.12	163.12	0.00
		0.00			1500	1500	2.65	203.90	0.00
		0.00			1500	1800	3.18	244.67	0.00
		0.00			1800	600	1.53	117.44	0.00
		0.00			1800	900	2.29	176.17	0.00
		0.00			1800	1200	3.05	234.89	0.00
		0.00			1800	1500	3.82	293.61	0.00
		0.00			1800	1800	4.58	352.33	0.00
Known Areas (m2)		228.00							
<b>Impervious Area</b>	<b>TOTAL</b>	<b>228.00 m2</b>							
			<b>3</b>	<b>TOTAL PROVIDED</b>				<b>3.05 m3</b>	

16.1424 litres/sec for 1 in 20 year flood event

Total Impervious Area x 0.013 = Volume of Soaks Req'd (m3)

Impervious m2: 228 m2  
 x 0.013 vol coefficient  
**2.964 m3**

TOTAL PROVIDED must be more than the TOTAL REQUIRED

Have adequate soakwells been provided? **YES**

### 1 Stormwater Drainage

1 : 100

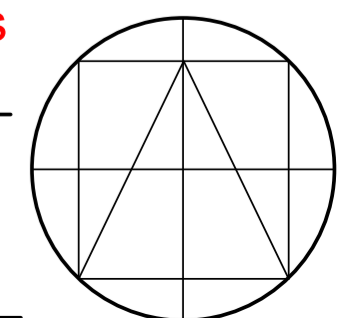
- ICON KEY:**
- - 1200 DIA STORMWATER SOAKWELL
  - - AS SPECIFIED PIPEWORK TO STORMWATER SOAKWELL FROM DRAIN PIPES

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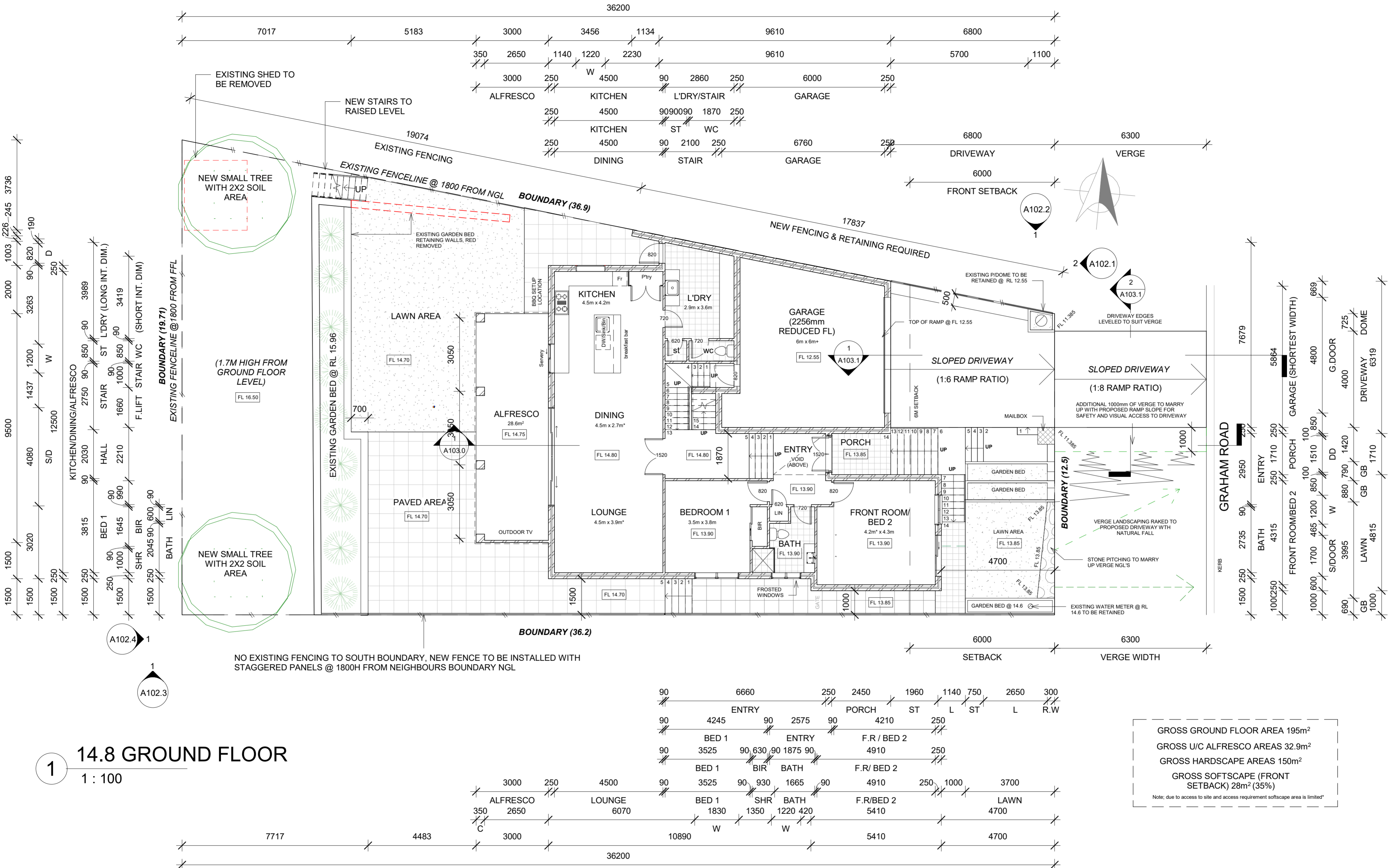
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**A100.3**





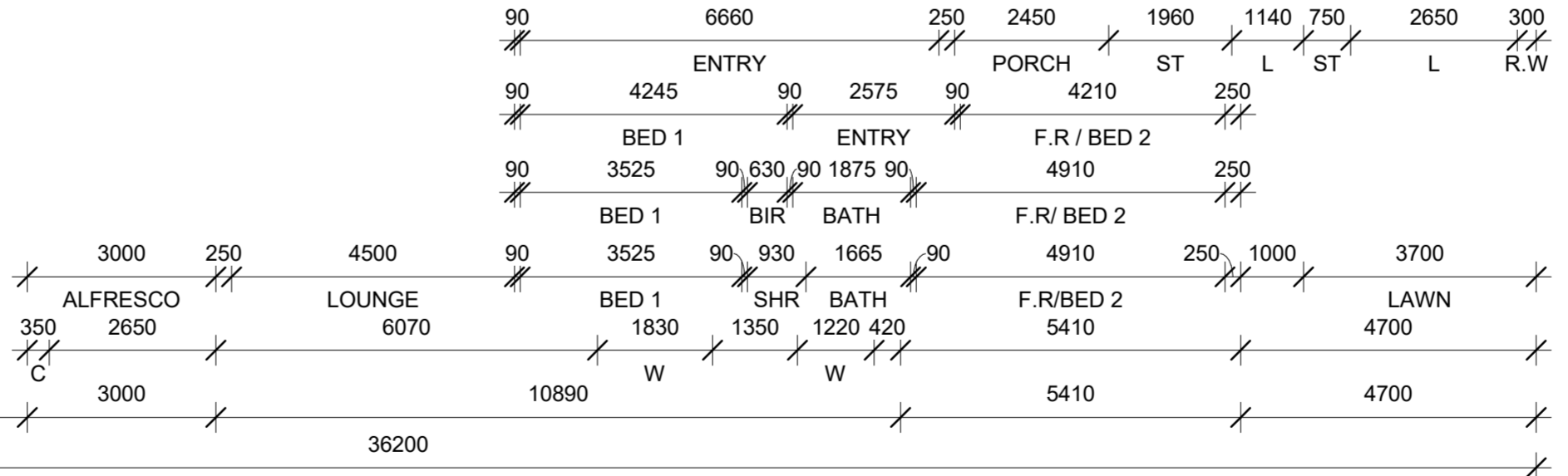


# 14.8 GROUND FLOOR

1 : 100

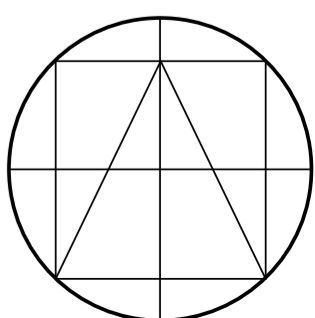
NO EXISTING FENCING TO SOUTH BOUNDARY, NEW FENCE TO BE INSTALLED WITH STAGGERED PANELS @ 1800H FROM NEIGHBOURS BOUNDARY NGL

