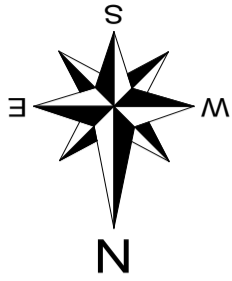


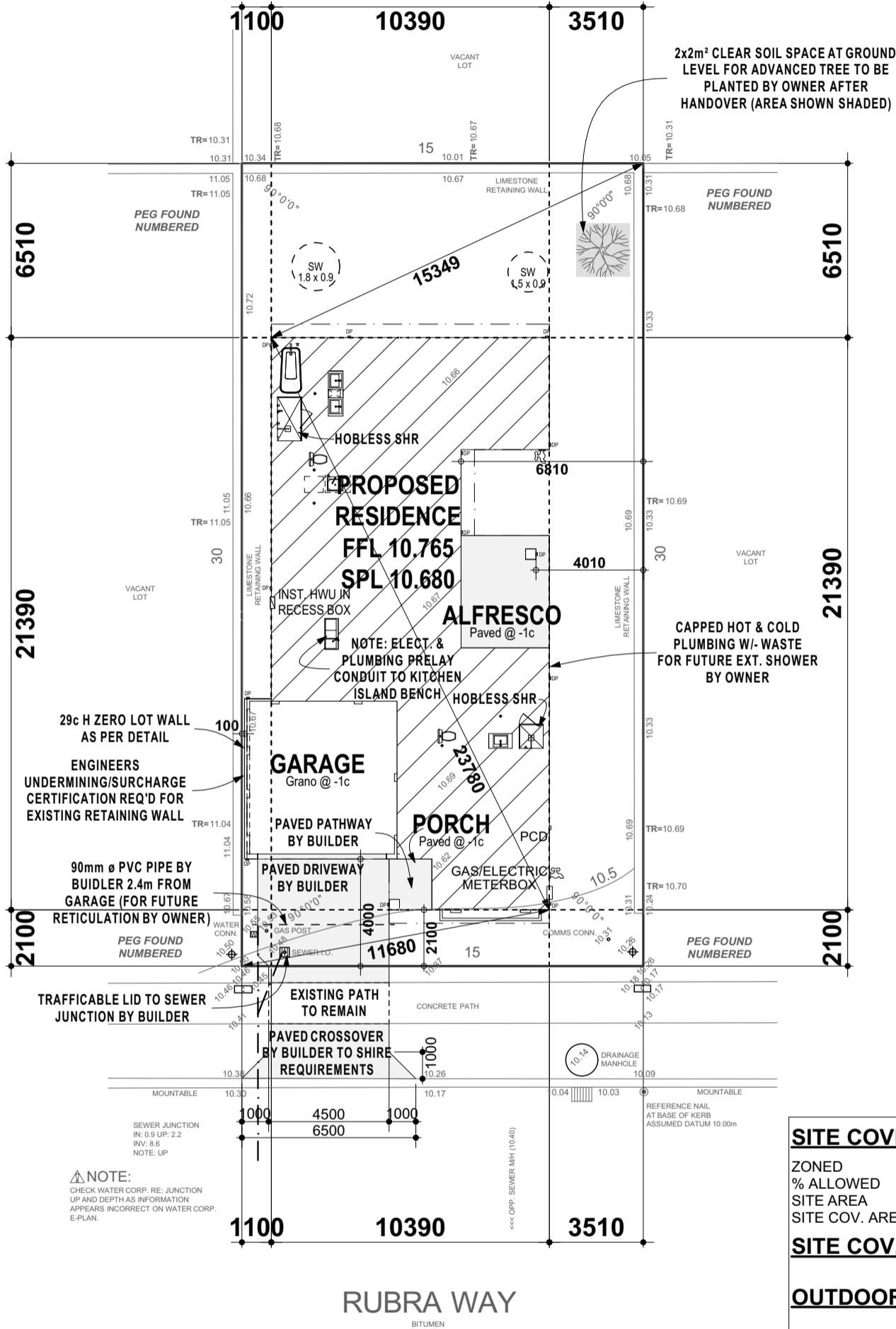


⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



DRAWING NAME:		REVISION:	
SITE PLAN		C	
JOB No:		SHEET No:	
18282H		1B OF 8	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.			
OWNER (1)		DATE	
OWNER (2)		DATE	
BUILDER		DATE	
Rev No:	Variation:	Date Dm:	By:
A	18282H SITE	12/10/23	SS
B	18282H - VO1-VO2	22/10/23	AI
C	18282H - VO3-VO4	24/10/23	AI
Drawn By:		Date Drawn:	
AI		20/10/2023	
Scale:		Checked By:	
1:200			

WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.



