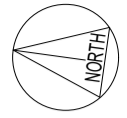


NOTE: ANGLES & DIMENSIONS ARE SUBJECT TO MATERIAL CHANGE UNTIL APPROVED BY W.A.P.C.

LOT No: 1796

AREA : 382m²



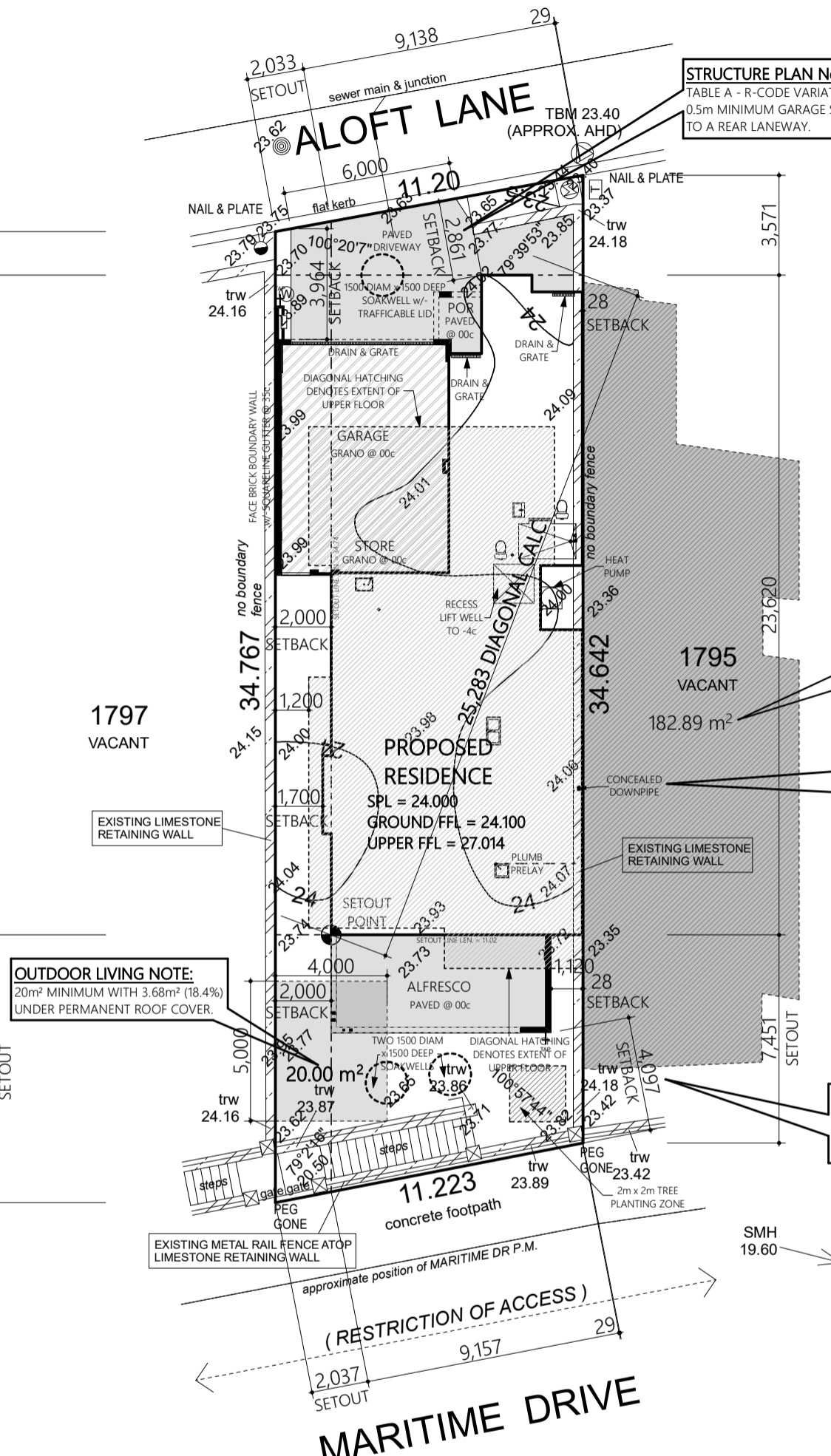
SEWER JUNCTION
IN 5.0 UP 1.9
RL 22.85 (TOP OF RISER)
INVERT LEVEL 20.95

STRUCTURE PLAN No.36:
TABLE A - R-CODE VARIATION TABLE
0.5m MINIMUM GARAGE SETBACK
TO A REAR LANEWAY.

EXTENT OF OVERSHADOWING
TO NEIGHBOURING LOT 1795 (#92)
TOTAL AREA OF OVERSHADOWING
= 182.89m²

PLUMBER NOTE:
PROVIDE CONNECTION TO
CONCEALED DOWNPIPE
IN BOUNDARY WALL.

STRUCTURE PLAN No.36:
TABLE A - R-CODE VARIATION TABLE
1.5m MINIMUM / 3.0m AVERAGE
FRONT SETBACK FOR COTTAGE LOT.



OUTDOOR LIVING NOTE:
20m² MINIMUM WITH 3.68m² (18.4%)
UNDER PERMANENT ROOF COVER.