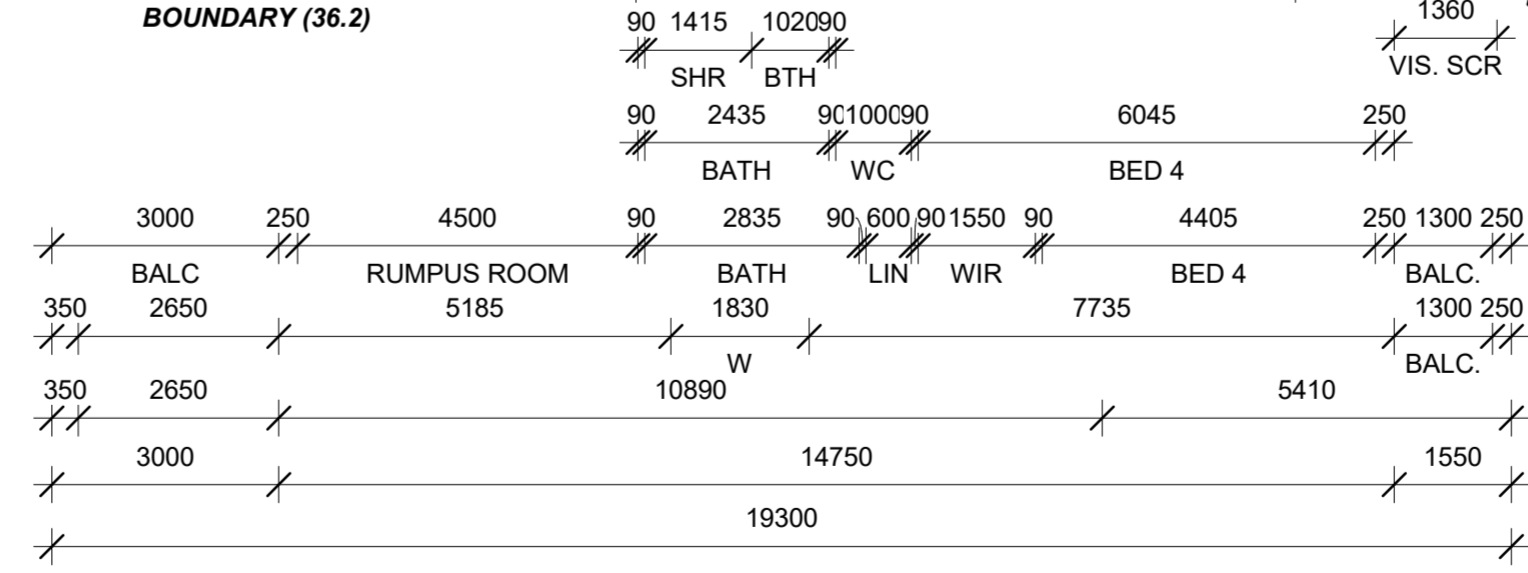
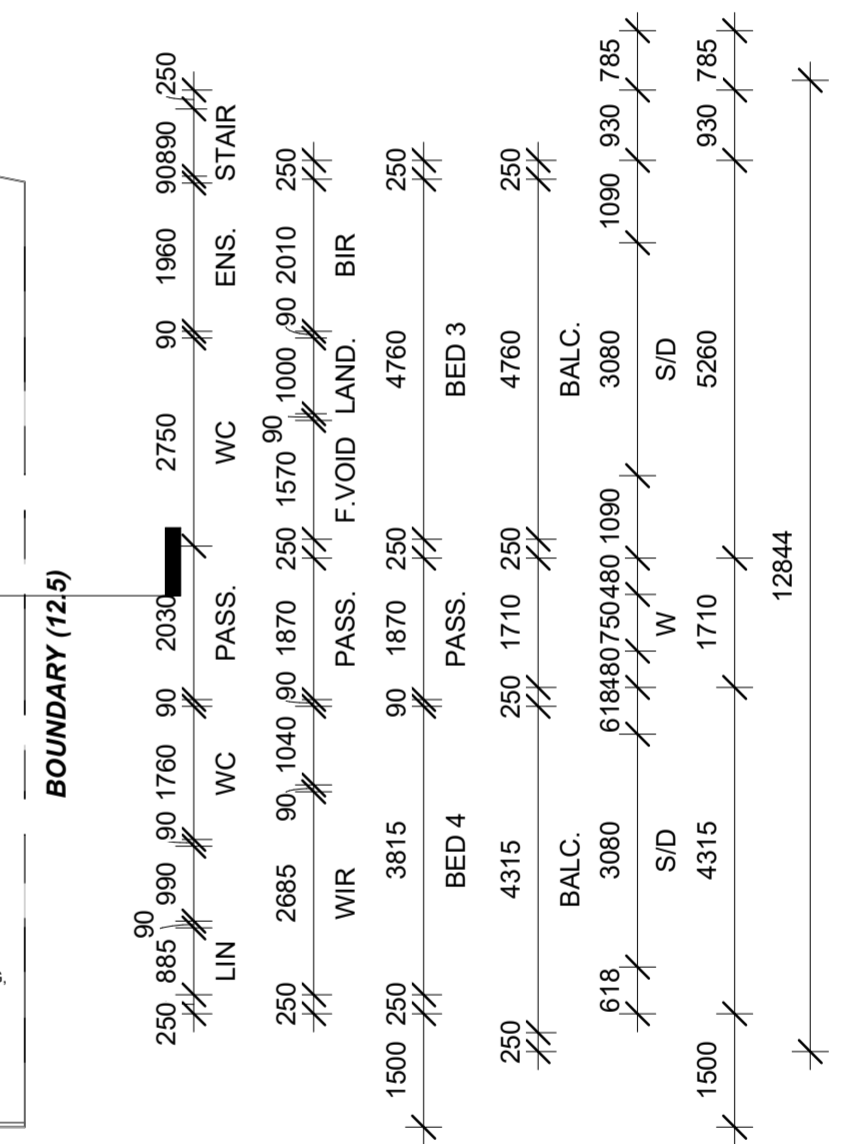
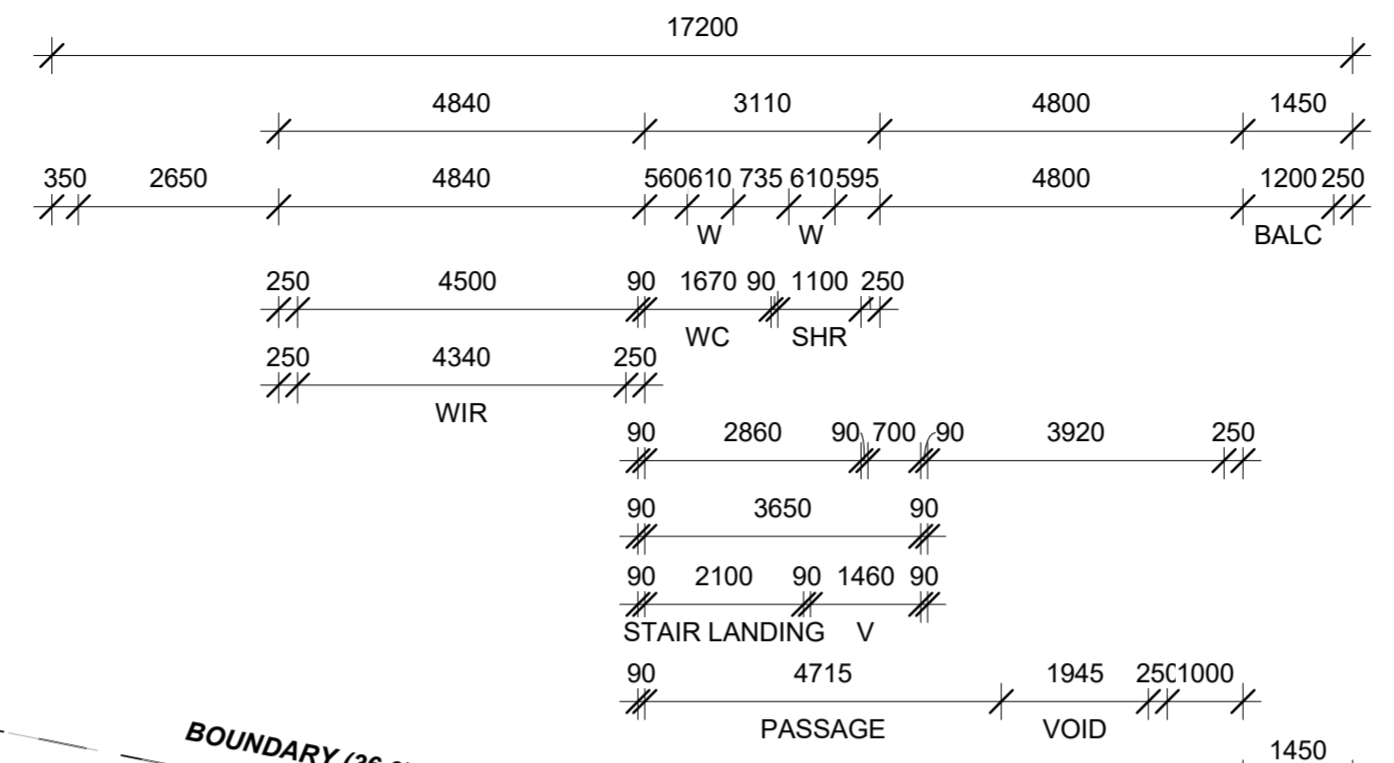
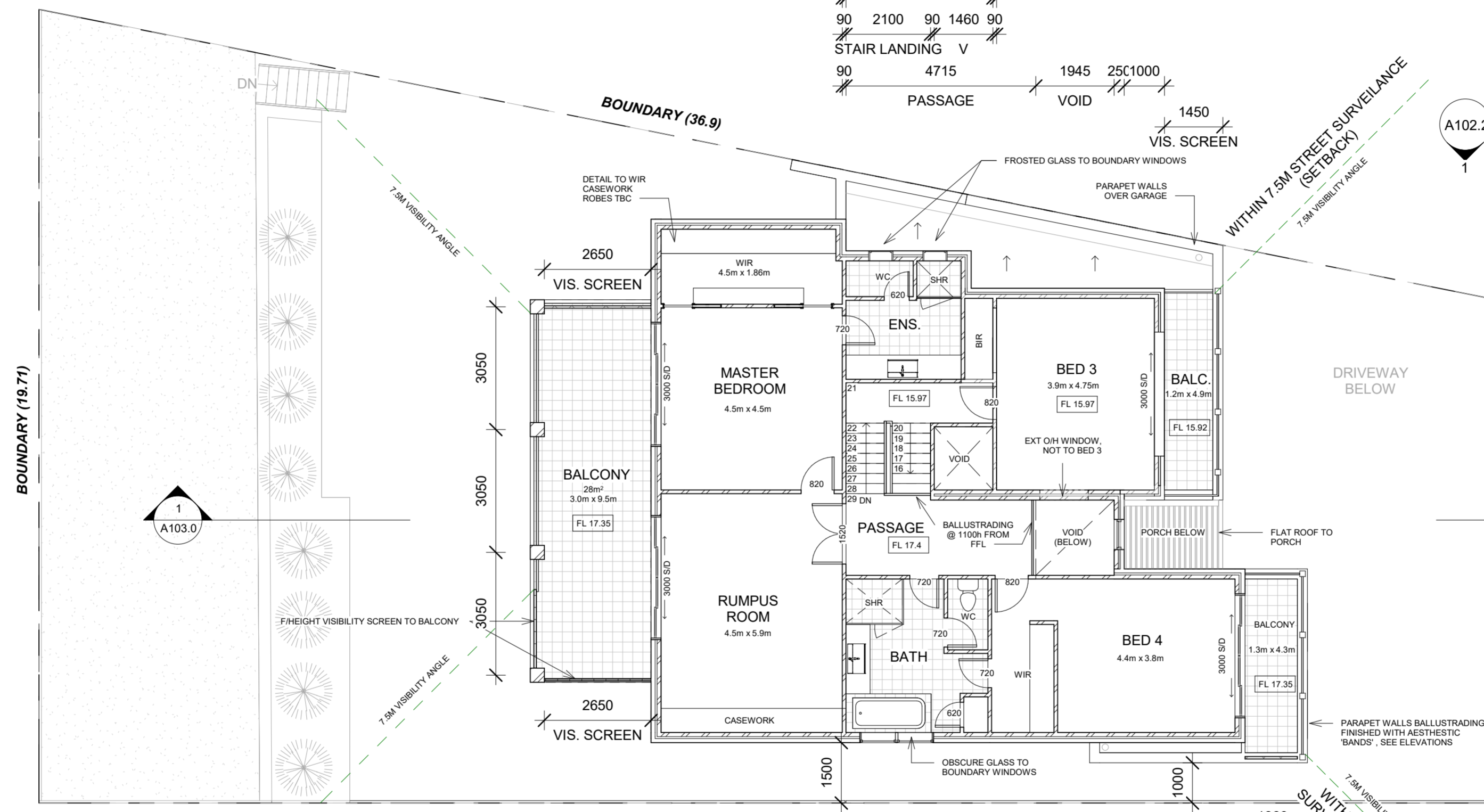
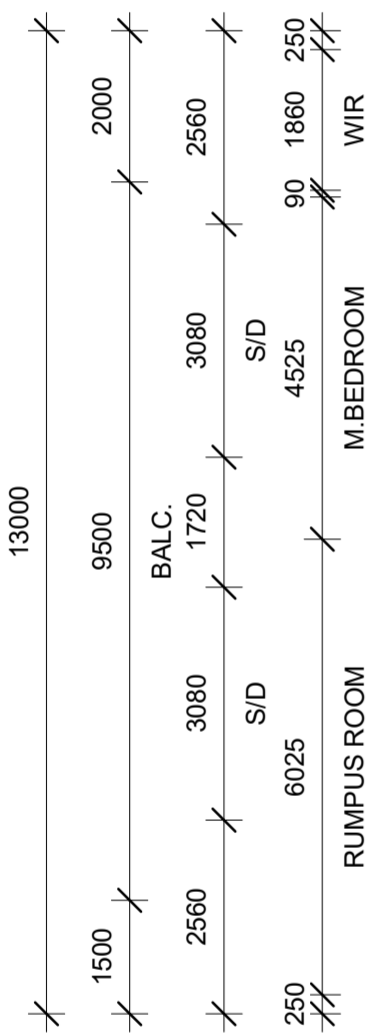
GROSS GROUND FLOOR AREA 195m<sup>2</sup>  
 GROSS U/C ALFRESCO AREAS 32.9m<sup>2</sup>  
 GROSS HARDSCAPE AREAS 150m<sup>2</sup>  
 GROSS SOFTSCAPE (FRONT SETBACK) 28m<sup>2</sup> (35%)  
Note: due to access to site and access requirement softscape area is limited\*