SITE CLASSIFICATION 'A'

WIND CLASSIFICATION 'N2'

BAL 12.5 APPLIES

CONCRETOR NOTE:
RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

CONCRETOR NOTE:
FOOTINGS WITHIN 500mm FROM THE FACE OF THE EXISTING RETAINING WALL SHOULD NOT BE EXCAVATED UNTIL THE CONCRETE TRUCK HAS ARRIVED ON SITE. ONCE THE CONCRETE TRUCK HAS ARRIVED, THE FOOTINGS CAN BE EXCAVATED AND POURED IMMEDIATELY.

TERMITE MANAGEMENT NOTE
ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1-2014 AND WILL COMPLY WITH PART 3.1.4.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, AMENDMENT 1, 2019

PLUMBER NOTE:
STORMWATER PRELAY TO PLUMBERS DESCRETION

STORMWATER DRAINAGE TO COUNCIL REQUIREMENTS

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CLIENT NOTE:
ANY RETAINING INDICATED 'BY OWNER' MAY REQUIRE A SEPARATE BUILDING LICENCE PRIOR TO THE SHIRE APPROVAL OF THE PROPOSED DWELLING. (OWNER TO SUBMIT APPLICATION TO SHIRE ASAP IF APPLICABLE)

SITE COVERAGE

ZONED	R30
% ALLOWED	55%
SITE AREA	450.00m ²
SITE COV. AREA	192.38m ²

SITE COV. =42.8%

OUTDOOR LIVING REQUIREMENTS

	REQUIRED	ACHIEVED
OUTDOOR LIVING	24.0m ²	50.5m ²
UNCOVERED AREA	16.0m ²	40.1m ²

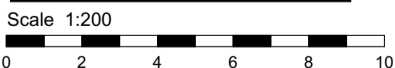
NOTE:
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

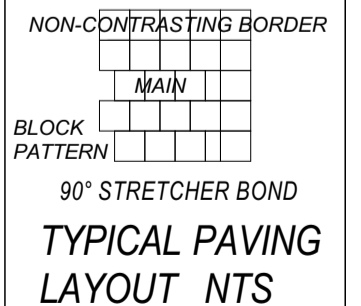
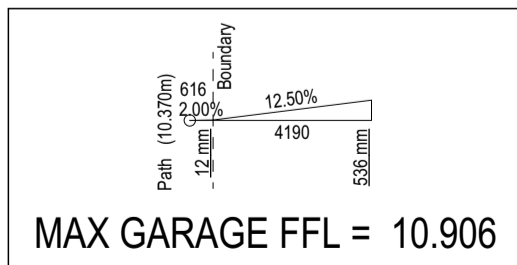
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



NOTE:
CHECK WATER CORP. RE: JUNCTION UP AND DEPTH AS INFORMATION APPEARS INCORRECT ON WATER CORP. E-PLAN.

Soak Well Type	No.	
SW 1800x900	1	2.3 m3
SW 1500x900	1	1.6 m3
Total Capacity		3.9 m3
Roof Area GF		208.8 m2
Total Area		208.8 m2
Capacity Required (Area x 0.0150)		3.1 m3
Extra Capacity Provided		0.7 m3



COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

ORDER #	551305	GPS	Lat: -31.633149 Long: 115.675060
CLIENT	HOPA	JOB #	18282H
ADDRESS	#6 RUBRA WAY	LOT	1629 (DP 424713 - Unapproved)
SUBURB	JINDALEE		
LGA	CITY OF WANNEROO	AREA	450m ²
DRAWN	R. Mohen	DATE	19 Jul 23
		SCALE	1:200
		ssa	Yes

