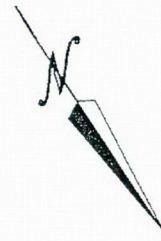


Lot 1 (#10) (320m²)



Address:
LOT 1 (#10)
Beachwood Crescent, Butler

Residential abodes
by Collier Homes

Collier Homes Pty Ltd A Division of Home Australia
511 Karrinyup Rd Stirling WA 6021 Tel 08 9344 6644 Fax 08 9344 7274
Email building@collierhomes.com.au Website www.homeaustralia.com.au
A.B.N 23 008 681 454 Builder Reg. 1499

Client: **O'Brien**

Local Authority: City Of Wanneroo

Plan/Dia: P.59327 C/T Vol: 2689/501

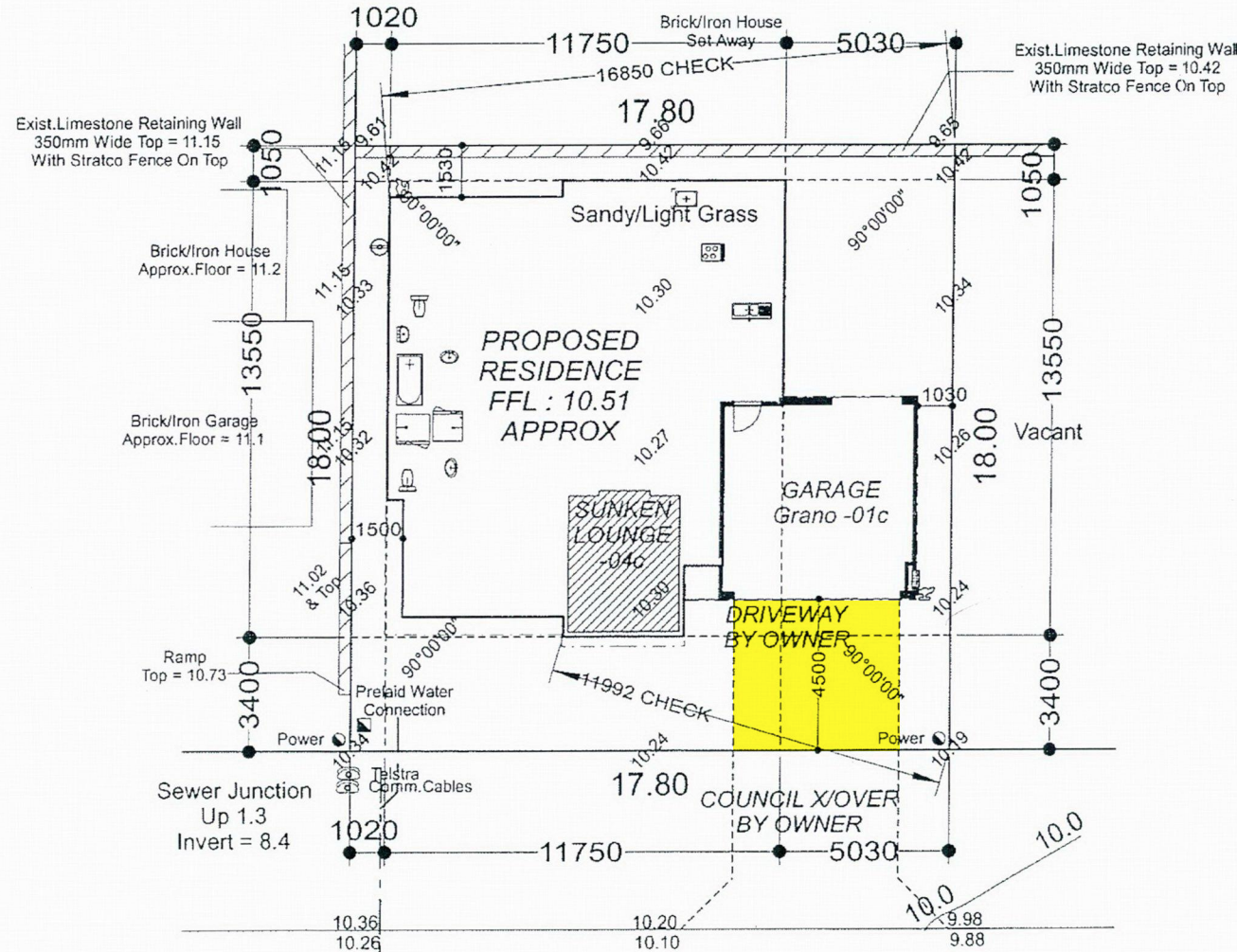
Map Reference: Pg.159,08:36

Date: 05/08/08

Scale: 1:200

Sheet

Job No. **6746**

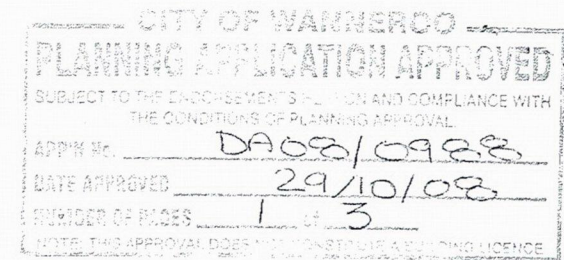


Beachwood Crescent

Parking location for Proposed Home Occupation

▲ Datum Nail (Centre Of Road)
Assumed Datum = 10.00

LOCALITY DIAGRAM



Footpath: No
Water: Yes ^{Prelaid Left}
Gas: Yes
Telstra: Yes
Drainage: Good
Re-Peg: Yes

Road: Bitumen
Kerb: Mountable
Electricity: Underground
Soil: Sandy
Vegetation: Light Grass
Sewer: Yes Depth: 1.9 m

DRAWN	DATE	VARIATION	No
SG	19/08/08	SG	07/10/08 F
		XXX	XXXXX X
		XXX	XXXXX X
		XXX	XXXXX X
		XXX	XXXXX X

"WORKING DRAWINGS"
PLEASE READ CAREFULLY

THIS PLAN IS HEREBY CERTIFIED CORRECT AND IS THE ONE REFERRED TO IN THE PREPARATION OF PLANS AGREEMENT AND I/WE UNDERSTAND THAT CHANGES HEREFTER MAY NOT BE POSSIBLE, STRUCTURAL CHANGES (ALTERING FOOTPRINT OF HOUSE, WINDOWS, SITING AND ROOF DESIGN) IF ACCEPTED BY COLLIER HOMES REQUIRE AN UPFRONT FEE OF \$300