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GROSS FIRST FLOOR AREA 162m<sup>2</sup>  
 GROSS FIRST FLOOR BALCONY AREAS 43.6m<sup>2</sup>

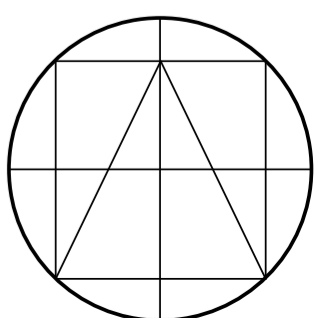
**1 17.4 FIRST FLOOR**  
 1 : 100

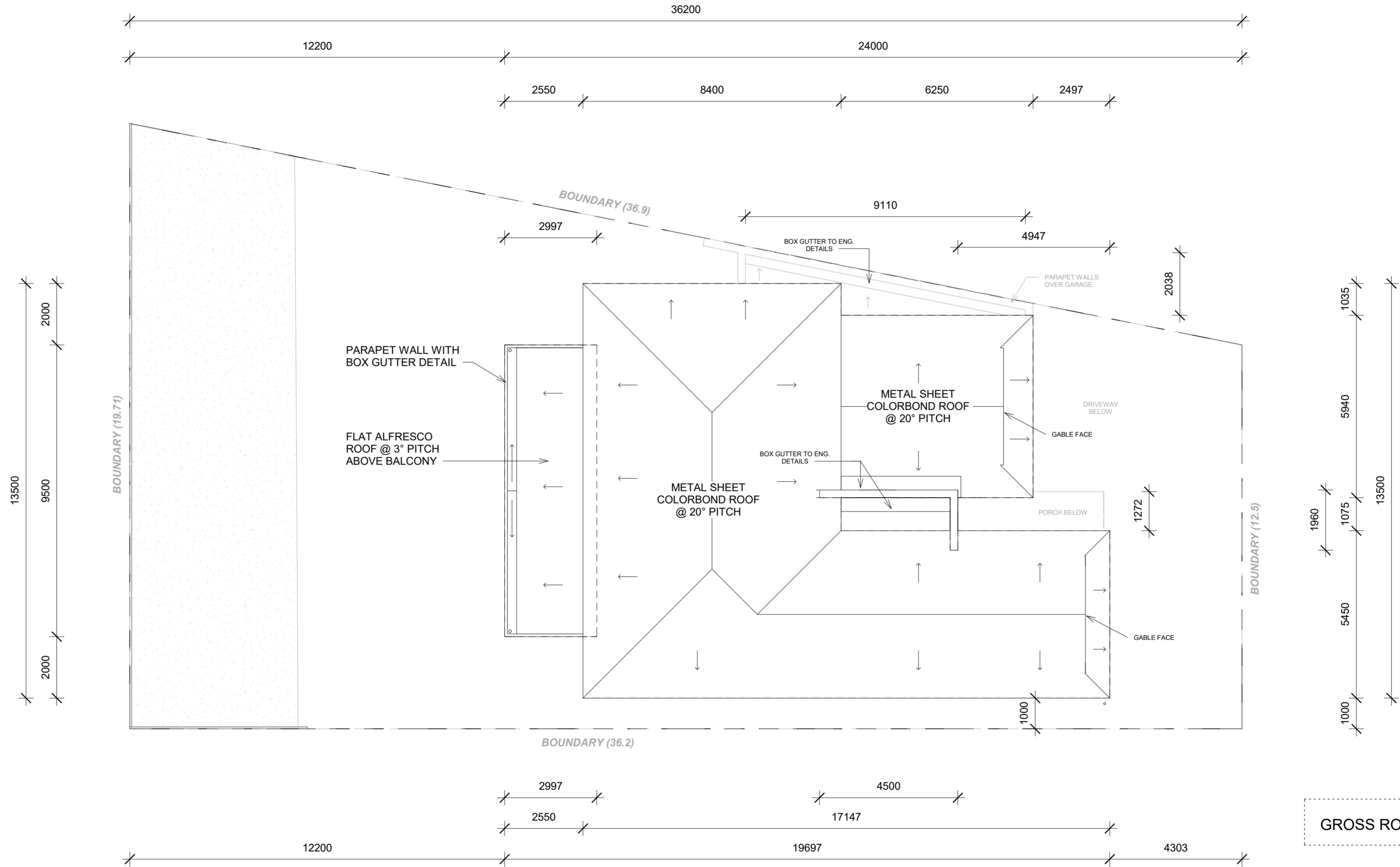
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**A101.2**





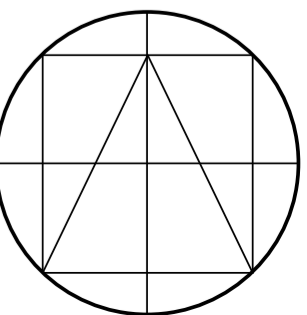
1 21.18 ROOF PLAN  
1 : 100

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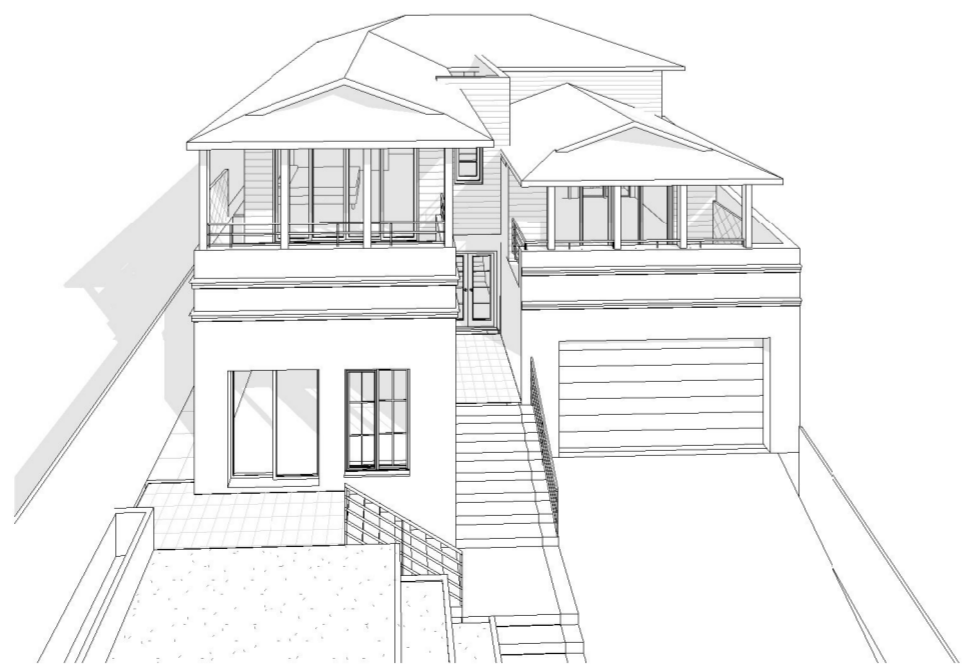
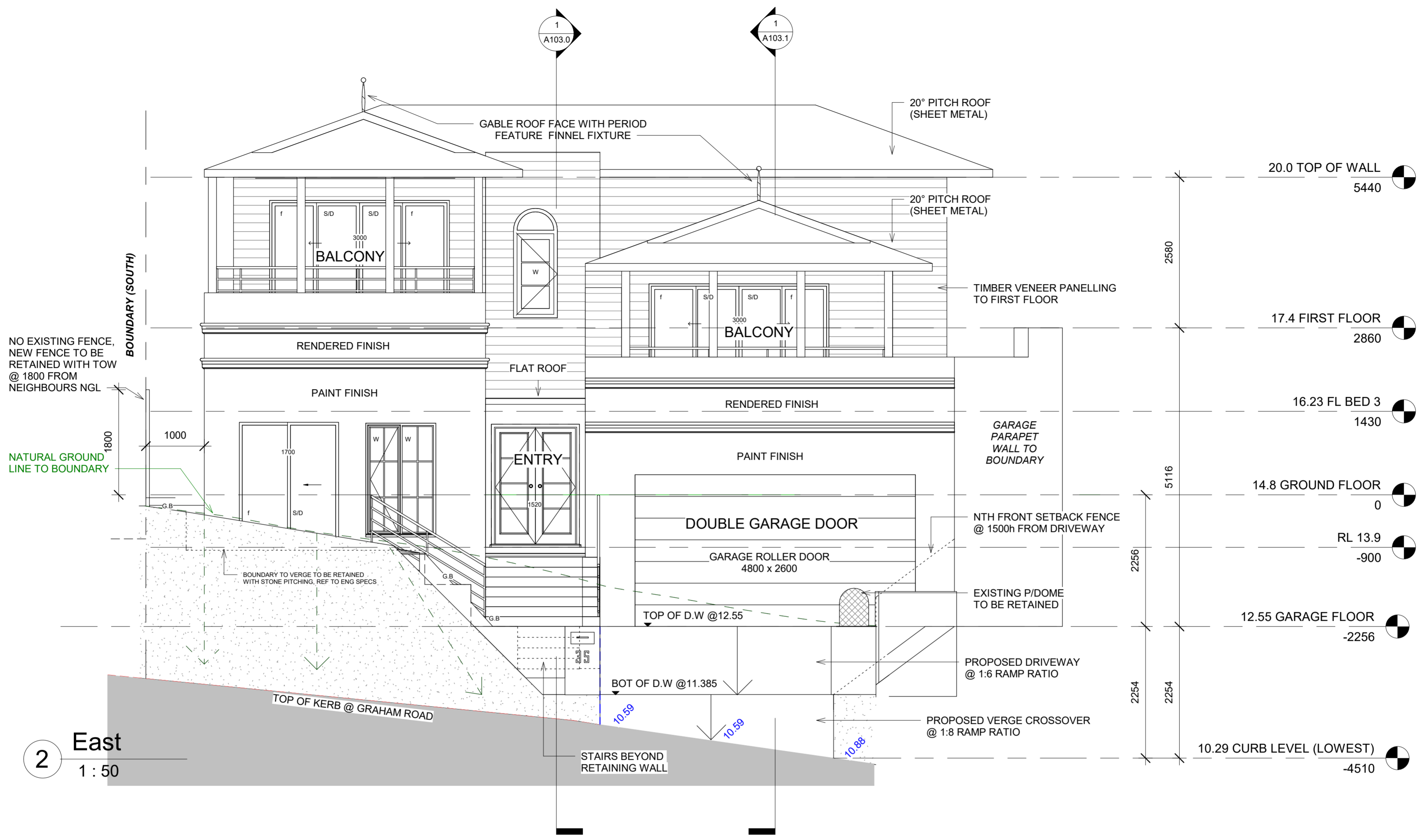
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A101.3





