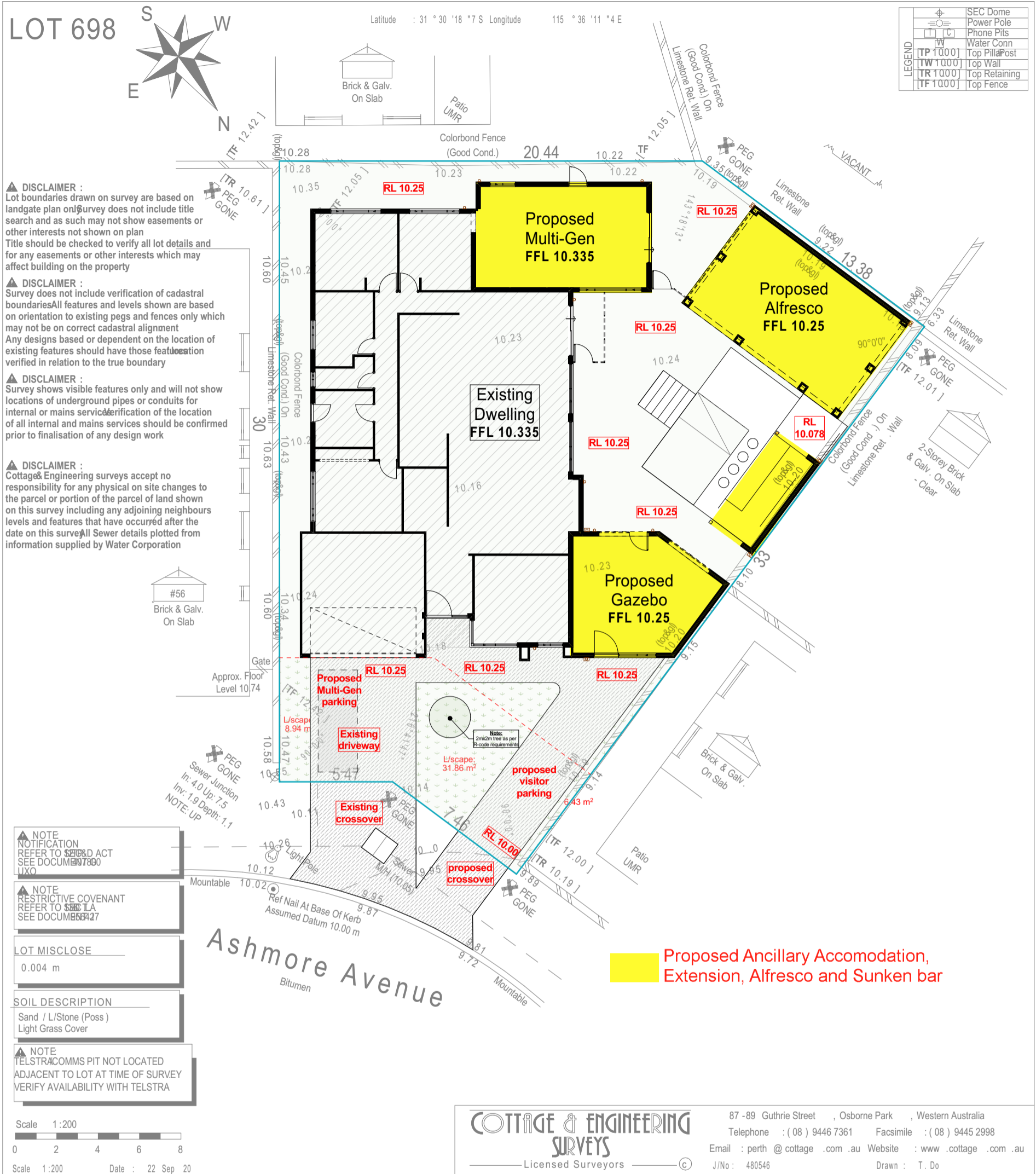


SPECIAL



1 Proposed Site Plan
5 1:200

03TP	21/10/2023	MH
03TP_Rev	8/12/2023	MH
REVISION?	12/12/2023	MH

Mh design.

