



PROPOSED LAND USE
 295 KAROBORUP ROAD
 CARABOODA

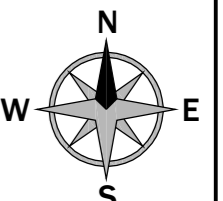
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DEVELOPMENT APPLICATION – PROPOSED CHANGE OF USE RECEPTION CENTRE & PRIVATE RECREATION

LOT 101 (NO. 295) KAROBORUP ROAD, CARABOODA

PROJECT REF: 1819



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PLANNING
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1.0 Introduction

Dynamic Planning and Developments Pty Ltd acts on behalf of the registered proprietors of Lot 101 (No. 295) Karoborup Road, Carabooda (herein referred to as the 'subject site'). This application is for Approval to Commence Development related to a change of use that will allow the hosting of events and recreation activities at the subject site.

For submission purposes, we provide the following information:

- This concise submission providing details of the proposed use and any relevant planning commentary.
- A copy of the Certificate of Title (**Appendix 1**).
- Proposed Development Plans (**Appendix 2**).
- Acoustic Report (**Appendix 3**).
- Traffic Impact Statement (**Appendix 4**).

It will be demonstrated in subsequent sections of this report that the proposed change of use and additional activities at the subject site warrants support and subsequent approval from the City of Wanneroo. The report will address the following:

- Background information and context of the subject site.
- Details of the proposed additional uses and activities.
- Consideration of the applicable planning framework specifically the City of Wanneroo District Planning Scheme No.2 (DPS2) and any relevant local planning policies.

2.0 Site Details

2.1 Legal Description

The subject site is legally described as:

Lot	Plan	Volume/Folio	Street Address
101	D098640	2186/431	295 Karoborup Road, Carabooda

The area of the subject site is 40,000m².

A copy of the Certificate of Title pertinent to the subject site is contained in **Appendix 1**.

2.2 Locational and Land Use Context

2.2.1 Regional and Local Context

Lot 101 (No. 295) Karoborup Road, Carabooda is located within the municipal area of the City of Wanneroo and is approximately 6.7km from the centre of Butler and 43km from Perth CBD. The subject site has frontage and access to Karoborup Road.

The subject site is presently occupied by an existing single house and an associated shed. Approval has been granted by the City of Wanneroo for a Bed and Breakfast and Home Business at the site which will continue operation in conjunction with the additional proposed land uses. Beyond the subject site is an existing rural living and market garden area.

Figure 1 and Figure 2 depict the subject site within the regional and local context respectively.