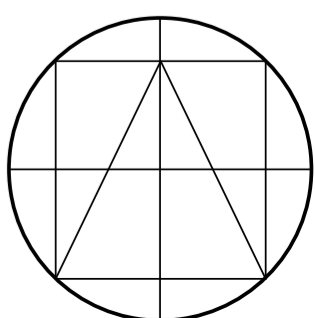


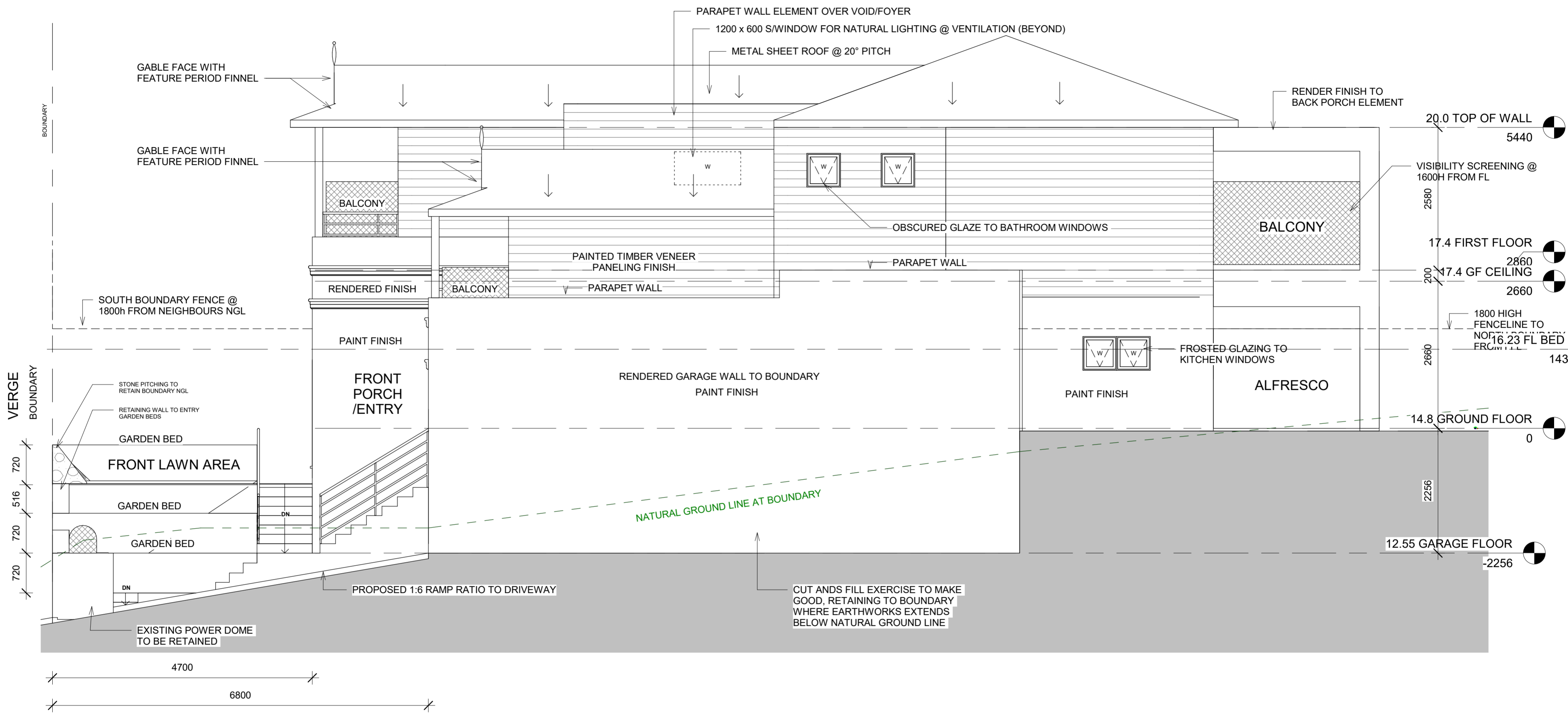
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Client	Neil & Lynne Lomax	Project number	2218
Project	New Residential	Drawn by	JB
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Address	35 Grahams Rd, QUINNS ROCK	Scale	1 : 50
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**A102.1**