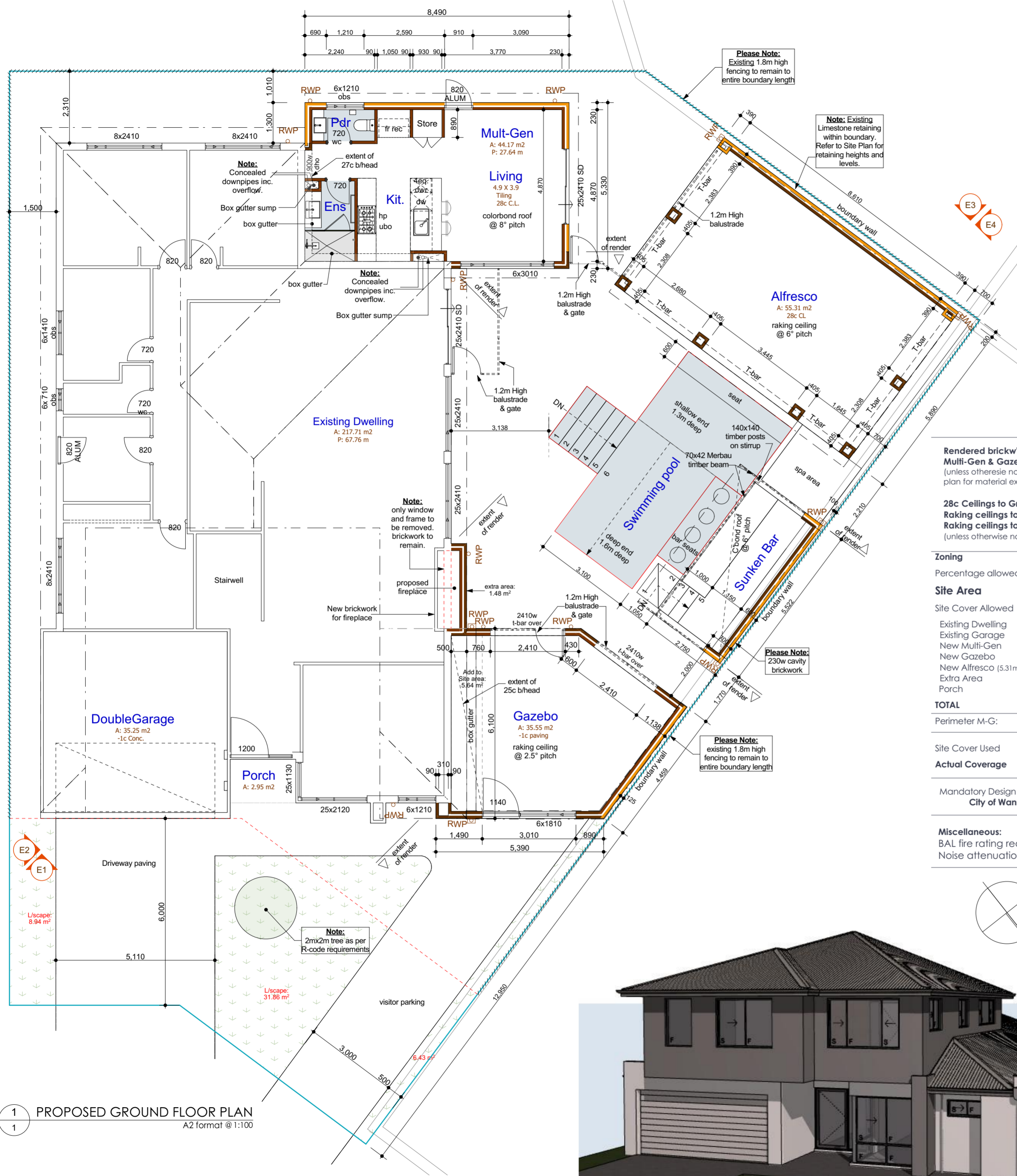
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e mhdesign1@hotmail.com

