

R-CODES NOTE:

ZONING: R60 + STRUCTURE PLAN

SITE COVERAGE

SITE: 248M²
 ALLOWED COVER: 75% (186M²)
 ACTUAL COVER: 54.97% (136.33M²)

R-CODES VARIATION/PLANNING REQUIRED: YES

- RIGHT HAND SIDE UPPER STOREY BOUNDARY WALL OVER LENGTH

BAL ASSESSMENT REQUIRED: NO

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
 - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER. ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQ.

ELECTRICAL NOTE:

PROVIDE 3-PHASE POWER TO METERBOX

Soak Well Type	No.	Capacity
SW 1200x1200	2	2.7 m ³
		Total Capacity 2.7 m ³
		Roof Area GF 165.8 m ²
		Total Area 165.8 m ²
		Capacity Required (Area x 0.0130) 2.2 m ³
		Extra Capacity Provided 0.6 m ³

LEGEND	Symbol	Description
	⊕	SEC Dome
	⊖	Power Pole
	⊕ ⊖	Phone Pits
	⊕	Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:

Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:

Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

NOTE:

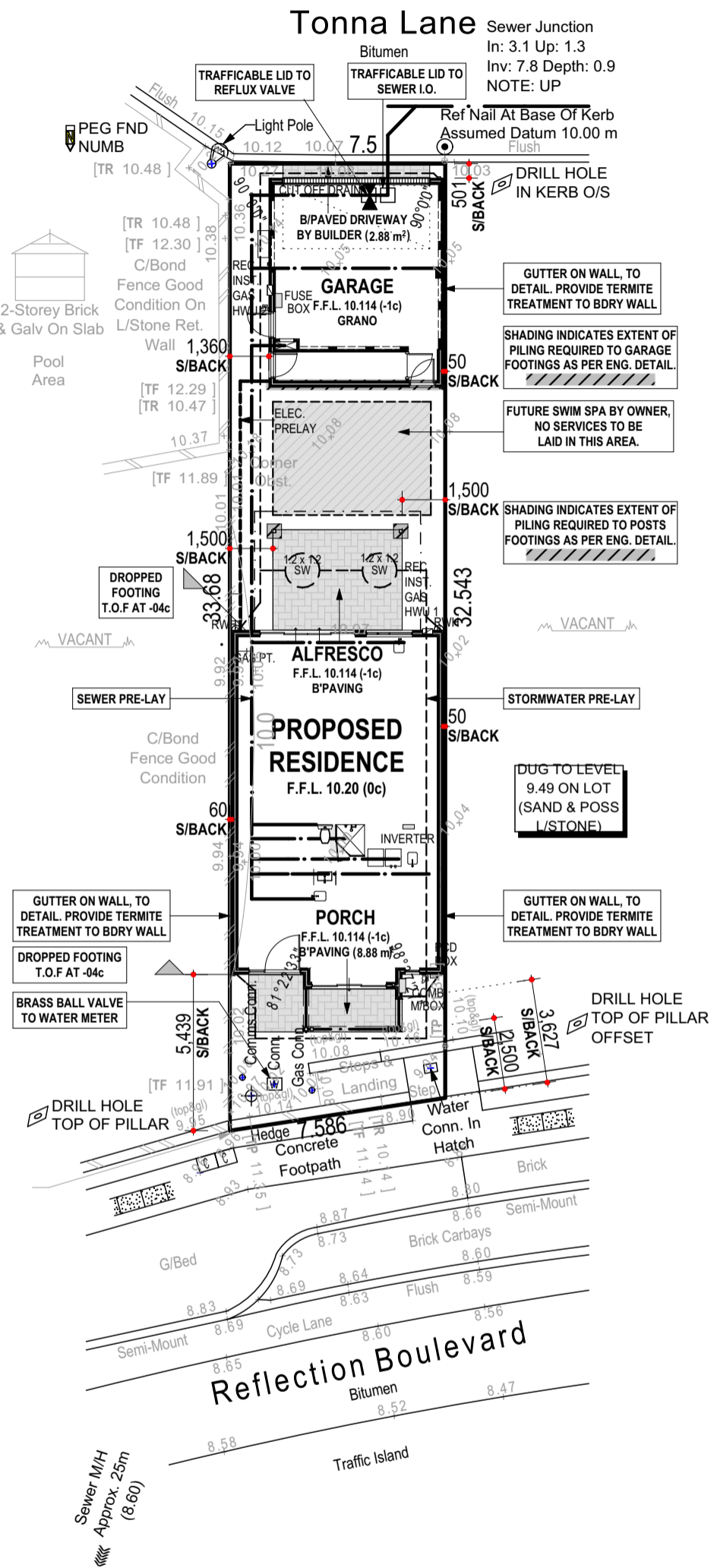
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT N670739