SHEET 1 OF 13

POSITION OF FENCES & WALLS IN RELATION
TO BOUNDARIES NOT GUARANTEED UNLESS
REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT
TO BOUNDARIES NOT GUARANTEED.
PEGS MISSING AT TIME OF SURVEY.

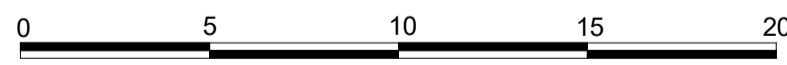
ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED.
PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION
THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED
TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE
AC1848 LID LEVEL.

INTEREST & NOTIFICATIONS OVER LOT.
CHECK DEPOSITED PLAN FOR DETAILS.

RESTRICTIVE COVENANT OVER LOT.
CHECK CERTIFICATE OF TITLE FOR DETAILS.
THIS MAY RESTRICT WHAT CAN BE BUILT ON LOT.



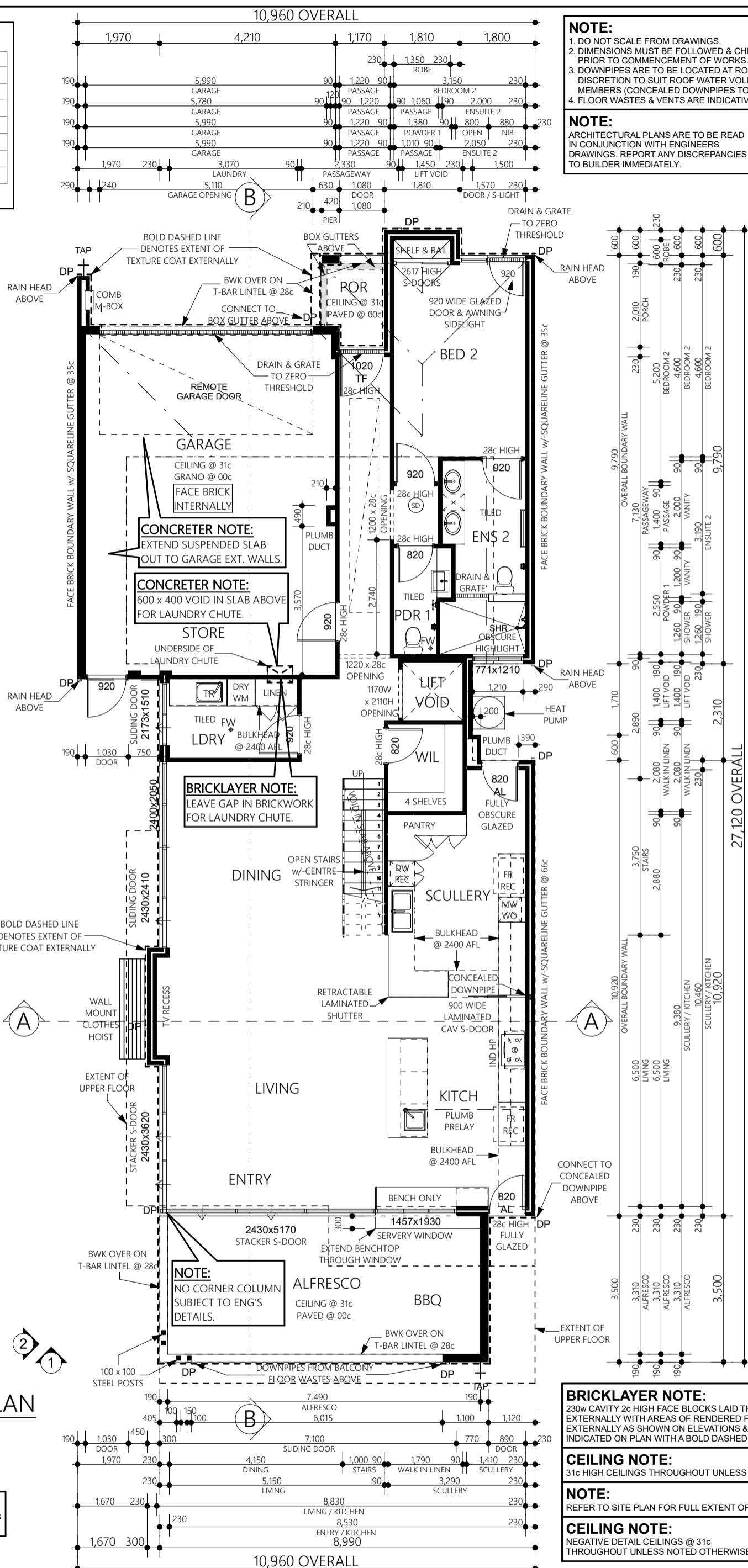
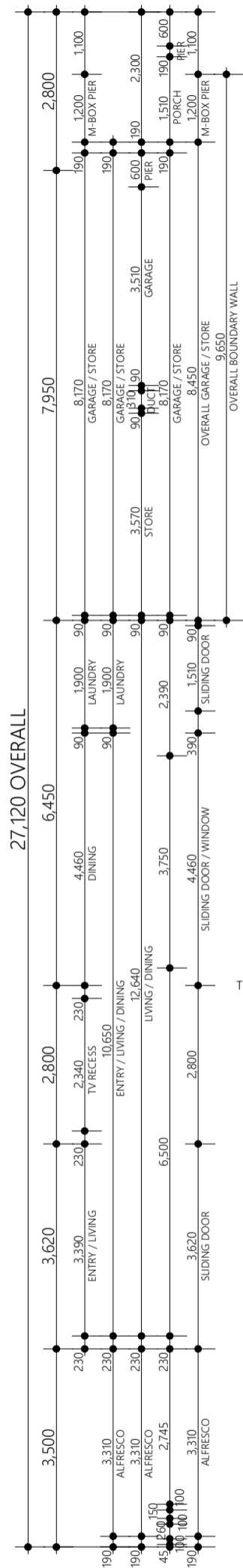
SITE PLAN 1:200 at A3