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CLIENT:
DICKINSON RESIDENCE

ADDRESS:
LOT 698 (#54) Ashmore Ave,
TWO ROCKS

ISSUED FOR:	REVIEW
DRAWING NAME:	Site Plan
JOB NUMBER:	DRAWING:
A128-23	SHEET 5 OF 5



Rendered brickw'k to Alfresco, Multi-Gen & Gazebo
(unless otherwise noted, Refer to plan for material extents)

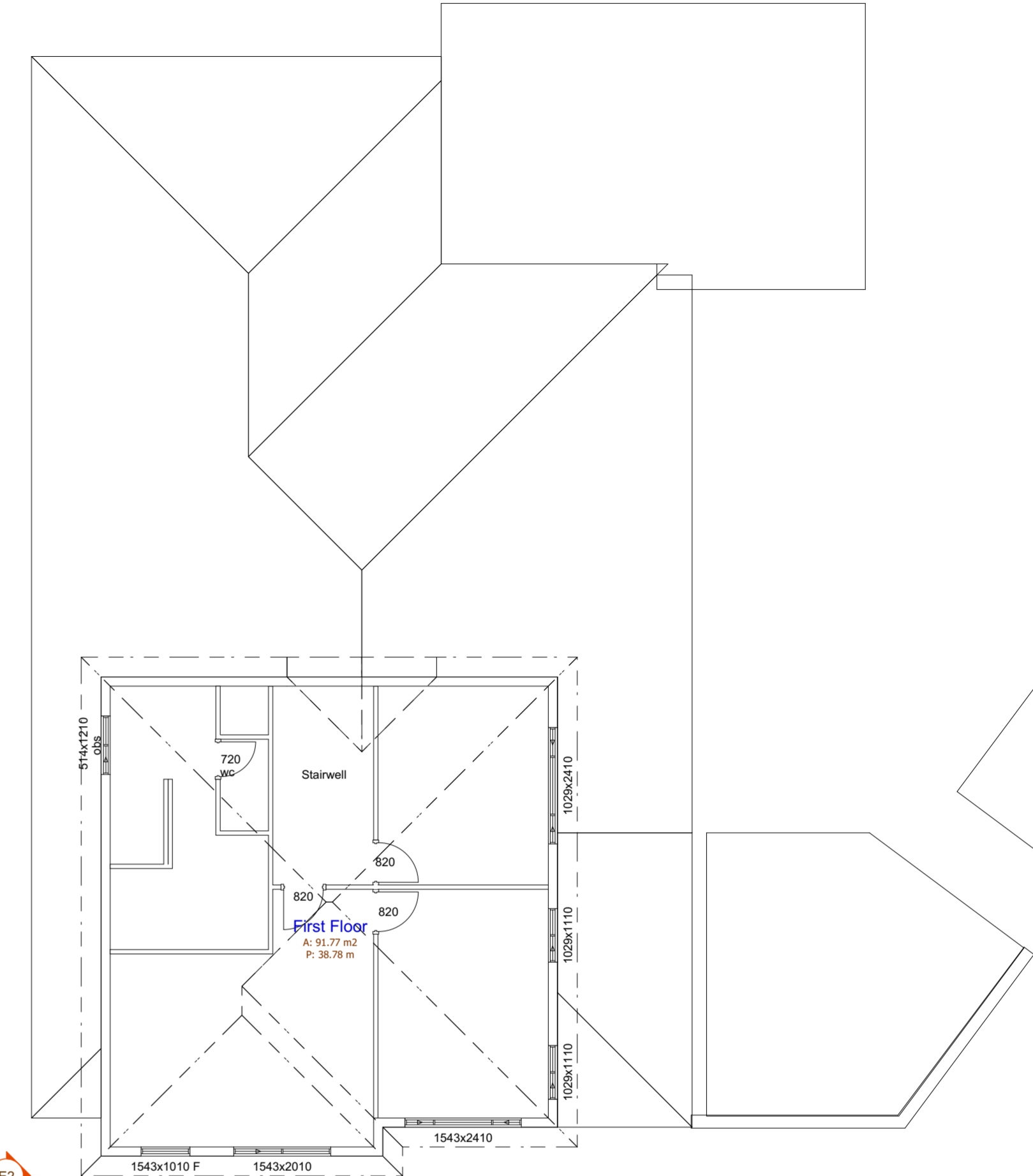
28c Ceilings to Granny Flat
Raking ceilings to Alfresco
Raking ceilings to Gazebo
(unless otherwise noted)