OWNER/S Anne O'Brien

WITNESS _____

DATE _____

Our Job No.
51476

Drake Surveys

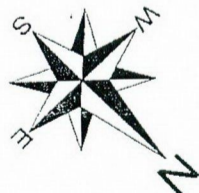
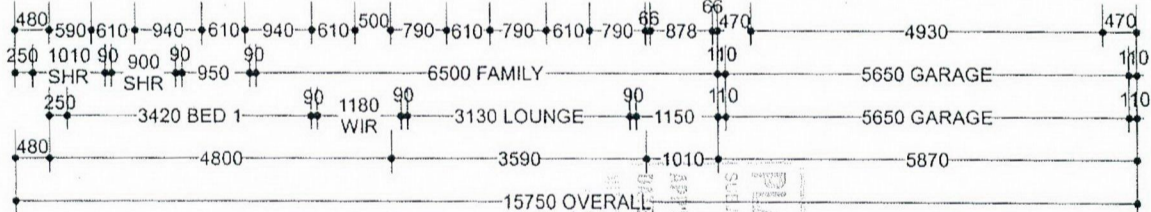
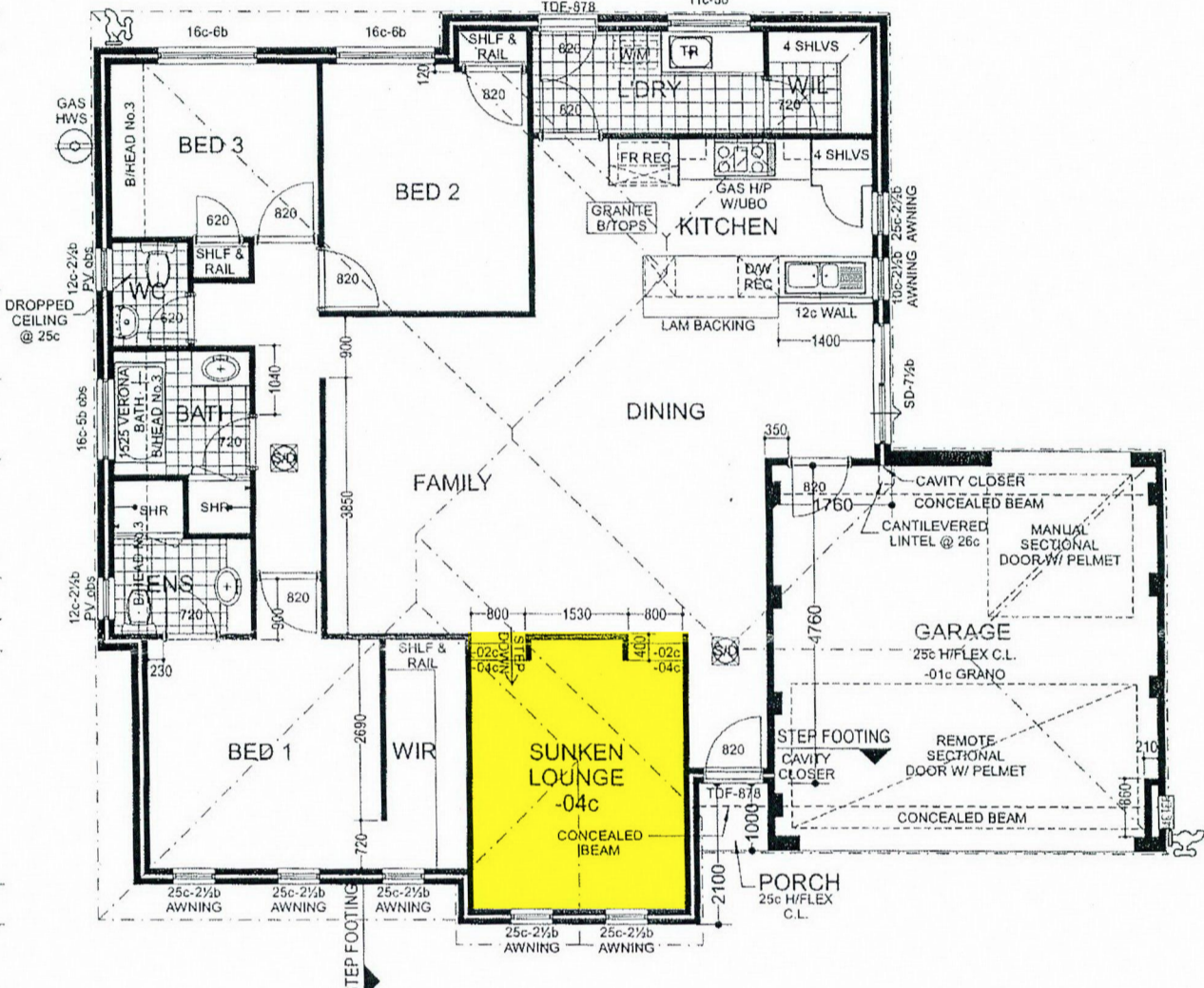