| | | | | | | | | | |
|--|-----------------------------|--|--|--|--|---|---------------------------------|--|--|
| REF NO: 72413 FILE NO: 72 DATE: 07.03.23 DRAWN: AC | | R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHOP 7 1 NORTH BEACH ROAD NORTH BEACH WA 6020 PH: 9448 5009 admin@lestersurveys.com.au | | NOTES Block located about 215m from the ocean. This lot is within a designated BUSHFIRE PRONE AREA. | | BUILDER: K & B Home Developments | | | |
| SURVEYOR SITE INSPECTION REPORT | | | | | | CLIENT / S: ALQUIST | | | |
| ELECTRICITY: UNDERGROUND | GAS: YES | | | | | SITE ADDRESS: LOT 1796 (#94) MARITIME DRIVE, JINDALEE | | | |
| PHONE: YES | WATER: YES | | | | | Local Authority: CITY OF WANNEROO | | | |
| SEWERAGE: YES, ABOUT 0.85m DEEP (TOP OF RISER) | | | | | | | TITLE DETAILS | | |
| ROAD: HOTMIX | | | | | | | LOT NOS: 1796 c/T VOL: 4007 | | |
| KERB: FLAT (cracked) / SEMI MOUNTABLE | | | | | | | Deposited Plan: 421472 FOL: 835 | | |
| FOOTPATH: CONCRETE | | | | | | | JOB No: | | |
| VEGETATION: NIL | | | | | | | SURVEY JOB No: 72413 | | |
| SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH | | | | | | | | | |
| VEWS: OCEAN | | | | | | | | | |
| REPEG: REQUIRED | REPEG TYPE: NEW SURVEY AREA | | | | | | | | |

| LEGEND | | | |
|------------------------------|-----------------------------|-------------------------|-----------------------------|
| [N] NBN PIT | [G] GAS | [T] TELECOM PIT | [S] STOP VALVE |
| [C] COMMUNICATION PIT | [H] HYDRANT | [W] PRE-LAID WATER PIPE | [W] WATER METER |
| [P] POWER (below ground pit) | [F] FENCE END | [M] SEWERAGE MANHOLE | [I] SEWERAGE INSPECTION LID |
| [PP] POWER POLE | [PIL] PILLAR | [SD] SIDE ENTRY PIT | |
| [SL] STREET LAMP | [TRW] TOP OF RETAINING WALL | [D] DRAINAGE MANHOLE | |
| | | [T] TREE | |
| | | [PT] PALM TREE | |
| | | [TS] TREE STUMP | |

| AREAS STATS: | | |
|--------------------|----------------------------|----------|
| | Area(m ²) | Perim(m) |
| GROUND FLOOR | 160.49 | 68.82 |
| GARAGE | 38.36 | |
| PORCH | 3.09 | |
| STORE | 13.53 | |
| ALFRESCO | 27.55 | |
| UPPER FLOOR | 170.39 | 59.96 |
| BALCONY | 32.09 | |
| TOTAL BLDG: | 445.85m² | |

UPDATED:03/12/2023



NOTE:
 1. DO NOT SCALE FROM DRAWINGS.
 2. DIMENSIONS MUST BE FOLLOWED & CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
 3. DOWNPIPES ARE TO BE LOCATED AT ROOF PLUMBERS DISCRETION TO SUIT ROOF WATER VOLUME & ROOF MEMBERS (CONCEALED DOWNPIPES TO BE 100x50 DWV).
 4. FLOOR WASTES & VENTS ARE INDICATIVE ONLY.

NOTE:
 ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO BUILDER IMMEDIATELY.

3
4

GROUND FLOOR PLAN

SCALE 1:100

CONCRETER NOTE:
 SET DOWN SHOWER FLOORS 40mm TO SUIT HOBLESS SHOWERS.

NOTE:
 ALL STRUCTURAL COLUMNS, BEAMS & LINTELS TO BE AS PER ENGINEERS DETAILS.

BRICKLAYER NOTE:
 230w CAVITY 2c HIGH FACE BLOCKS LAID THIRD BOND EXTERNALLY WITH AREAS OF RENDERED FINISH EXTERNALLY AS SHOWN ON ELEVATIONS & INDICATED ON PLAN WITH A BOLD DASHED LINE.