NOTE:

COVENANT. "NO ACCESS" REFER TO SEC 150 P&D ACT. SEE DOCUMENT

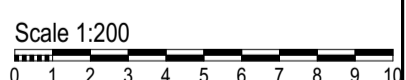
OWNER NOTE:

* THE OWNER IS AWARE, UNDERSTANDS AND ACCEPTS THEIR RESPONSIBILITIES AS FOLLOWS IN REGARD TO THE INSTALLATION OF THEIR POOL AFTER CONSTRUCTION:
 * THE OWNERS RESPONSIBILITIES IN RELATION TO INSTALLING THEIR POOL AFTER CONSTRUCTION INCLUDE:
 * RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE HOUSE SAND PAD, SLAB AND FOOTINGS WHEN EXCAVATING AND INSTALLING THEIR FUTURE POOL
 * RESPONSIBLE FOR REPAIRS TO SERVICES AND BUILDING SHOULD DAMAGE OCCUR DURING EXCAVATION / INSTALLATION
 * RESPONSIBLE FOR OBTAINING THEIR OWN APPROVALS FROM STATUTORY AUTHORITIES
 * RESPONSIBLE FOR SWIMMING SECURITY POOL FENCING
 * RESPONSIBLE TO ADVISE BUILDER IF ANY WINDOWS ARE TO BE AMENDED TO COMPLY WITH BCA / POOL REGULATIONS
 * THE BUILDER WILL TAKE CARE TO AVOID THE FUTURE POOL AREA WITH SERVICE RUNS AS MUCH AS POSSIBLE. HOWEVER, THIS IS SUBJECT TO ACTUAL LOCATIONS OF SERVICES.
 * RESPONSIBLE FOR ENSURING THE POOL IS CONSTRUCTED NO CLOSER TO THE HOUSE OTHER THAN AS IS SHOWN ON THE SITE PLAN.



WITNESS: _____
 CLIENT(S): _____
 BUILDER: _____

Latitude: 31°38'03"2S Longitude 115°41'02"5E



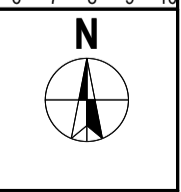
COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 87-89 Guthrie Street, Osborne Park, Western Australia.
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA:	- 248M ²
SHIRE:	- CITY OF WANNEROO
D.PLAN:	- 65147
C/T VOLUMN:	- 2935
FOLIO:	- 703
MSD REF:	- 158-05/39

ROAD DESCR.:	- BITUMEN
KERBING:	- FLUSH / SEMI-MOUNT
FOOTPATH:	- CONCRETE
SOIL:	- SAND / L'STONE
DRAINAGE:	- GOOD
VEGETATION:	- LIGHT GRASS COVER

GAS:	- YES	SSA/OLD AREAS:	- SSA
WATER:	- YES	C/JOB#:	- 431648
ELECTRICITY:	- U/GROUND	DATE:	- 08/02/18
PH/COMMS:	- YES	SCALE:	1:200
SEWER:	- YES	DRAWN:	- M. BATEMAN
COASTAL:	- CHECK SHIRE		

UNLOGGED SURVEY STRATA PLAN:	- N/A
ORIGINAL LOT:	- N/A
LOT MISCLOSE:	- 0.001m
SSL 1 MISCLOSE:	- N/A
SSL 2 MISCLOSE:	- N/A