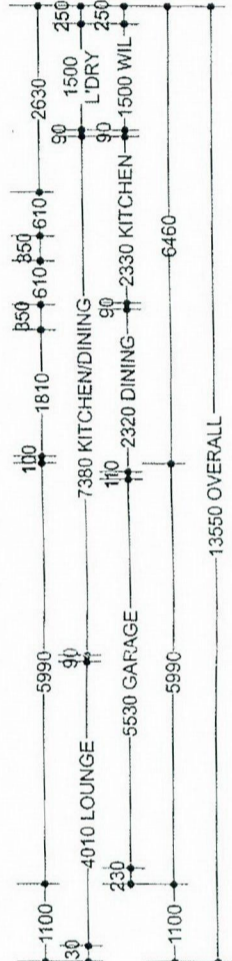
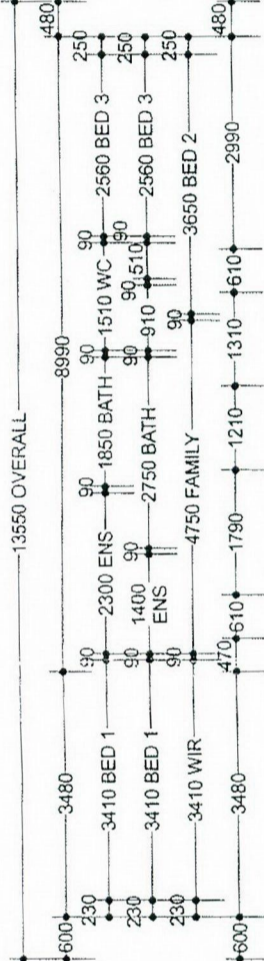
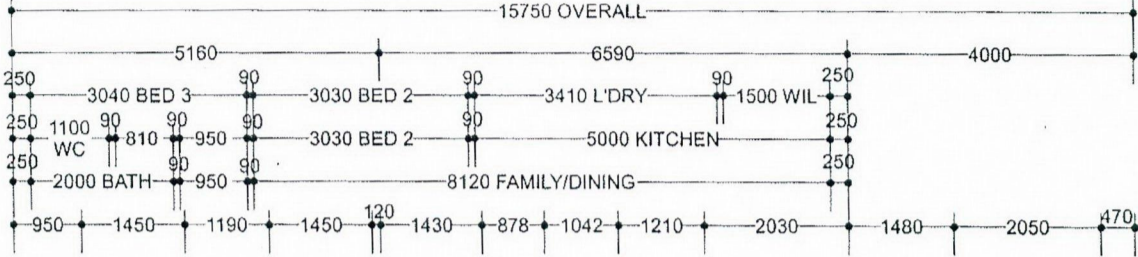
61 FYFE CIRCLE
BULL CREEK, WA 6149
PH 9332 4948
FAX 9332 3014