CEILING NOTE:
 31c HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

NOTE:
 REFER TO SITE PLAN FOR FULL EXTENT OF PAVED AREAS.

CEILING NOTE:
 NEGATIVE DETAIL CEILINGS @ 31c THROUGHOUT UNLESS NOTED OTHERWISE

K. & B. HOME DEVELOPMENTS Pty Ltd

CLIENT: **AHLQUIST**
 SITE ADDRESS:
**LOT 1796 (#94)
 MARITIME DRIVE
 JINDALEE**

CONTRACT INITIALS:
 CLIENT:
 CLIENT:
 BUILDER:
 DATE:

| DRAWING REVISION RECORD | | | |
|-------------------------|-----------------------------|----|----------|
| No | DESCRIPTION | BY | DATE |
| A | PRELIMINARY DESIGN DRAWINGS | JS | 18-02-23 |

CUSTOM DESIGN

5 STAR RATING

DRAWING SIZE: **A3**
 JOB NO: T.B.A.
 SHEET NO: 2 OF 13
 DATE: 18-02-2023
 REVISION NO: A

AREAS STATS:

| | Area(m2) | Perim(m) |
|--------------------|----------------------------|----------|
| GROUND FLOOR | 160.49 | 68.82 |
| GARAGE | 38.36 | |
| PORCH | 3.09 | |
| STORE | 13.53 | |
| ALFRESCO | 27.55 | |
| UPPER FLOOR | 170.39 | 59.96 |
| BALCONY | 32.09 | |
| TOTAL BLDG: | 445.85m² | |

UPDATED: 03/12/2023

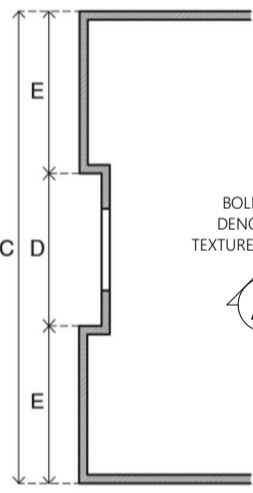
Notes

For the purposes of calculating setback, the length of wall means the total horizontal dimension of the side of the building nearest the lot boundary. Setbacks shall be determined in accordance with the following and with reference to Tables 2a and 2b, subject to the privacy requirements of clause 5.4.1:

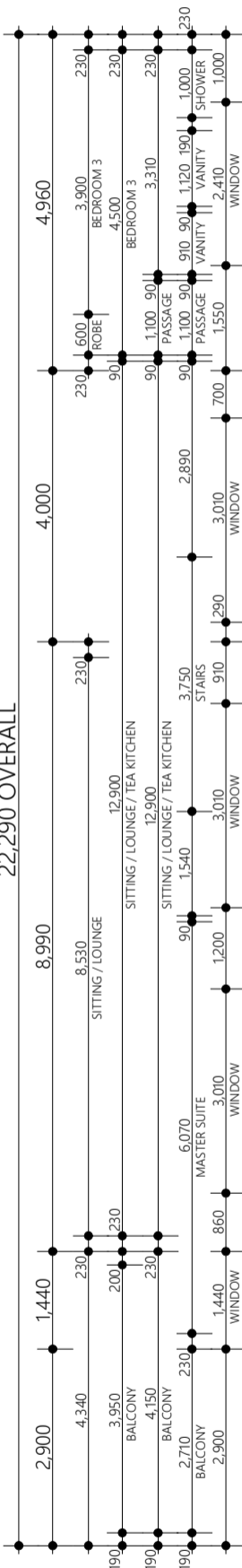
- 4a Where A is more than 3m, B shall be treated as a separate wall, providing that the length C shall be the basis for determining the setback of the rest of the side of the building.
- 4b Where the side of a building includes one portion of a wall without a major opening (such as E), the setback shall be determined independently providing the setback of the rest of that side of the building (D) is determined on the basis of the total length C.
- 4c Where the side of the building includes two or more portions of a wall without a major opening (such as E) their setbacks shall be determined independently of each other provided they are separated from one another by a distance (D) of more than 4m (in the case of wall heights of 6m or less) and an additional 1m for every 3m increase in height. The setback of D shall be determined on the basis of the total length (C).

NOTE:
WALL LENGTH D = 4,000mm WITH NO MAJOR OPENINGS ASSESSED AS OVERALL LENGTH C = 18,190mm SETBACK 2,000mm.

Figure 4c – Walls with multiple articulations



NOTE:
WALL LENGTH E = 9,230mm WITH NO MAJOR OPENINGS SETBACK 1,200mm.

