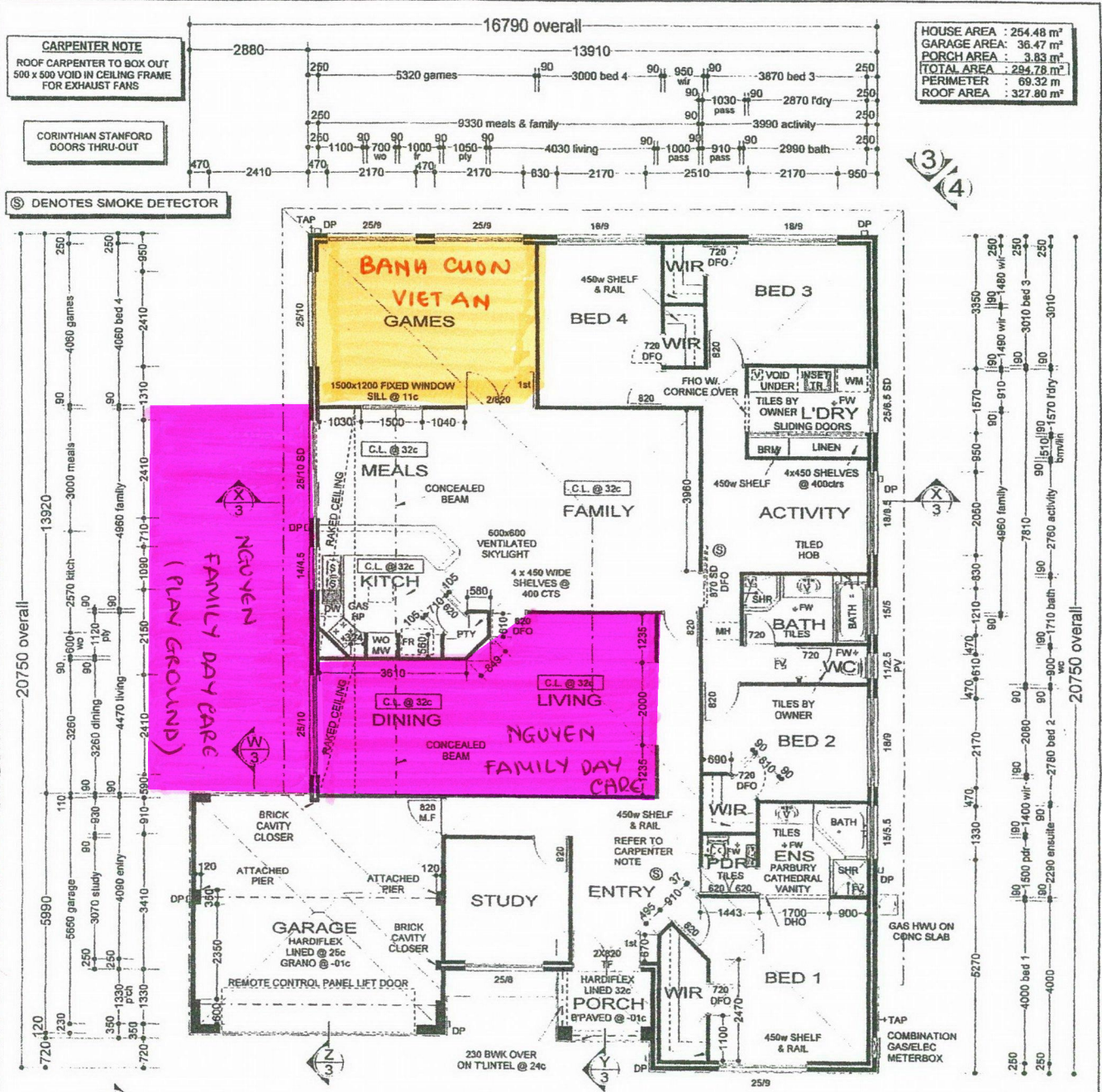


HOUSE AREA : 254.48 m²
 GARAGE AREA : 36.47 m²
 PORCH AREA : 3.83 m²
 TOTAL AREA : 294.78 m²
 PERIMETER : 69.32 m
 ROOF AREA : 327.80 m²

CARPENTER NOTE
 ROOF CARPENTER TO BOX OUT
 500 x 500 VOID IN CEILING FRAME
 FOR EXHAUST FANS

CORINTHIAN STANFORD
 DOORS THRU-OUT

Ⓢ DENOTES SMOKE DETECTOR

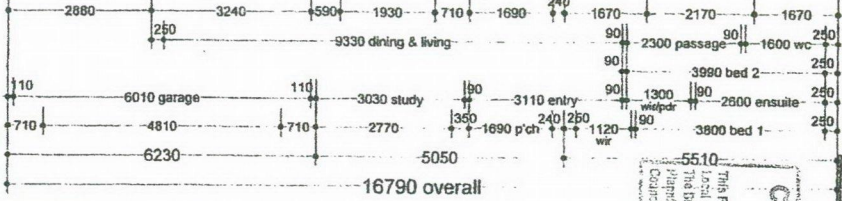


NOTE:
 LOCATION OF DOWNPIPES IS
 INDICATIVE ONLY & MAY BE
 CHANGED AT ROOF PLUMBERS
 DISCRETION

CLIENT:
POSALLEEK

ADDRESS:
**LOT 154
 THE AVENUE
 ALEXANDER HEIGHTS**

DATE:
18 MAR 2002



FLOOR PLAN
 1 : 100

TOP OF FOOTINGS FOR PIERS
 TO PORCH @ -3c

CITY OF WANNEROO
 APPROVAL SERVICES

OFFICE COPY
 to be retained by
 5 RIPPIN
 QUALITY HOMES

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DATE: 18 MAR 2002

CITY OF WANNEROO

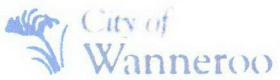
PLANNING APPLICATION APPROVED

Subject to the development conditions and covenants and the conditions of the Planning Permit

Application No 2019/234
DA2019/234

DA2019/234

NOTE: THIS APPROVAL DOES NOT CONSTITUTE A WARRANTY



It is a condition of the Planning Permit that the applicant shall ensure that the development is in accordance with the conditions of the Planning Permit and the development conditions and covenants and the conditions of the Planning Permit. The applicant shall ensure that the development is in accordance with the conditions of the Planning Permit and the development conditions and covenants and the conditions of the Planning Permit. The applicant shall ensure that the development is in accordance with the conditions of the Planning Permit and the development conditions and covenants and the conditions of the Planning Permit.



DA2019/234 – HOME BUSINESS – CATEGORY 2 (HOME CATERING)
40 THE AVENUE, ALEXANDER HEIGHTS
SITE PLAN

Scale = 1:238