Notes: Owner To Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.

DOWNPIPES WILL BE POSITIONED AT REGULAR INTERVALS AT PLUMBER'S DISCRETION

28c CEILING THROUGHOUT UNLESS OTHERWISE NOTED

TOP OF FOOTINGS TO HOUSE TO BE -2c. TOP OF FOOTINGS TO SCREEN WALLS, GARAGE PIERS/POSTS TO BE -2c UNLESS OTHERWISE STATED.



FLOOR PLAN

FLOOR AREAS

HOUSE	137.472m ²	(50.600m)
GARAGE	34.208m ²	
PORCH	1.010m ²	
TOTAL AREA	172.689m²	

Location of Proposed Home Occupation

CITY OF WANNEROO
 PLANNING APPLICATION APPROVED
 SUBJECT TO THE ENDORSEMENT HEREON AND COMPLIANCE WITH
 THE CONDITIONS OF PLANNING APPROVAL
 APPROVED
 DATE 29/10/08
 21/10/08

"WORKING DRAWINGS"
PLEASE READ CAREFULLY

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OWNER/S *Anne Marie Obrien*

WITNESS _____

DATE _____

JOB NO. **BEE864**
6746

DESIGN **ONE-OFF**

SCALE 1:100

PROPOSED RESIDENCE FOR OBRIEN

AT :LOT 864 (10) BEECHWOOD CRESNET BUTLER

Residential abodes
by Collier Homes

Collier Homes Pty Ltd A Division of Home Australia
 611 Karrinyup Rd Stirling WA 6021 Tel 08 9344 6644 Fax 08 9344 7274
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SKETCH	DATE	VARIATION	DATE	No
SG	18/08/08	SG	18/08/08	1
		SWR	16/9/08	3
W/ DRAW'S	DATE	SG	07/10/08	F
SWR	17/9/08	XXX	XXXXX	X