Zoning	R20
Percentage allowed	50%
Site Area	732m²
Site Cover Allowed	366m ²
Existing Dwelling	217.71m ²
Existing Garage	35.25m ²
New Multi-Gen	44.17m ²
New Gazebo	35.53m ²
New Alfresco (5.31m ² s/c)	55.31m ²
Extra Area	1.48m ²
Porch	2.95m ²
TOTAL	392.40m²
Perimeter M-G:	27.64m

Site Cover Used 342.40m²
Actual Coverage 46.78%

Mandatory Design Compliance
City of Wanneroo

Miscellaneous:
BAL fire rating req's: NA
Noise attenuation req's: NA



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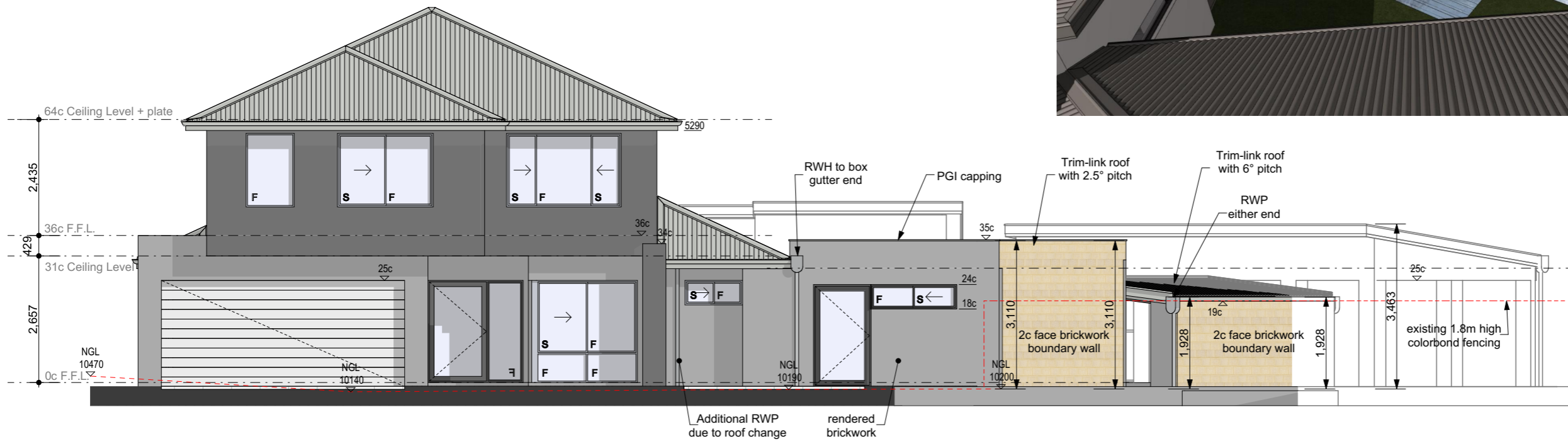
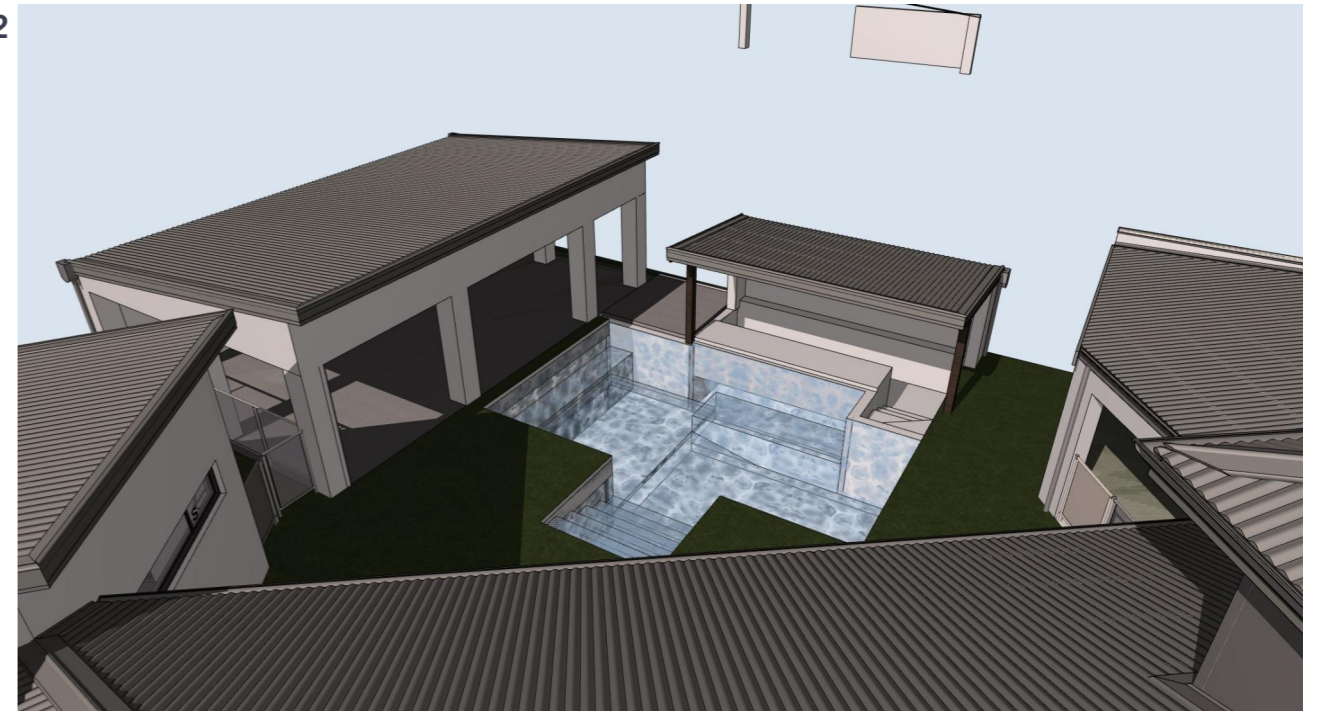
DRAWING NAME:
Proposed Floor Plan