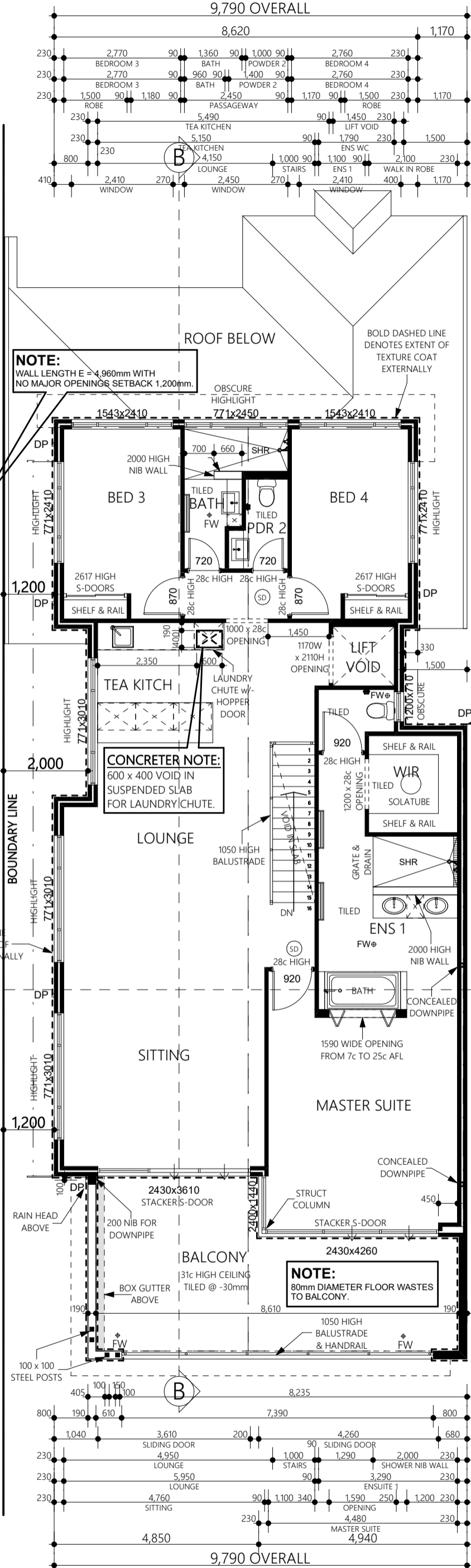


UPPER FLOOR PLAN

SCALE 1:100

CONCRETER NOTE:
SET DOWN SHOWER FLOORS 40mm TO SUIT HOBLESS SHOWERS.

NOTE:
ALL STRUCTURAL COLUMNS, BEAMS & LINTELS TO BE AS PER ENGINEERS DETAILS.



NOTE:
WALL LENGTH E = 4,960mm WITH NO MAJOR OPENINGS SETBACK 1,200mm.

CONCRETER NOTE:
600 x 400 VOID IN SUSPENDED SLAB FOR LAUNDRY CHUTE.

NOTE:
80mm DIAMETER FLOOR WASTES TO BALCONY.

NOTE:
1. DO NOT SCALE FROM DRAWINGS.
2. DIMENSIONS MUST BE FOLLOWED & CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
3. DOWNPIPES ARE TO BE LOCATED AT ROOF PLUMBERS DISCRETION TO SUIT ROOF WATER VOLUME & ROOF MEMBERS (CONCEALED DOWNPIPES TO BE 100x50 DWV).
4. FLOOR WASTES & VENTS ARE INDICATIVE ONLY.

NOTE:
ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO BUILDER IMMEDIATELY.

BRICKLAYER NOTE:
230w CAVITY 2c HIGH FACE BLOCKS LAID THIRD BOND EXTERNALLY WITH AREAS OF RENDERED FINISH EXTERNALLY AS SHOWN ON ELEVATIONS & INDICATED ON PLAN WITH A BOLD DASHED LINE.

CEILING NOTE:
31c HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

NOTE:
REFER TO SITE PLAN FOR FULL EXTENT OF PAVED AREAS.