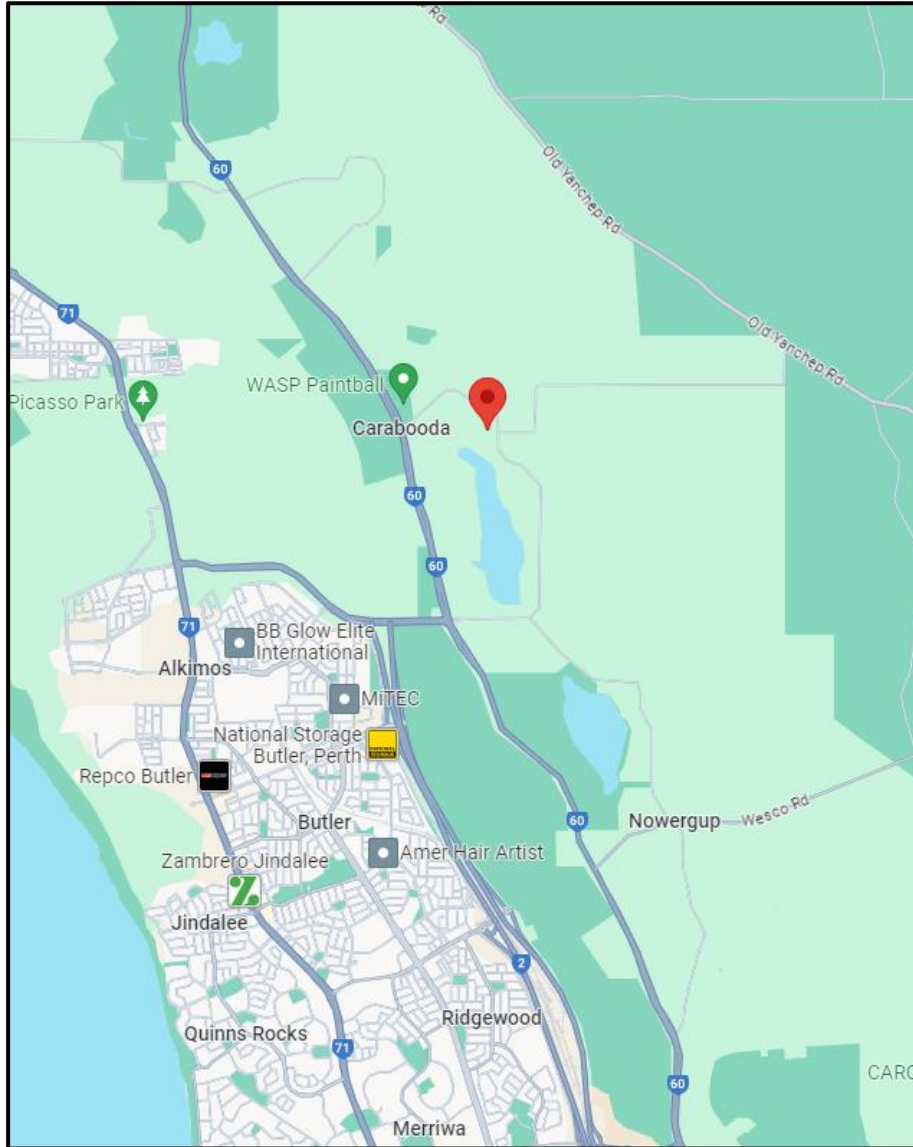


Figure 1 – Regional Context



Figure 2 – Local Context

LOT 101 (NO. 295) KAROBORUP ROAD, CARABOODA

3.0 Planning Framework

3.1 Metropolitan Region Scheme (MRS)

The subject site is zoned 'Rural' under the provisions of the Metropolitan Region Scheme (MRS).

For reasons outlined further in this report, the proposed development is considered to be consistent with the 'Rural' MRS zoning applicable to the subject site.

3.2 City of Wanneroo District Planning Scheme No. 2

The site is zoned both 'Rural' and 'Landscape Enhancement' under the City of Wanneroo District Planning Scheme No. 2 (DPS No. 2). Figure 3 illustrates where the boundary between zones is located in the context of the subject site.

The objectives of the 'Rural' zone are to:

- a) *To provide for the maintenance or enhancement of specific local rural character.*
- b) *To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.*
- c) *To maintain and enhance the environment qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.*
- d) *To provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the Rural zone.*

- e) *To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.*

The objectives of the 'Landscape Enhancement' zone are to:

- a) *To enable a range of activities and land uses that support the characteristics of the landscape, including agricultural and horticultural land uses, and small-scale tourism activities.*
- b) *To ensure that development maintains the rural character of the locality and does not adversely affect the existing landscape and scenic values.*
- c) *To facilitate development that:*
 - o *Is compatible with the landscape amenity and rural character of the.*
 - o *Will not have a detrimental impact on sensitive land uses.*
 - o *Is coordinated and compatible with surrounding land parcels, and*
 - o *Does not necessitate the provision of large scale unplanned and uncoordinated service infrastructure and community services.*
- d) *To encourage land use and management practices compatible with landscape and environmental conservation.*
- e) *To encourage the preservation of vegetation and fauna and the protection of areas of visual or landscape quality.*