ROADS	Bitumen	ELEC.	U/Ground
KERBS	Mountable	COMMS.	Yes
FOOTPATH	Concrete	WATER	Yes
SOIL	Sand	GAS	Proposed (TBC)
DRAINAGE	Good	SEWER	Yes
VEGETATION	Light Grass Cover	COASTAL CORROSION PROTECTION_R4	(APPROX. 0.3km) (Scaled from Digital Mapping Source)

ROOF FRAMING NOTES:

- ALL ROOF BEAMS SHOWN DIAGRAMMATIC ONLY.
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684.
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.
- L.V.L.'s IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CEILING JOISTS @ 450 CENTERS IN OPEN PLAN LIVING AREA.
- PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ROOF STRUCTURE.

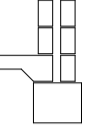
TERMITE MANAGEMENT NOTES:

- ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.4.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, AMENDMENT 1, 2019

CONCRETOR NOTE:
RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

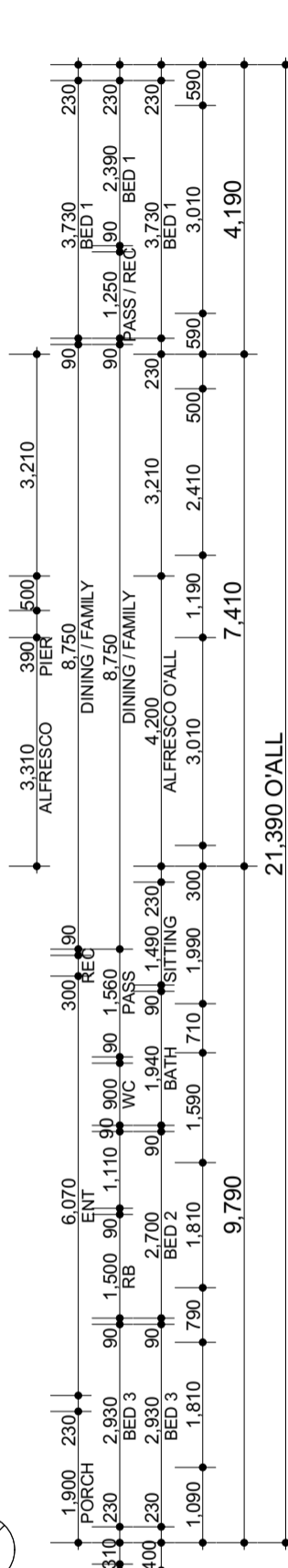
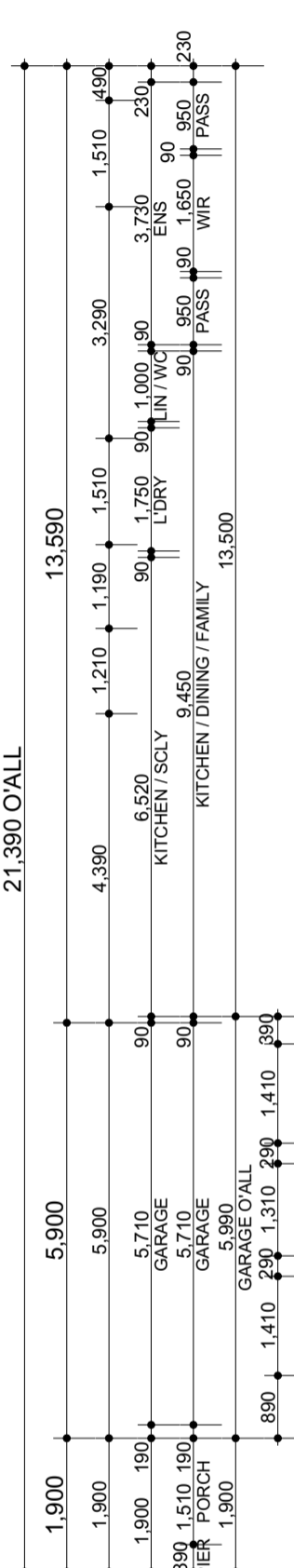
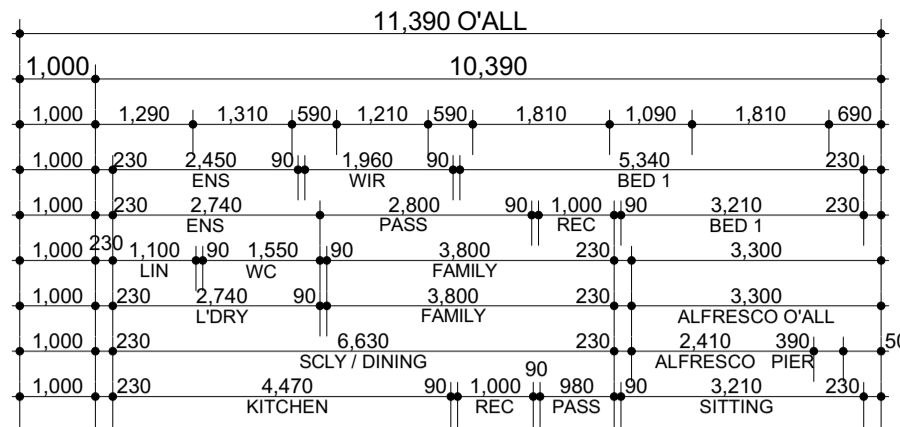
NOTE: PROVIDE TOUGHENED (5mm) GLASS TO WINDOWS & SLIDING DOORS WITHIN 400MM OF EXTERNAL GROUND LEVEL. (REFER ADDENDA & ELEVATIONS)