CEILING NOTE:
NEGATIVE DETAIL CEILINGS @ 31c THROUGHOUT UNLESS NOTED OTHERWISE

K. & B. HOME DEVELOPMENTS Pty Ltd

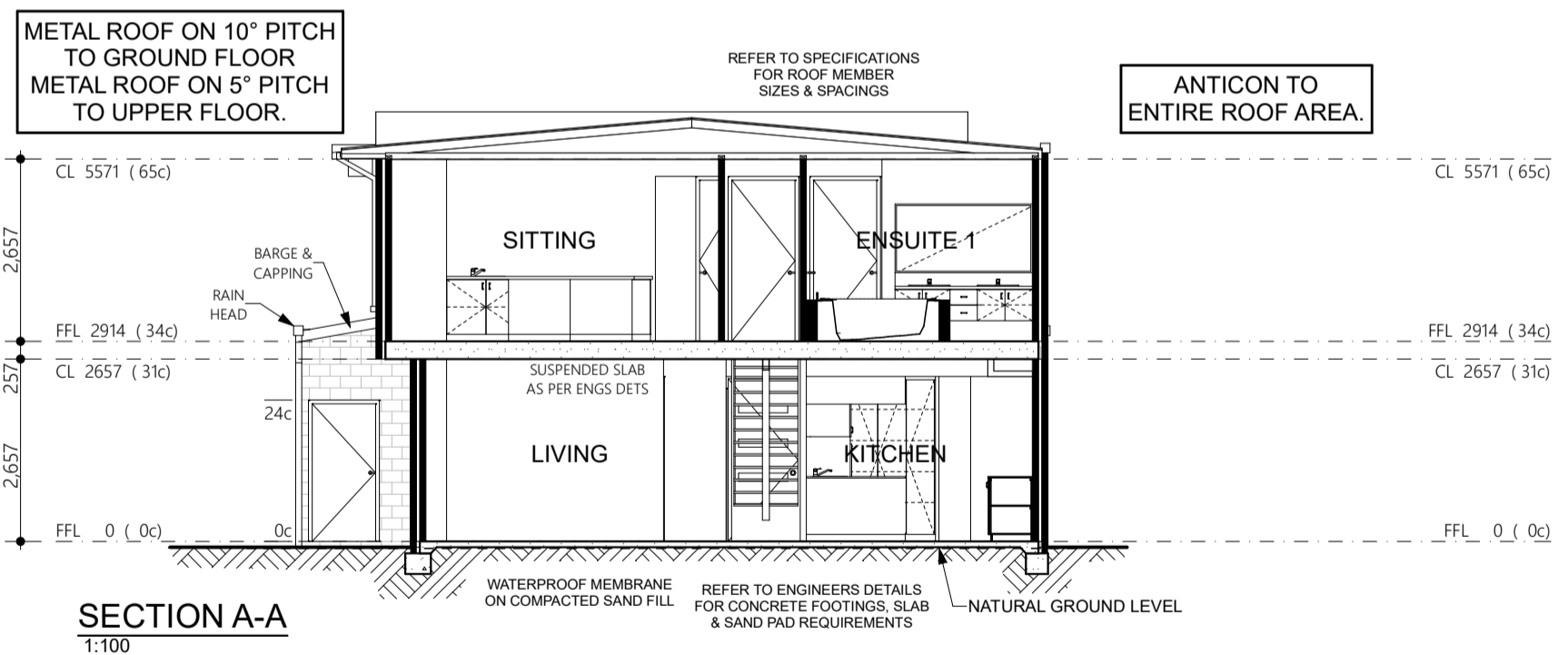