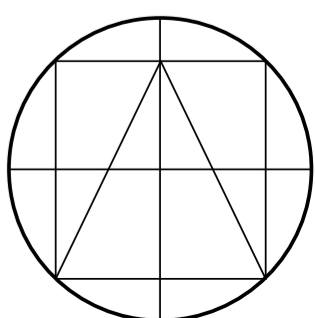
1 North  
 1 : 50

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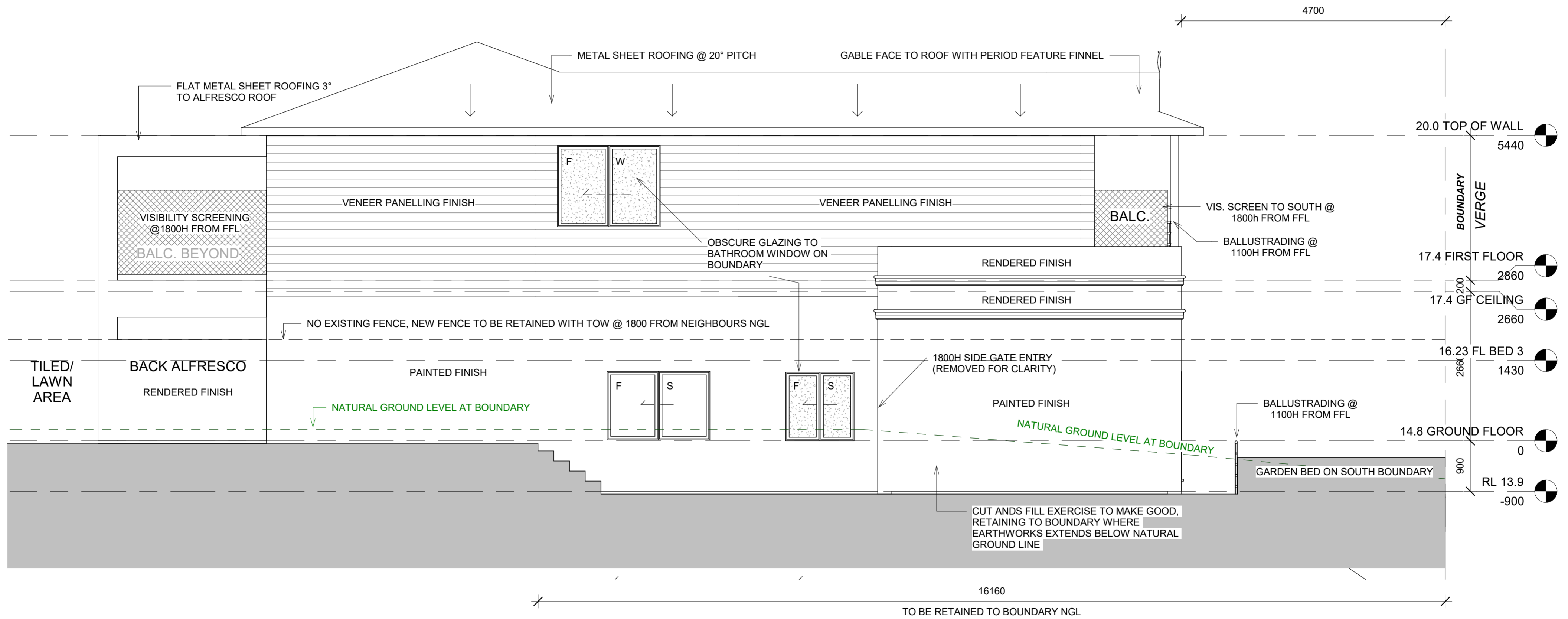
Client	Neil & Lynne Lomax	Project number	2218
Project	New Residential	Drawn by	JB
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**A102.2**







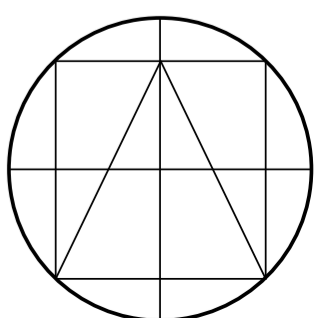
1 South  
1 : 50

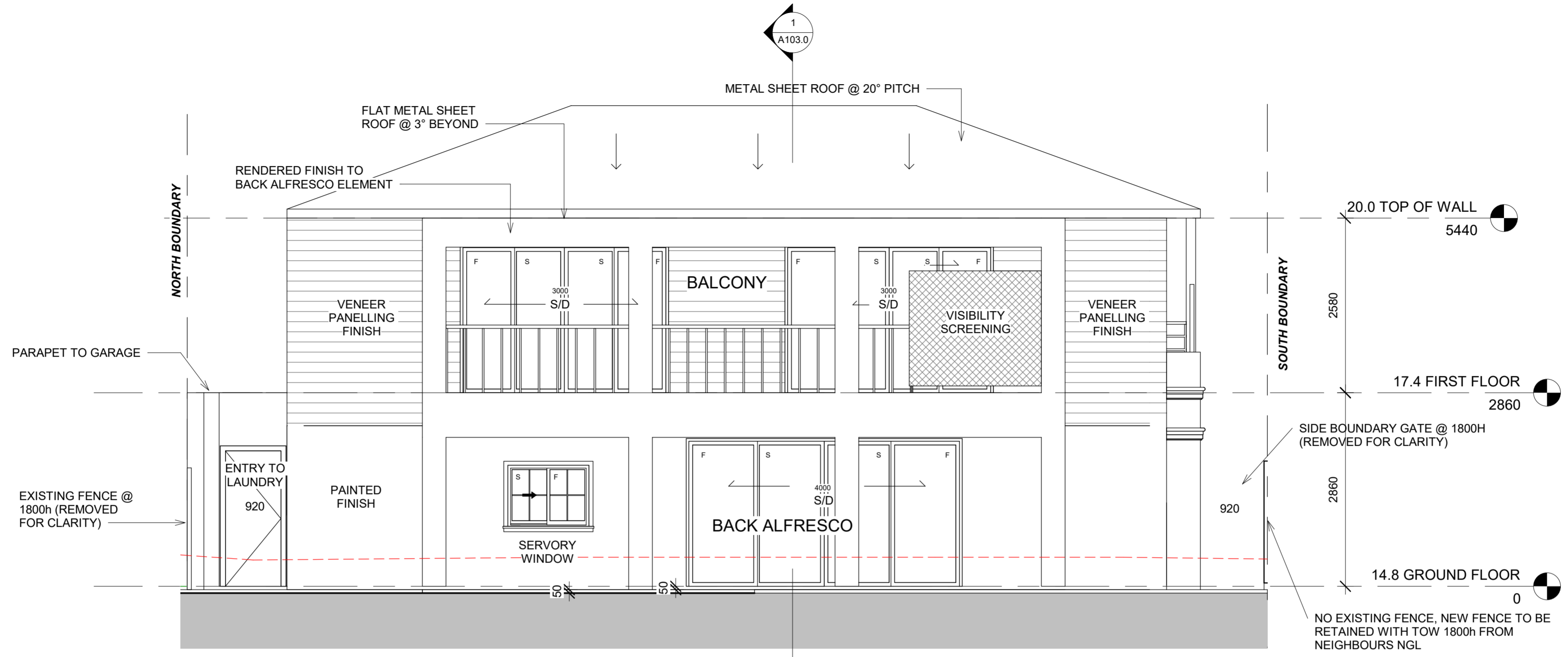
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A102.3