BRICKLAYER NOTE :
EXTERNAL BRICKS TO BE 290 x 162 x 90 (1st external course to be a 2 course brick)

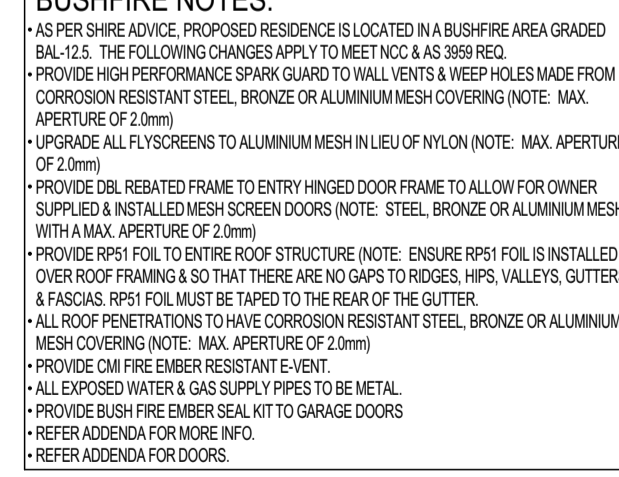
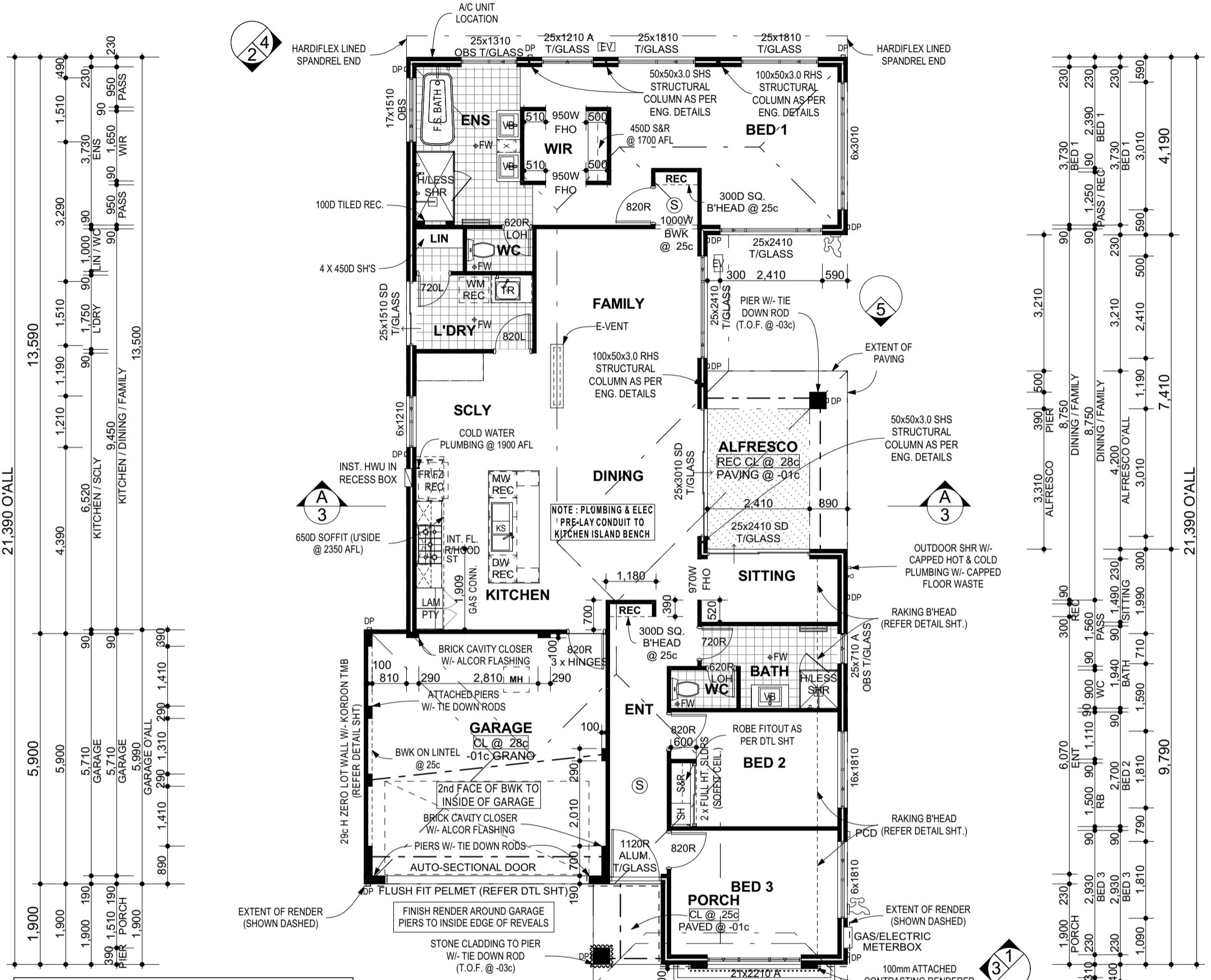