VARIATIONS:	V009 21.12.18 NIR	V022 18-11-19 MJE	LAST OPENED:	DATE: 15-02-18
V001 24-04-18 MJE	V015&V016 16-08-19	V010 15.02.19 NIR	Mon 18 Nov 2019	DRN: MJE
V002 07-08-18 MJE	V017 09.09.19 DCO	V008 20.02.19 NIR		CHD: NWI
V004 21-09-18 NIR	AMEND 24-09-19 MJE	V011 06.03.19 NIR		SCALE: 1: 200
V005&6 18-10-18 NIR	V020 30-10-19 MJE	V012 19-03-19 MJE		© COPYRIGHT 2019
V007 07-11-18 NIR	V021 07-11-19 DCO	V013 & CLOG 31.07.19 DCO	TIME:	
V008 03-12-18 NIR	AMEND. 11-11-19 DCO	V014 07-08-19 DCO	07:32:22	
SHEET	15 OF 15	SPECIAL		JOB NO: 155006

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - 'N1'
CORROSION CLASSIFICATION - 'R4'

BRICK NOTE

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

BUSHFIRE ATTACK LEVEL - 12.5

**CONSTRUCTION TO COMPLY FULLY
W/ NASH STANDARDS**

ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME
- CEILINGS TO USIDE OF TRUSS (TRUSS AT 31c)

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO
STORMWATER SYSTEM (NO KICK)

PLUMBER NOTE

- NO HOBS TO SHOWERS UNLESS
SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX
VALVE.

BRICKLAYER NOTE

- FOR 2c GARAGE;
- 25c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

PROVIDE VINYL FROM BUILDERS
STANDARD RANGE TO LIVING,
DINING, KITCHEN, PTY, ENTRY, BED
2 (INC. ROBE) & BED PASS
PROVIDE INTERNAL PAINTING
THROUGHOUT (2 COATS OF PAINT
& 1 COAT OF SEALER)
PROVIDE BLINDS THROUGHOUT
(INC. WET AREAS)

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS &
STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON
RECEIPT OF ENG'S CERT. PLANS.

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS
AS3786:2014 AS INDICATED ON PLAN
- PROVIDE 3-PHASE POWER

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

GARAGE NOTE

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

HEET 1 OF 15	SPECIAL	ARIATIONS:	009 21-12-18 NIR V015A V016 16-08-19	009 21-12-18 NIR V022 18-11-19 MAE	DATE: 15-02-18	DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.
		001 24-04-18 MAE V015A V016 16-08-19	001 15-02-19 NIR V023 06-01-20 DCO	DRN: MAE		
		002 07-08-18 MAE V017 09-09-19 DCO	008 20-02-19 NIR V025 07-02-20 NJW	CHD: NWI		
		004 21-08-18 NIR AMEND 24-09-19 MAE V011 06-03-19 NIR	005 18-10-18 NIR V020 30-10-19 MAE V013 & CLDG 31-07-19 DCO	SCALE: 1:100		
005 18-10-18 NIR V020 30-10-19 MAE V013 & CLDG 31-07-19 DCO	007 07-11-18 NIR AMEND 11-11-19 DCO V014 07-08-19 DCO	TIME: 07:32:22	JOB NO: 155006			
006 03-12-18 NIR AMEND 11-11-19 DCO V014 07-08-19 DCO						

BUILDER:	CLIENT(S):	WITNESS:

AIRCON NOTE

- PROVIDE REVERSE CYCLE AIR CONDITIONING TO MAIN
HOUSE. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CEILING MATERIAL NOTE

- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - PLASTERBOARD C.L.
- ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE

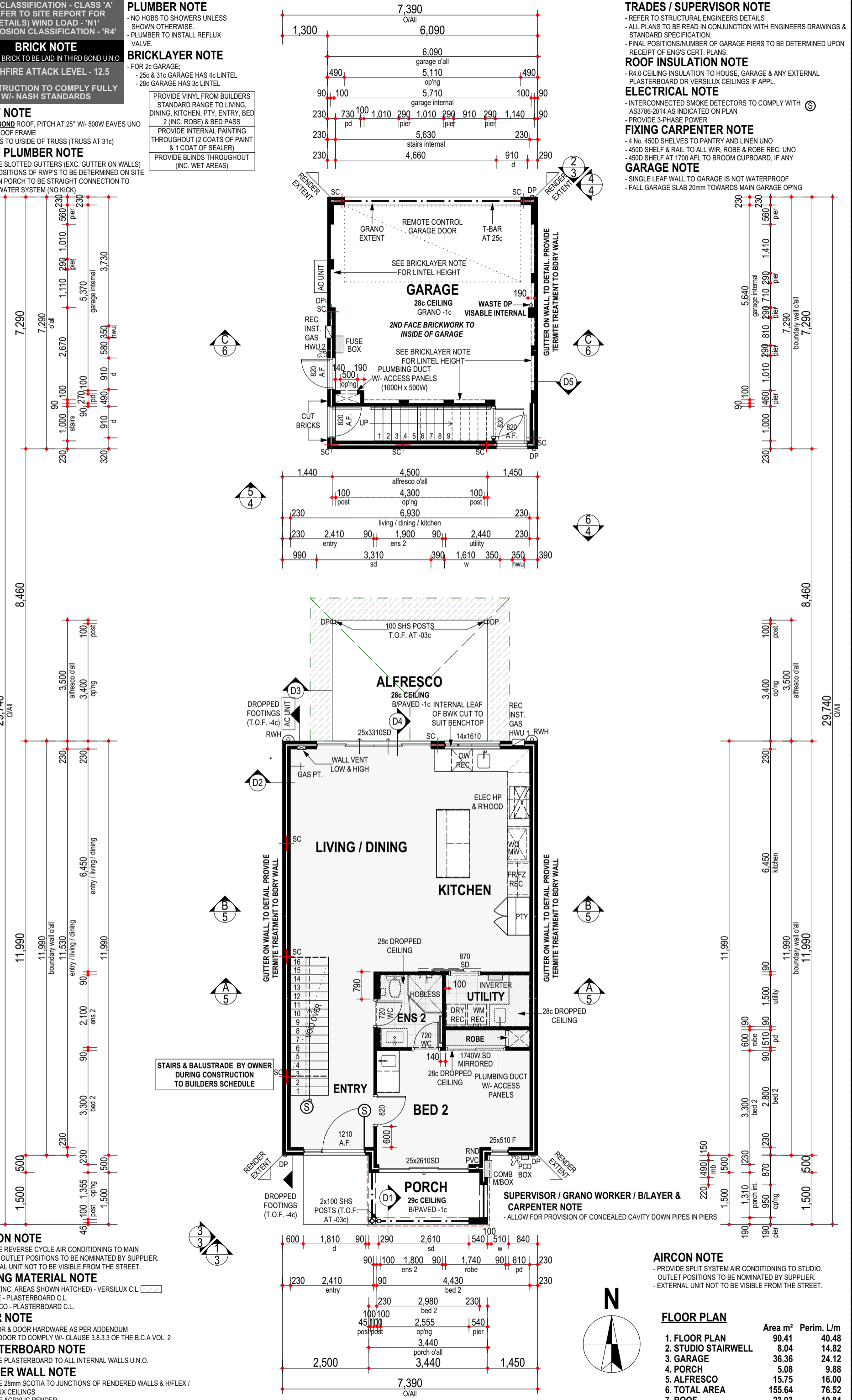
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE

- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.