JOB NUMBER: A128-23
DRAWING: SHEET 1 OF 5

SPECIAL

Roofing Note
 25° 00' Ground Floor Roof Pitch
 25° 00' First Floor Roof Pitch
 Metal Roof

PERSPECTIVE 2



1 E1 Front Elevation
 2 1:100



2 E2 Side Elevation
 2 1:100



REVISION:		
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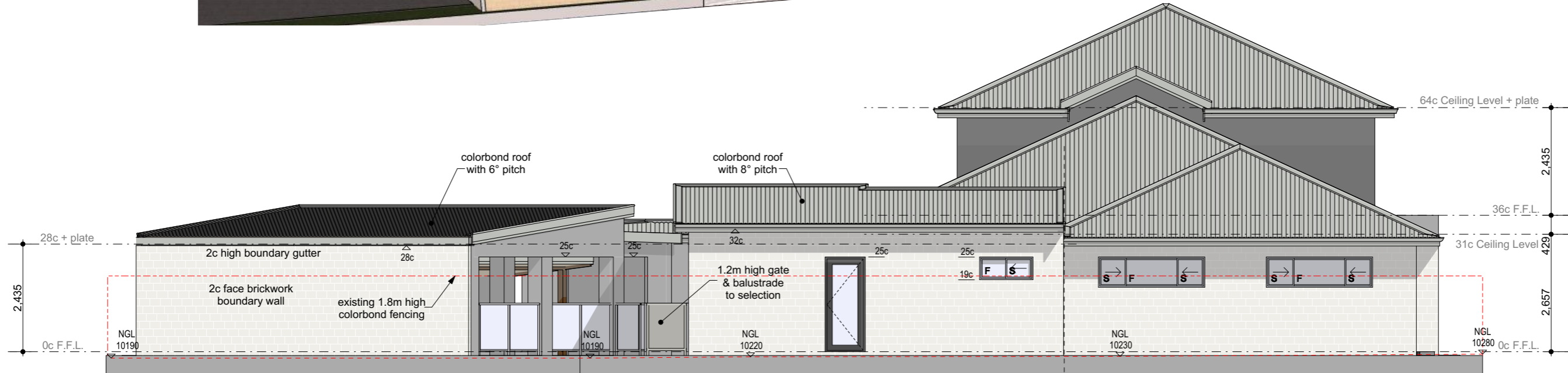
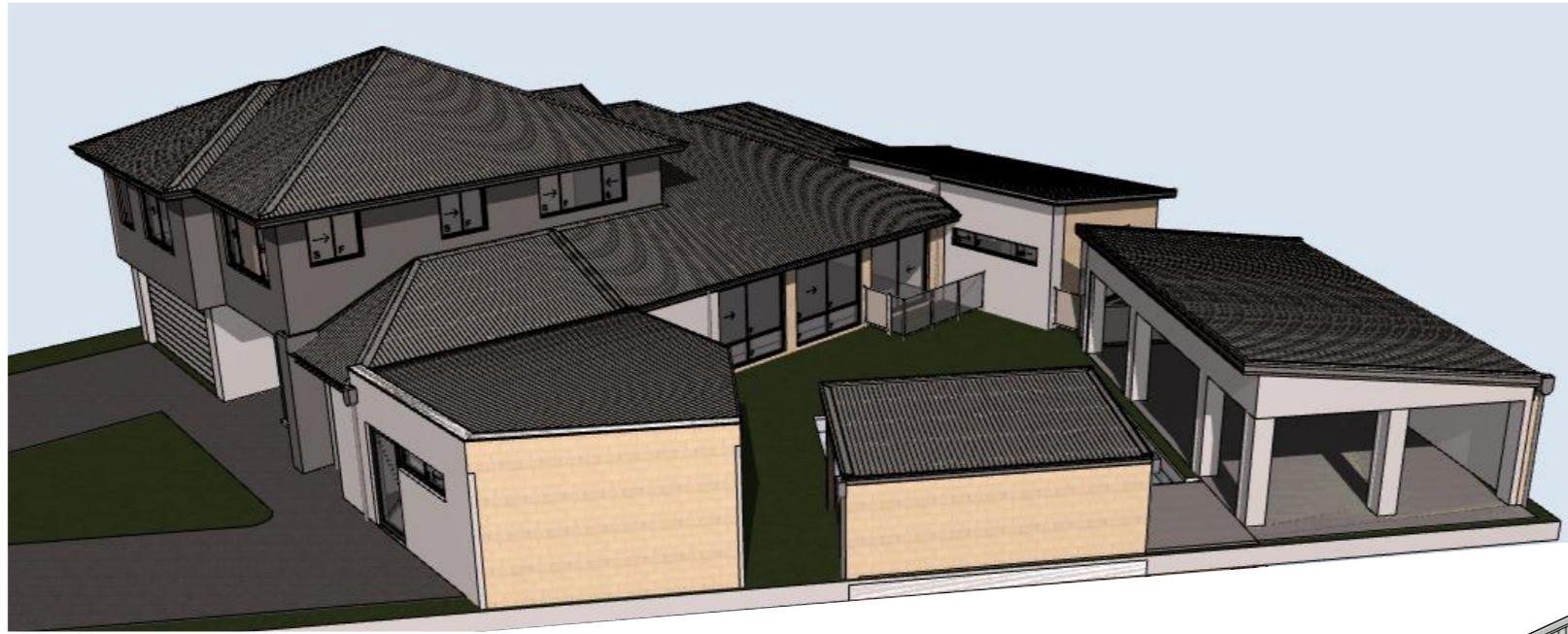
DRAWING NAME:
 Elevations

JOB NUMBER: A128-23
DRAWING: SHEET 2 OF 5

SPECIAL

Roofing Note
 25° 00' Ground Floor Roof Pitch
 25° 00' First Floor Roof Pitch
 Metal Roof

PERSPECTIVE 3



1 E3 Rear Elevation
 3 1:100



2 E4 Side Elevation
 3 1:100



REVISION:		
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ISSUED FOR: APPROVAL

DRAWING NAME:
 Elevations

JOB NUMBER: A128-23
DRAWING: SHEET 3 OF 5