GF Vents

No.	Type
2	EAVE VENT
1	E-VENT



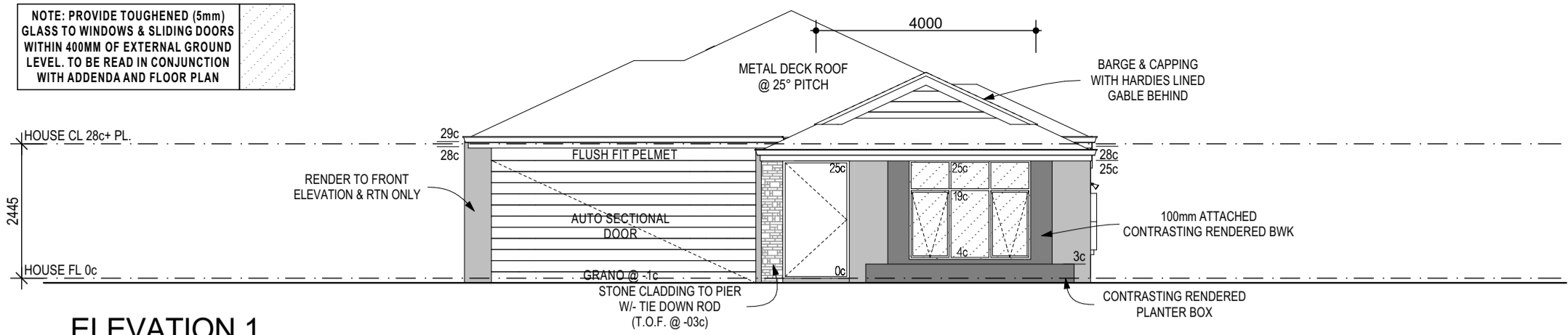
- BUSHFIRE NOTES:**
- AS PER SHIRE ADVICE, PROPOSED RESIDENCE IS LOCATED IN A BUSHFIRE AREA GRADED BAL-12.5. THE FOLLOWING CHANGES APPLY TO MEET NCC & AS 3959 REQ.
 - PROVIDE HIGH PERFORMANCE SPARK GUARD TO WALL VENTS & WEEP HOLES MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH COVERING (NOTE: MAX. APERTURE OF 2.0mm)
 - UPGRADE ALL FLYSCREENS TO ALUMINIUM MESH IN LIEU OF NYLON (NOTE: MAX. APERTURE OF 2.0mm)
 - PROVIDE DBL REBATED FRAME TO ENTRY HINGED DOOR FRAME TO ALLOW FOR OWNER SUPPLIED & INSTALLED MESH SCREEN DOORS (NOTE: STEEL, BRONZE OR ALUMINIUM MESH WITH A MAX. APERTURE OF 2.0mm)
 - PROVIDE RP51 FOIL TO ENTIRE ROOF STRUCTURE (NOTE: ENSURE RP51 FOIL IS INSTALLED OVER ROOF FRAMING & SO THAT THERE ARE NO GAPS TO RIDGES, HIPS, VALLEYS, GUTTERS & FASCIAS. RP51 FOIL MUST BE TAPED TO THE REAR OF THE GUTTER.
 - ALL ROOF PENETRATIONS TO HAVE CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH COVERING (NOTE: MAX. APERTURE OF 2.0mm)
 - PROVIDE CMI FIRE EMBER RESISTANT E-VENT.
 - ALL EXPOSED WATER & GAS SUPPLY PIPES TO BE METAL.
 - PROVIDE BUSH FIRE EMBER SEAL KIT TO GARAGE DOORS
 - REFER ADDENDA FOR MORE INFO.
 - REFER ADDENDA FOR DOORS.