RENDER WALL NOTE

- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX /
VERSILUX CEILINGS
- PROVIDE ACRYLIC RENDER



AIRCON NOTE

- PROVIDE SPLIT SYSTEM AIR CONDITIONING TO STUDIO.
OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

FLOOR PLAN

	Area m ²	Perim. L/m
1. FLOOR PLAN	90.41	40.48
2. STUDIO STAIRWELL	8.04	14.82
3. GARAGE	36.36	24.12
4. PORCH	5.08	9.88
5. ALFRESCO	15.75	16.00
6. TOTAL AREA	155.64	76.52
7. ROOF	23.93	19.84

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR DETAILS) WIND LOAD - 'N1'
CORROSION CLASSIFICATION - 'R4'

BRICK NOTE
2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O
BUSHFIRE ATTACK LEVEL - 12.5

CONSTRUCTION TO COMPLY FULLY W/ NASH STANDARDS

TRADES / SUPERVISOR NOTE

- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON RECEIPT OF ENG'S CERT. PLANS.

ENGINEER NOTE

- NOTE BLOCKOUTS TO DUCTS.
- CONFIRM ROOF BEAMS AND SIZES.

PROVIDE VINYL FROM BUILDERS STANDARD RANGE TO STUDIO & STUDIO STAIRS, BEDROOMS (INC. ROBES) & ACTIVITY
PROVIDE BLINDS THROUGHOUT (INC. WET AREAS)

PLUMBER/GENERAL NOTE

- 2 STOREY FLOOR CONSTRUCTION TO BE FLOOR TECH TRUSS. REFER TO ENGINEERS DETAILS & SECTIONS.

ROOF INSULATION NOTE

- R4.0 CEILING INSULATION TO HOUSE, GARAGE, STUDIO & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

GRANO NOTE

- REFER TO ENGINEER'S CERTIFIED PLANS FOR SLAB THICKENING SPEC.

ELECTRICAL NOTE

- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN
- 3-PHASE POWER

FIXING CARPENTER NOTE

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
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GARAGE NOTE

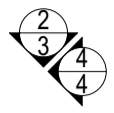
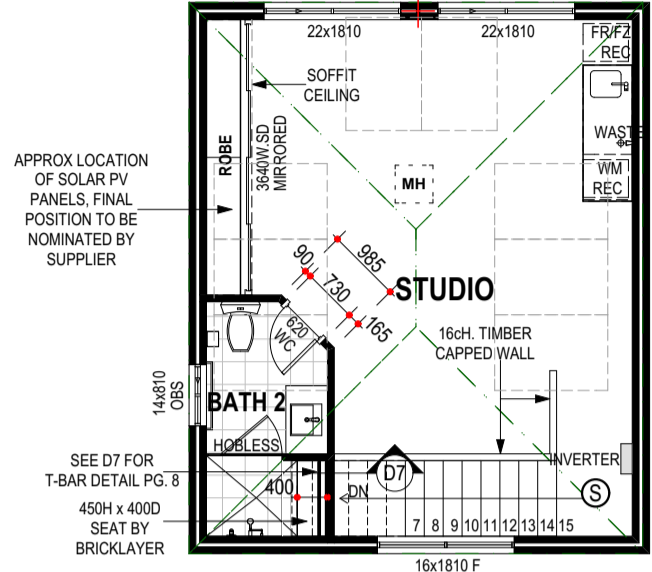
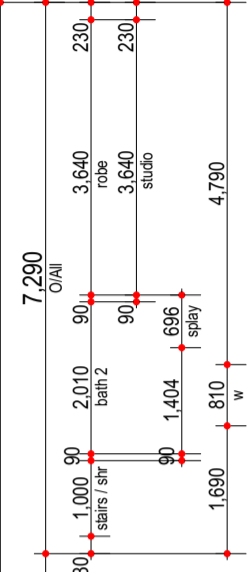
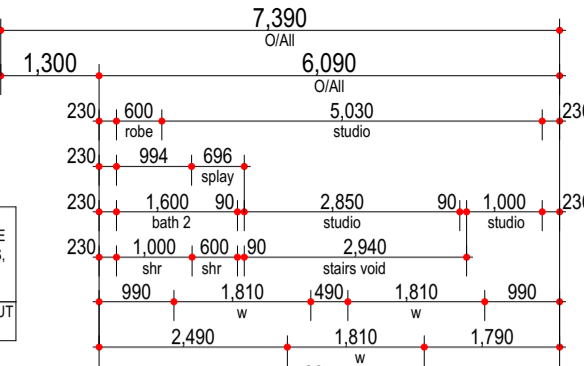
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