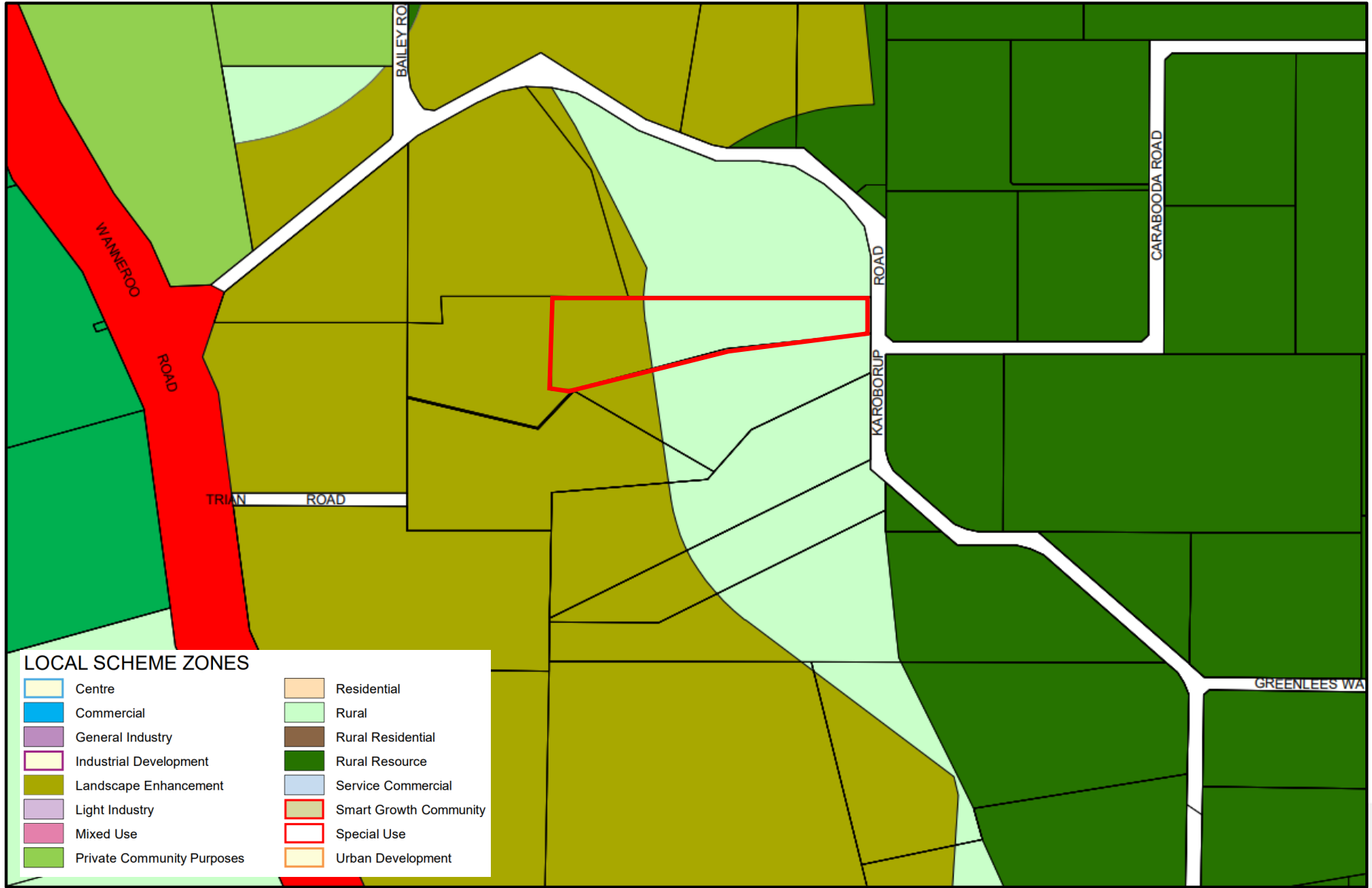


Figure 3: DPS 2 Extract

LOT 101 (NO. 295) KAROBORUP ROAD, CARABOODA

4.0 Proposal Details

The proposed development seeks approval for a change of use to allow the operation of both the 'Reception Centre' and 'Recreation Private' land uses at the subject site. This will be in addition to the existing approved bed and breakfast and home business already in operation at the site.

The intent of the change of use is to allow the property to be used for events (weddings and the like) as well as yoga and martial arts classes. Information on how each use will function is detailed below.

Reception Centre

- Up to and not exceeding 60 events per year (primarily weddings) with a limit of 100 people per event.
- The majority of the events will be wedding ceremonies and photos at the subject site and then moving off site to another reception centre. These will primary occur Friday to Monday.
- There is a desire to also host small wedding receptions at the property as well with a limit of 40 patrons after 10pm in the evenings in order to comply with acoustic requirements. Any reception would conclude at midnight.
- Staffing for weddings will be provided by external vendors and companies appointed by people using the property for weddings and will be required to comply with any approved event management plan or similar that is required as a condition of approval.
- Any infrastructure associated with any weddings on site would be purely temporary i.e. a marquee, furniture and portable toilets and the like arranged through hire companies who would set up and then pack down any equipment.

- Patrons will be permitted to stay at the site in self-contained caravans only so as to contain all waste within the caravans themselves. Formalised parking will be provided on site with the ability for further informal parking and camp set ups to occur in other locations on site. Importantly any camping will be strictly associated with events being held at the site, no other camping will be permitted to occur.
- There will be a limit of 30 caravans on site at any one time with the expectation that it will be much less than this most of the time given the proximity to Perth and other formal accommodation alternatives.
- Anyone camping on site will have a two night maximum stay to allow early set up or late departure with the majority being only for the wedding night.
- The area designated for the 'Reception Centre' land use operation has been noted on the development plans.