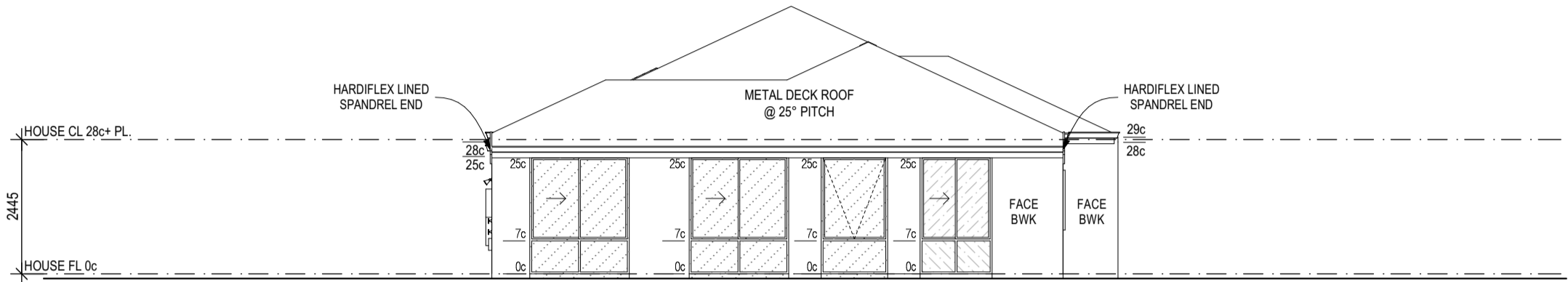
- NOTES:**
- WIND CLASSIFICATION "N2"
 - CORROSION PROT. R4 (APPROX. 0.3km)
 - EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 - ALL DIMENSIONS INDICATED ON PLANS ARE TO BRICKWORK ONLY. ROOM & OPENING SIZE WILL BE REDUCED WITH WALL FINISH.
 - REFER TO ADDENDA FOR ALL INTERNAL WALL FINISHES
 - RECTANGULAR DOWNPIPES. DOWNPIPE POSITION AT PLUMBERS DISCRETION FINAL POSITION MAY VARY TO PLAN.
 - PROVIDE R 4.0 CEILING INSULATION (INCL. VERTICALS) TO HOUSE AND GARAGE AREA ONLY.
 - PROVIDE WEATHER SEAL TO ENTRY (ALL EDGES) AND SHOPPER DOORS
 - REFER ADDENDA FOR DOOR AND DOOR FURNITURE INFO.
 - PROVIDE COLD PLUMBING TO DISHWASHER & FRIFZ RECESSES.
 - PROVIDE E-VENTS & EAVE VENTS AS INDICATED.
 - PROVIDE FLOOR COVERINGS & WINDOW TREATMENTS AS PER ADDENDA.
 - HARDIFLEX CEILING TO GARAGE: HARDIFLEX TO SIT ON B'WK OR IN RAKED MORTAR JOINT TO SUIT NOMINATED GARAGE CEILING HEIGHT. NO TRIMS OR CORNICE