ROOF NOTE

COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
STEEL ROOF FRAME
CEILING AT 28c + PLATE UNLESS NOTED OTHERWISE

BRICK LAYER NOTE

BUILD IN SLEEVE FOR LOUVRED GRILLE/S FOR FLUMING OF EXHAUST FAN/VENT/RANGEHOOD, SEE ELEVATION.
BUILD EXTRA BRICK LEAF IN ENS CORNER FOR SPA.
3c OF LONGREACH & 2x6mm RODS FROM A-B.



UPPER FLOOR NOTE

- **STAIR CONSTRUCTION**
STAIRWAY TREADS NON-SLIP TO TABLE 3.9.1.1 BCA VOL. 2
- **HANDRAIL CONSTRUCTION**
HANDRAILS TO COMPLY W/ CLAUSE 3.9.2.3 & 3.9.2.4 BCA VOL. 2
- **PROTECTION OF OPENABLE WINDOWS**
BEDROOM WINDOWS TO COMPLY W/ CLAUSE 3.9.2.5 BCA VOL. 2
- **SILL TRAY TO ALL UPPER FLOOR WINDOWS**

ROOF PLUMBER NOTE

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RW/P'S TO BE DETERMINED ON SITE
- RW/P'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

PLUMBER NOTE

- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

ARIATIONS:	0009 21-12-18 NIR V015A V016 16-08-19	V009 21-12-18 NIR V022 18-11-19 MAE	LAST OPENED:	Mon 18 Nov 2019
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0005 18-10-18 NIR V020 30-10-19 MAE	V013 8 & CLDG 31-07-19 DCO	SCALE:	1:100	
0007 07-11-18 NIR V021 07-11-19 DCO	V014 07-08-19 DCO	TIME:	07:32:22	
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ALL DIMENSIONS TO BRICKWORK.

BUILDER:	WITNESS:
CLIENT(S):	