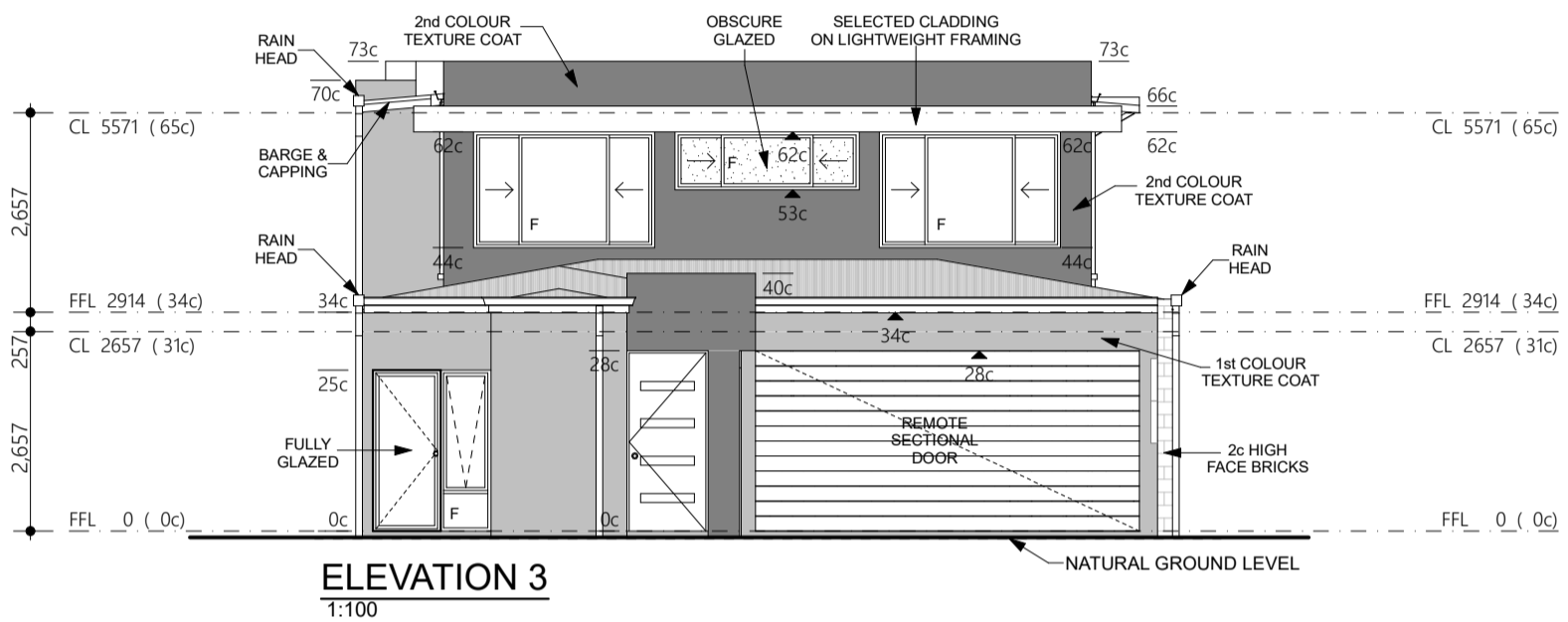
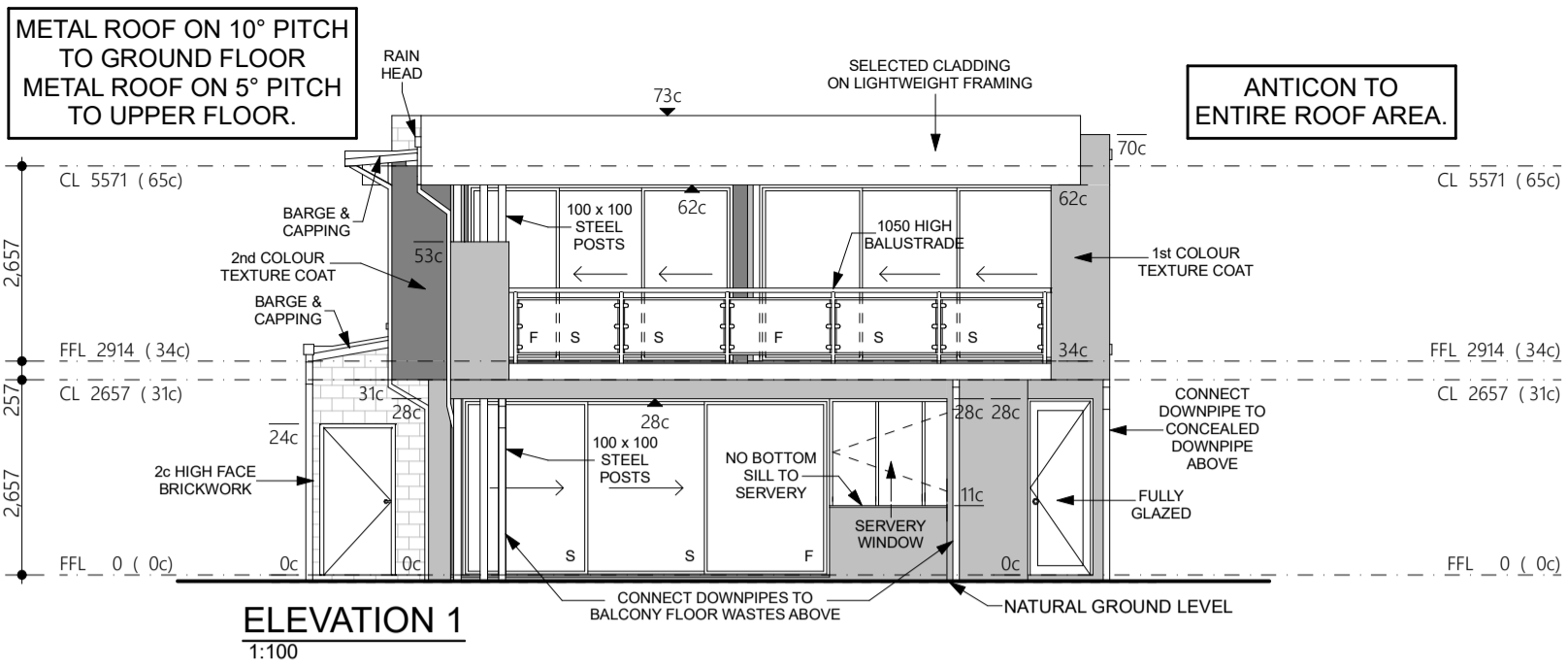
CLIENT: **AHLQUIST**
SITE ADDRESS: **LOT 1796 (#94) MARITIME DRIVE JINDALEE**