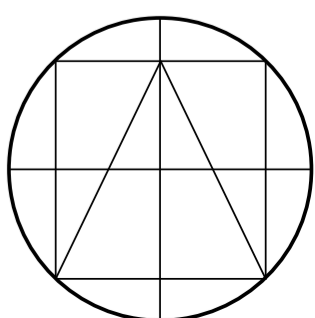
1 West  
1 : 50

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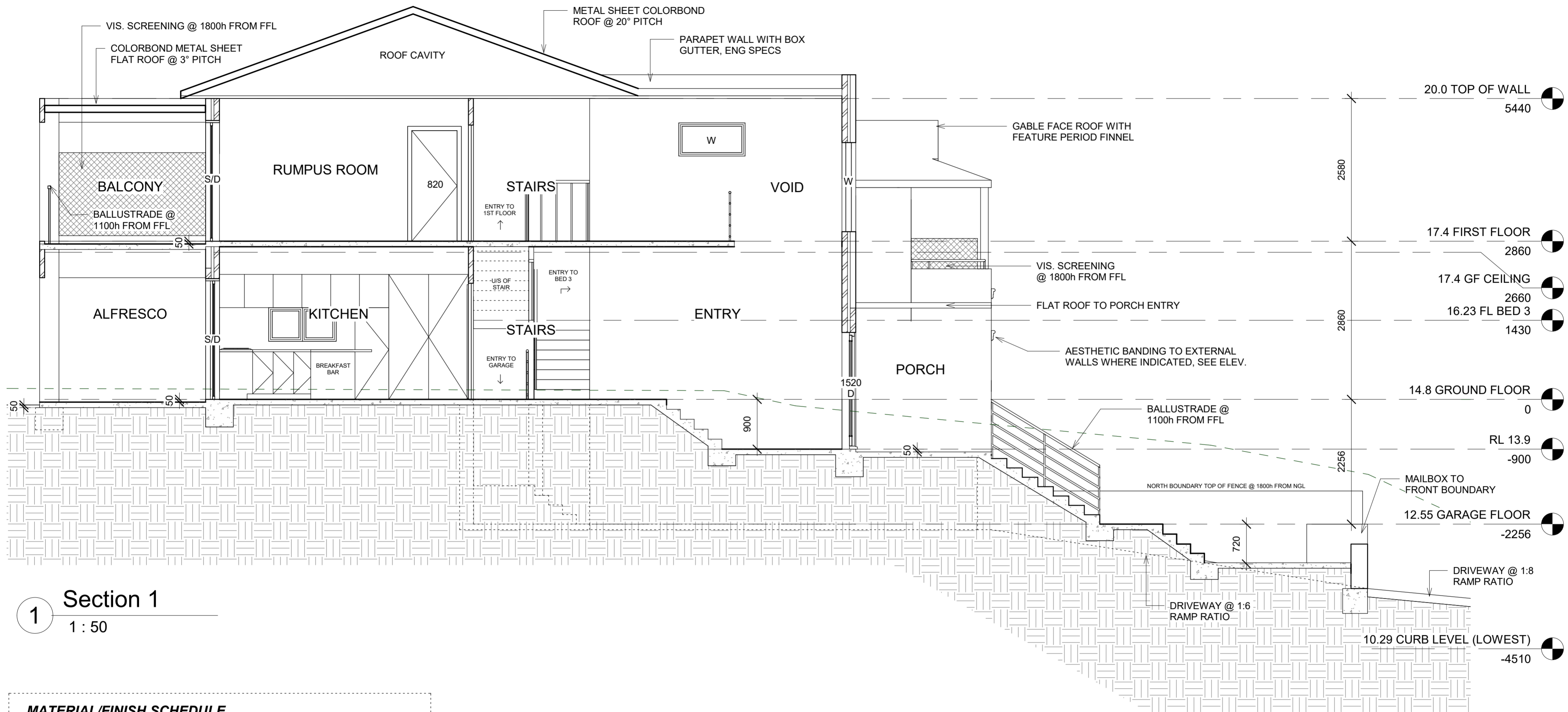
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A102.4







**MATERIAL/FINISH SCHEDULE**

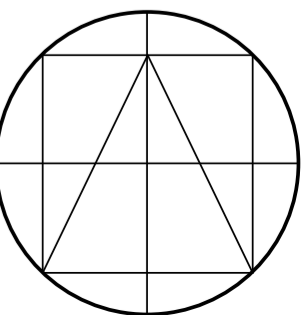
- . Roof - colorbond metal sheeting, colour as specified by client
- . Gutter Finish - powder coat paint finish, colour as specified
- . External Wall Paint Finish - paint finish as specified
- . External Wall Render - colour as specified
- . Window Trim Finish - powder coat paint as specified
- . Ballustrading - powder coat paint finish as specified
- . External Doors Finish - solid core with paint finish as specified
- . External Timber Veneer Panels - painted, colour as specified
- . Alfresco & Porch Floor Finish - tiles as specified by the client
- . Outdoor Paving - tiles as specified by the client
- . Garage Driveway - paved concrete, details as specified by the client
- . External Stairs & Steps - matching tile to floor finish where applicable
- . Balcony Poles - SHS columns as specified by eng.
- . Columns - double brick columns as specified by eng.
- . Garden Bed Retaining Walls - limestone blocks, tbc with client
- . Structural Retaining to Boundaries - limestone blocks, tbc with client
- . Stone Pitching Element - stones to match natural colour scheme of surrounding suburbia