It is expected that an event management plan or similar will be provided and implemented as a condition of approval to ensure the approved use will function as described above.

Recreation Private

- The use will allow the operation of yoga and martial arts classes at the site on a maintained grassed area at the rear of the site in the 'Landscape Enhancement' zone.
- Operating hours for the use will be 9am to 6pm, 7 days a week.
- Each class will be for a period of 1 hour with 1-2 classes likely to occur per day with up to 15 people per class.
- There will be no classes held during times when an event is scheduled to occur on site.

5.0 Assessment

The statutory provisions applicable to the subject site require assessment of the proposal to be undertaken against the provisions of the following documents:

- City of Wanneroo District Planning Scheme No. 2 (DPS 2)

An assessment of the proposed developments compliance with the abovementioned documents has been provided below in following sections.

5.1 Land Use Permissibility

In accordance with DPS 2, the land use permissibility for the proposed development is assessed in accordance Clause 3.2, Table 1 of DPS 2. Given the nature of the proposed operation, the proposed land uses are best defined as 'Reception Centre' and 'Recreation Private', the applicable definitions noted in DPS 2 are provided below:

Reception Centre – means a premises used for hosted functions on formal or ceremonial occasions.

Recreation – Private means premises that are:

- a) Used for indoor or outdoor leisure, physical exercise, recreation, or sport; and
- b) Not usually open to the public without charge.

In accordance with Clause 3.2, Table 1 of DPS 2, the 'Reception Centre' land use is 'Discretionary (A)' in the 'Rural' zone and 'Discretionary (D)' in the 'Landscape Enhancement' zone and

as such is capable of approval anywhere on site. The 'Recreation Private' land use is 'Discretionary (D)' in the 'Landscape Enhancement' zone and 'Prohibited (X)' in the 'Rural' zone meaning that this land use can only occur to the rear of the property as designated on the proposed development plans.

In considering the appropriateness of both uses against the objectives outlined in Section 3.2 above, the following is noted:

- There is no permanent development or structures proposed at the site meaning that the proposed operation will be very low impact on the environment and exiting rural and landscape character.
- The existing property is not functioning, nor profitable, as a rural/agricultural property and as such the proposed additional uses will improve the productivity of the site at no detriment to the environment or surrounding landowners.
- The operation of the use will allow patrons to benefit from the attractive landscape environment that exists at the site.
- The site is largely free of any vegetation and the proposed additional uses will not result in the loss of any vegetation at the site.

With regard to the above, the proposed additional uses at the subject site are considered to be consistent with the relevant zone objectives and are considered appropriate for approval.

5.2 Development Requirements

As there is no permanent built form proposed at the site and any temporary structures that might be installed and removed from the site are exempt from needing planning approval (as they won't be in existence for longer than 48 hours), the only relevant development requirement is car parking. In this regard, a car parking assessment has been provided below with the following to be noted:

- All parking proposed is additional parking to what is existing and what has been approved to support the existing home business and bed and breakfast.
- There will be no instances where an overlap occurs between the 'Recreation – Private' and 'Reception Centre' land uses meaning that the parking provided can be used reciprocally.

The applicable parking requirements are:

- Reception Centre – 1 bay per 4 persons accommodated (as there is no designated seating area).
- Recreation Private – 1 bay per 4 persons accommodated.

In light of the above, the maximum number of people accommodated at the site for both the 'Recreation Private' and 'Reception Centre' land uses will be 100 people meaning a total of 25 bays are required. The proposed development includes provision for 26 bays and 4 formalised caravan bays meaning there is a parking surplus of 1 bay.

6.0 Conclusion

In light of the above, the proposed additional uses at the subject site being the 'Reception Centre' and 'Recreation-Private' land uses are considered to be appropriate for approval as:

- The proposed uses have been located on the site in locations where each are 'Discretionary' and as such, capable of approval.
- The proposed operation will be low impact and will exist within the existing rural/landscape character of the subject site which will ensure consistency with the zone objectives.
- The proposal provides a compliant provision of car parking and the associated technical reports demonstrates that there will no negative amenity impacts to adjoining properties.

As such, we respectfully request that the City of Wanneroo favourably consider the subject proposal based on the merits presented in the preceding sections of this submission.

Appendices

LOT 101 (NO. 295) KAROBORUP ROAD, CARABOODA