<p>578 Murray Street West Perth WA 6005</p> <p>PHONE : (08) 6241 4555 FACSIMILE : (08) 6241 4455 www.homegroup.com.au</p>	<p>Home Group P/L reserves the right to vary dimensions and materials from those on display. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling.</p> <p>© Home Group Pty Ltd This work shall remain the sole property of Home Group Pty Ltd and may not be given, lent, resold or otherwise disposed, copied or reproduced without Home Group Pty Ltd's express written consent.</p>	<p>HOUSE NAME LAZIO CLASSIC PLUS (2c) (1075620)</p> <p>ELEVATION TRADITIONAL</p> <p>DRAWING NAME FLOOR PLAN</p> <p>SHEET No. 2 OF 8</p> <p>REVISION No. C</p> <p>JOB No. 18282H</p>	<p>CLIENT NAME HOPA</p> <p>SITE ADDRESS LOT 1629 RUBRA WAY JINDALEE SHIRE CITY OF WANNEROO</p> <p>Drawn By: AI Date Drawn: 20/10/2023 Scale: 1:100 Checked:</p>																	
	<p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT</p> <p>AREAS: House Area 158.66 Garage Area 33.72 Alfresco Area 13.86 Porch Area 3.04 209.28 m²</p> <p>House Perim. 70.16 Roof Area 218.53</p>	<p>VARIATIONS</p> <table border="1"> <thead> <tr> <th>Rev No.</th> <th>Variation:</th> <th>Date Dm:</th> <th>By:</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>18282H SITE</td> <td>12/10/23</td> <td>SS</td> </tr> <tr> <td>B</td> <td>18282H - VO1-VO2</td> <td>22/10/23</td> <td>AI</td> </tr> <tr> <td>C</td> <td>18282H - VO3-VO4</td> <td>24/10/23</td> <td>AI</td> </tr> </tbody> </table>	Rev No.	Variation:	Date Dm:	By:	A	18282H SITE	12/10/23	SS	B	18282H - VO1-VO2	22/10/23	AI	C	18282H - VO3-VO4	24/10/23	AI	<p>OWNER (1) DATE</p> <p>OWNER (2) DATE</p> <p>BUILDER DATE</p>	<p>ENGINEERS DETAILS TO ACCOMPANY PLANS</p>
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<p>PRINTED : 7/11/2023 DATE SAVED : 30/10/2023 1:57 PM BY : dean.turner TO: H:\18200H\18282H - HOPA\Drafting\Working Drawings Files\18282H HOPA.pln</p>																				