CONTRACT INITIALS:
CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____

| DRAWING REVISION RECORD | | |
|-------------------------|-----------------------------|-------------|
| No | DESCRIPTION | BY DATE |
| A | PRELIMINARY DESIGN DRAWINGS | JS 18-02-23 |

CUSTOM DESIGN
NATIONWIDE HOUSE
5 STAR RATING

DRAWING SIZE: **A3**
JOB NO: T.B.A.
SHEET NO: 3 OF 13
DATE: 18-02-2023
REVISION NO: A



K. & B. HOME DEVELOPMENTS Pty Ltd

CLIENT: **AHLQUIST**
SITE ADDRESS:
**LOT 1796 (#94)
MARITIME DRIVE
JINDALEE**

CONTRACT INITIALS:
CLIENT:
CLIENT:
BUILDER:
DATE:

| DRAWING REVISION RECORD | | | |
|-------------------------|-----------------------------|----|----------|
| No | DESCRIPTION | BY | DATE |
| A | PRELIMINARY DESIGN DRAWINGS | JS | 18-02-23 |
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CUSTOM DESIGN



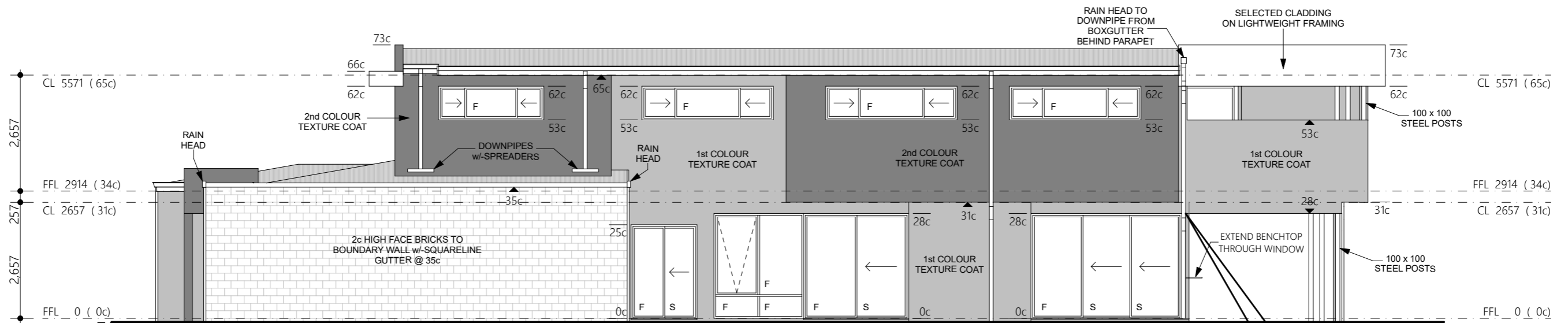
DRAWING SIZE: **A3**
JOB NO: T.B.A.
SHEET NO: 4 OF 13
DATE: 18-02-2023
REVISION NO: A

| No | DESCRIPTION | BY | DATE |
|----|-----------------------------|----|----------|
| 1 | PRELIMINARY DESIGN DRAWINGS | AS | 18-02-23 |

CUSTOM DESIGN

HOME CHOICE

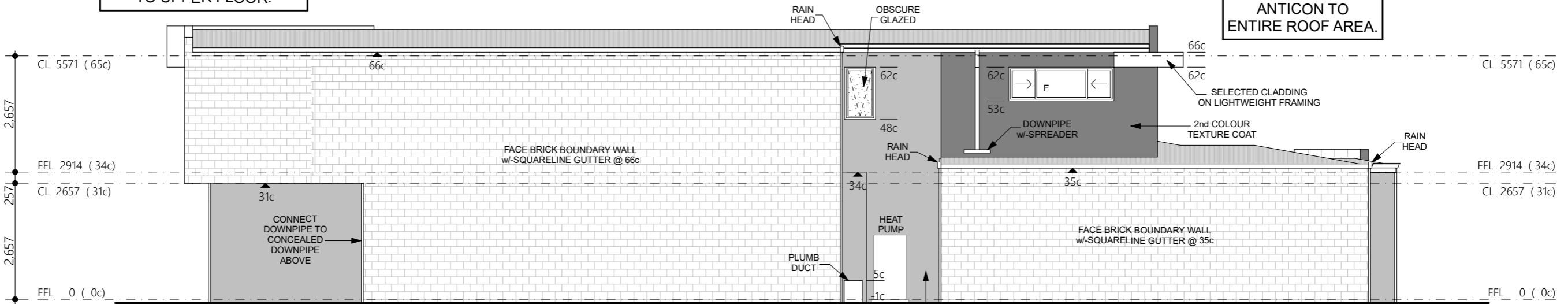
5 STAR RATING



ELEVATION 2
1:100

METAL ROOF ON 10° PITCH TO GROUND FLOOR
 METAL ROOF ON 5° PITCH TO UPPER FLOOR.

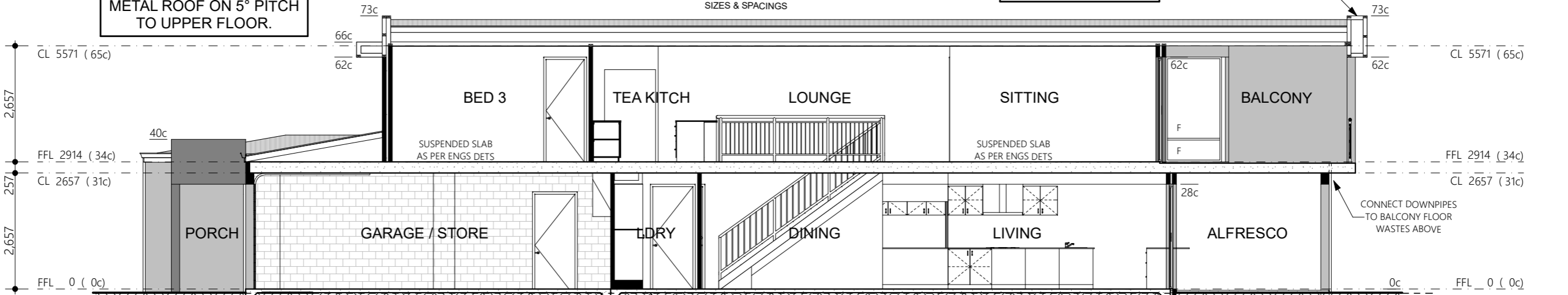
NOTE:
 NO CORNER COLUMN SUBJECT TO ENG'S DETAILS.



ELEVATION 4
1:100

METAL ROOF ON 10° PITCH TO GROUND FLOOR
 METAL ROOF ON 5° PITCH TO UPPER FLOOR.

ANTICON TO ENTIRE ROOF AREA.



SECTION B-B
1:100