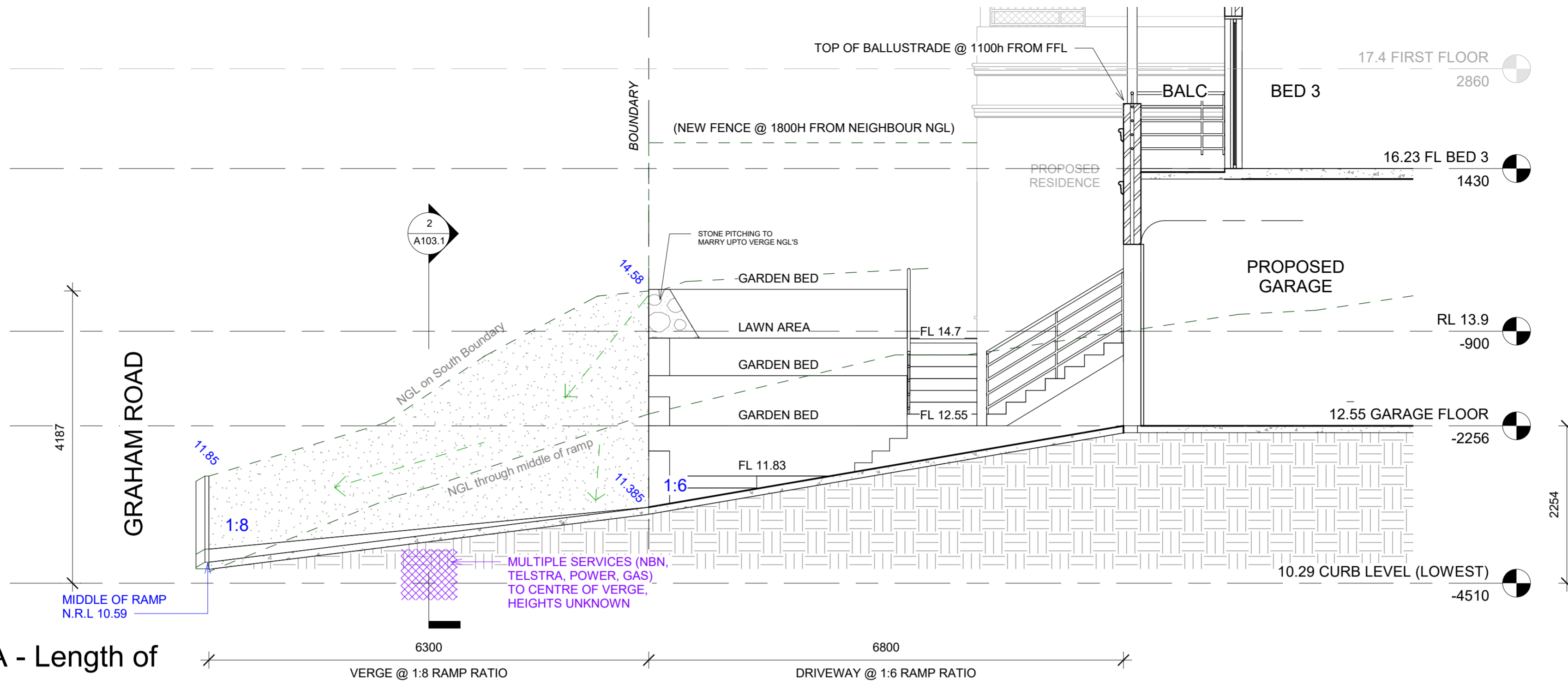
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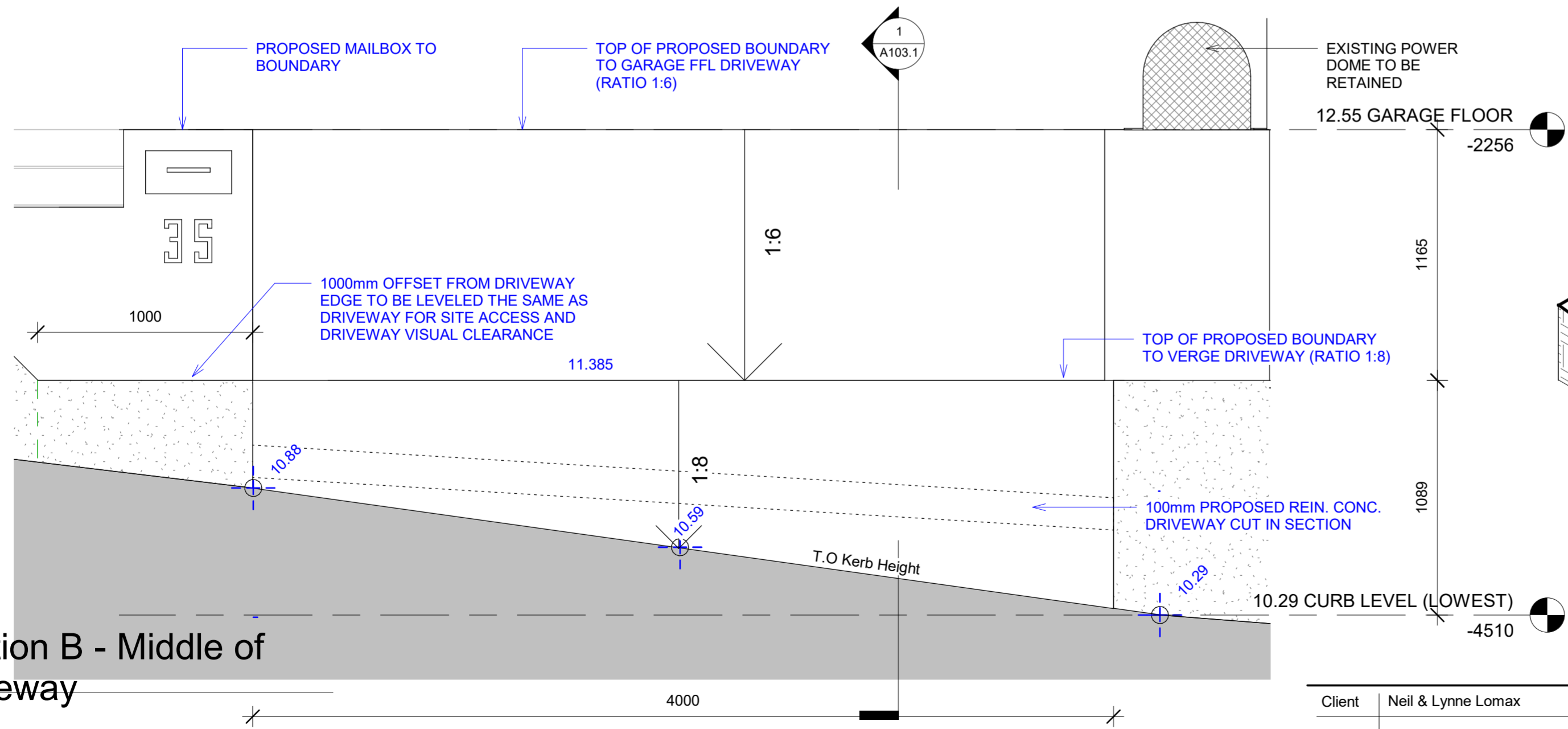
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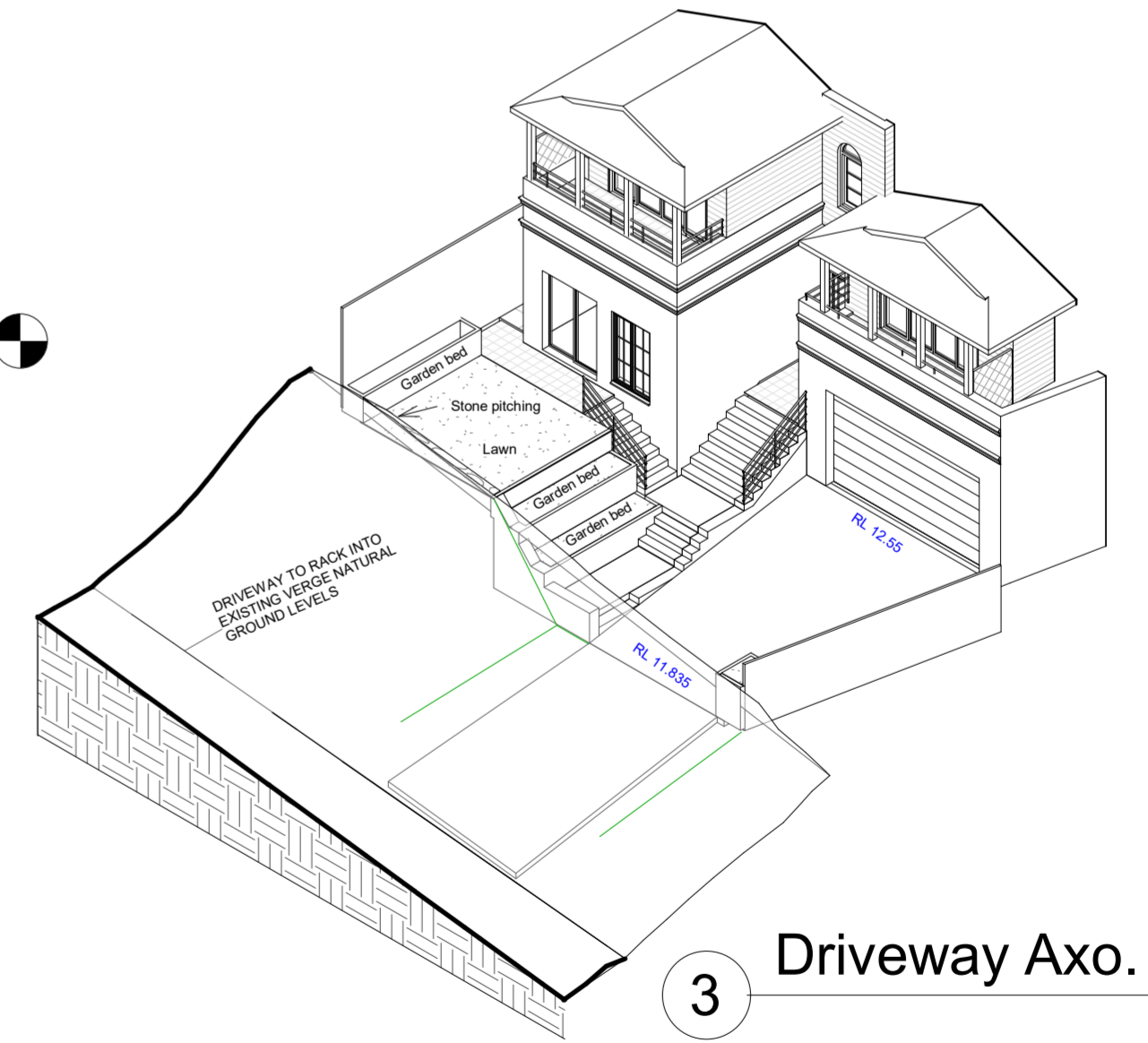




Section A - Length of Driveway  
1 : 50



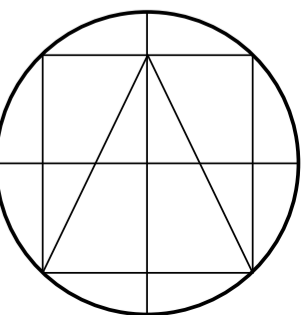
Section B - Middle of Driveway  
1 : 20



Driveway Axo.

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Client	Neil & Lynne Lomax	Project number	2218
Project	New Residential	Drawn by	Checker
Address	35 Grahams Rd, QUINNS ROCK	Reviewed by	Author
		Scale	As indicated
		Date	12.09.23



A103.1

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