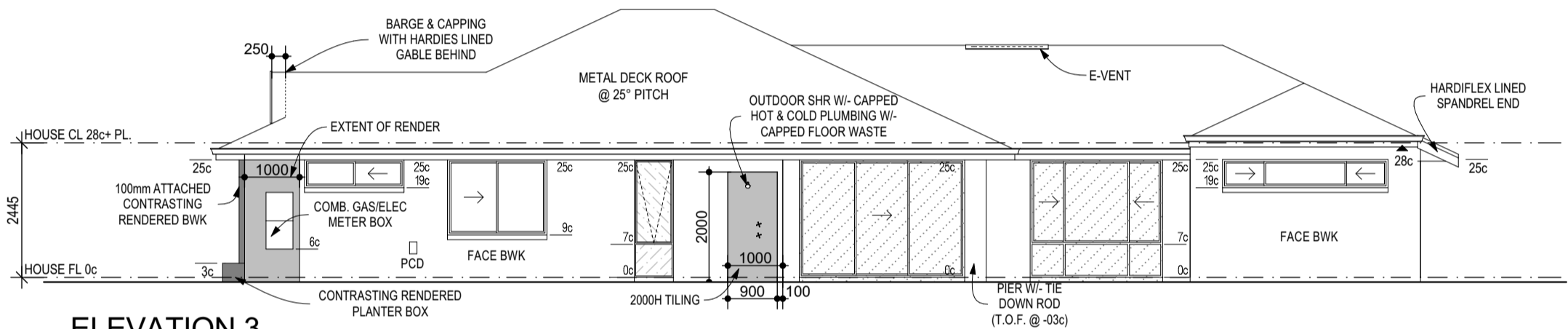
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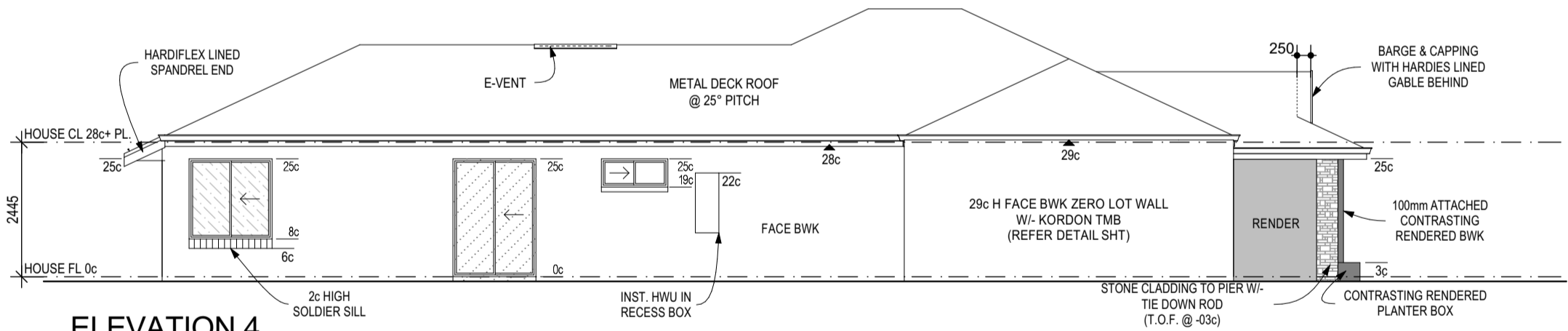
ELEVATION 1



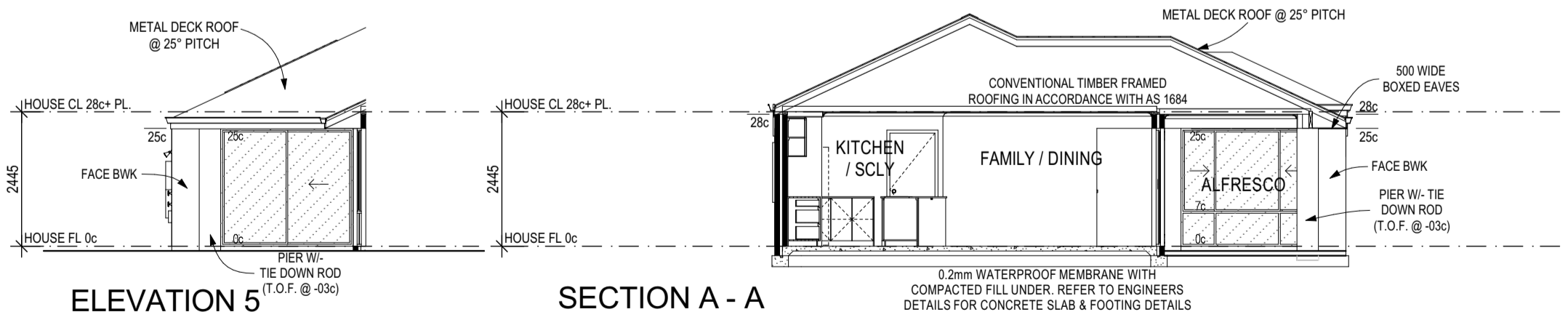
ELEVATION 2



ELEVATION 3



ELEVATION 4



ELEVATION 5

SECTION A - A

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