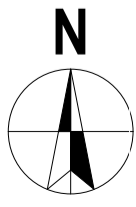
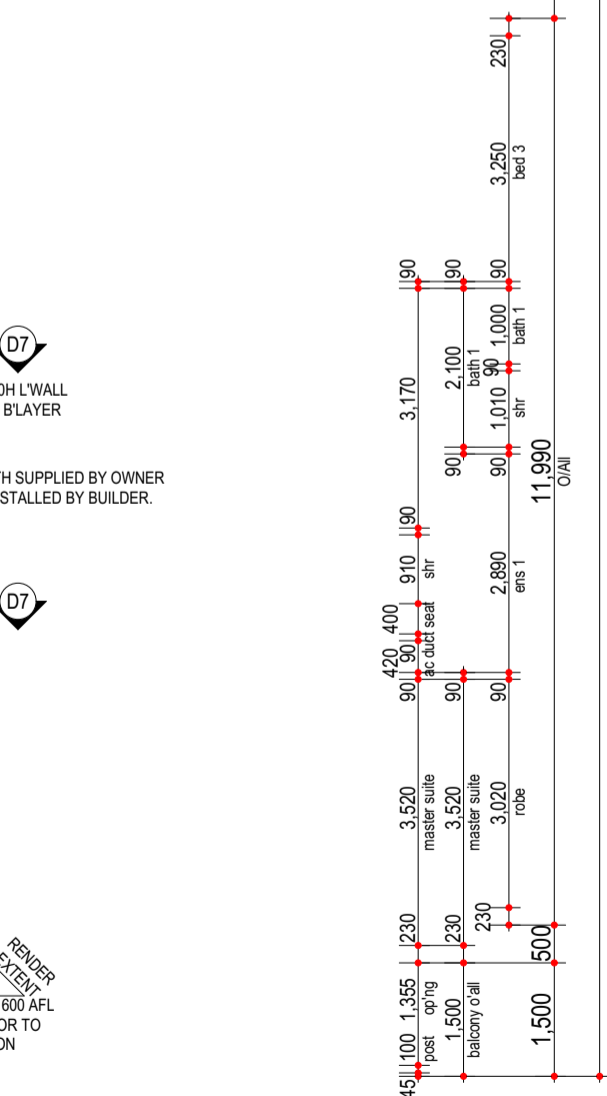
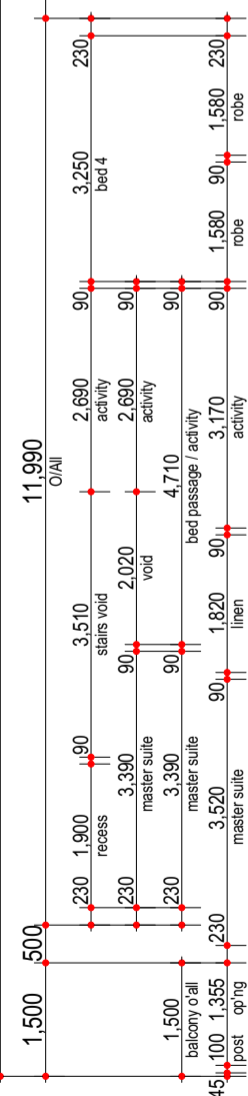
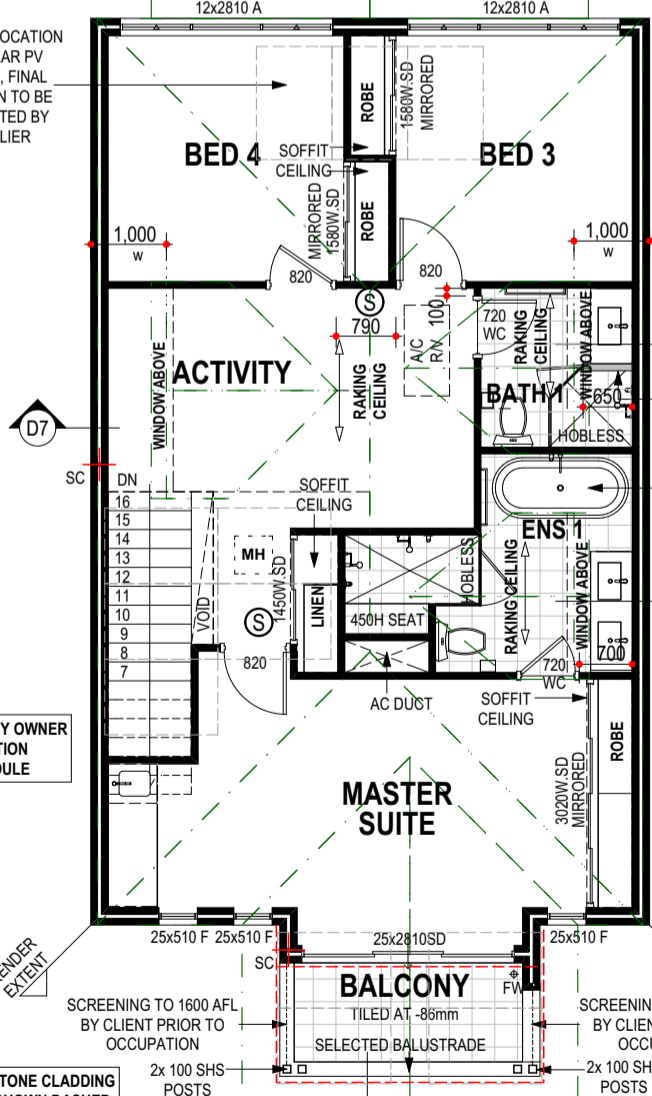
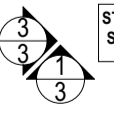
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- PROVIDE REVERSE CYCLE AIR CONDITIONING TO HOUSE. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CEILING MATERIAL NOTE
- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS



AIRCON NOTE

- PROVIDE SPLIT SYSTEM AIR CONDITIONING TO STUDIO.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

UPPER PLAN

	Area m ²	Perim. L/m
1. UPPER FLOOR PLAN	90.41	40.48
2. BALCONY	5.08	9.88
3. STUDIO FLOOR PLAN	44.40	26.76
4. TOTAL AREA	139.89	69.52
5. ROOF	140.59	69.62

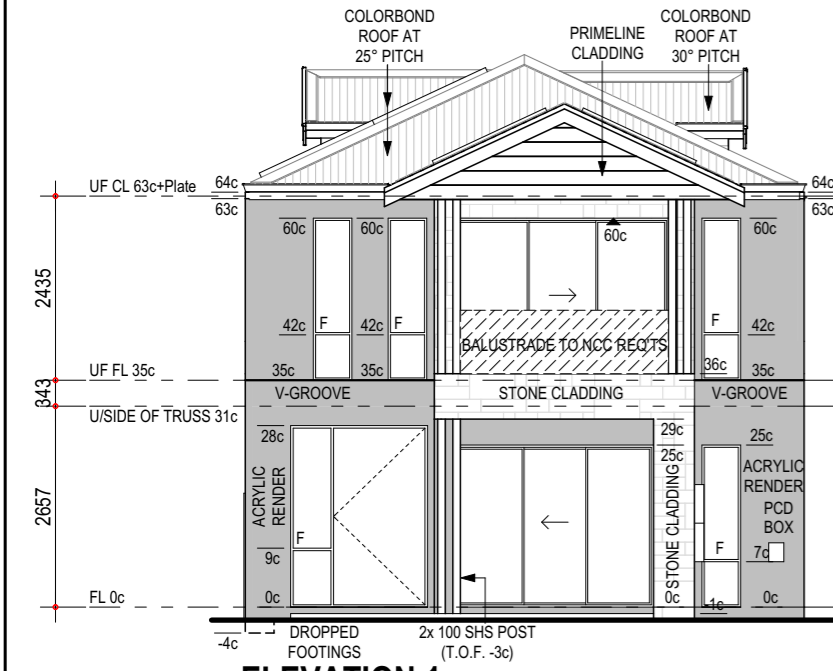
ROOF NOTE

- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD

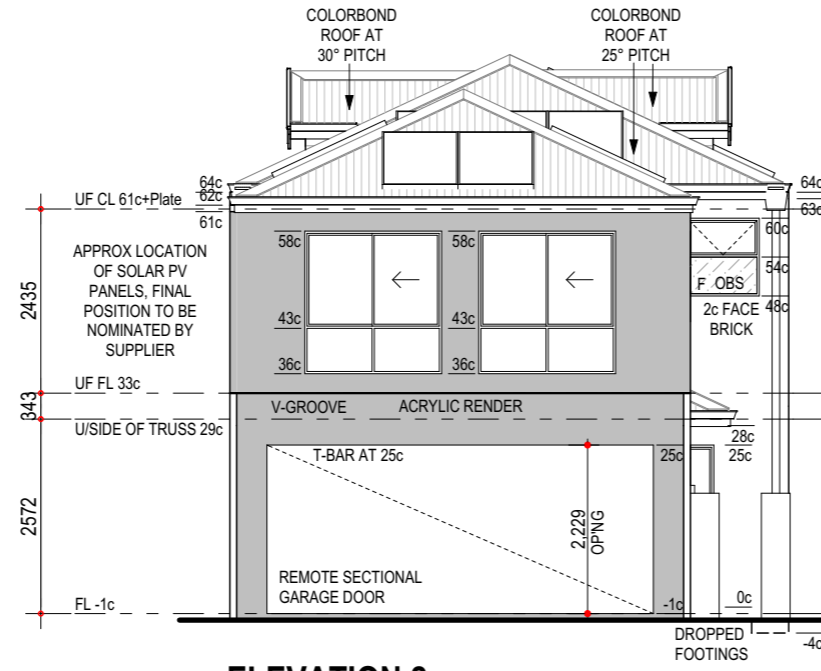
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
- WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.

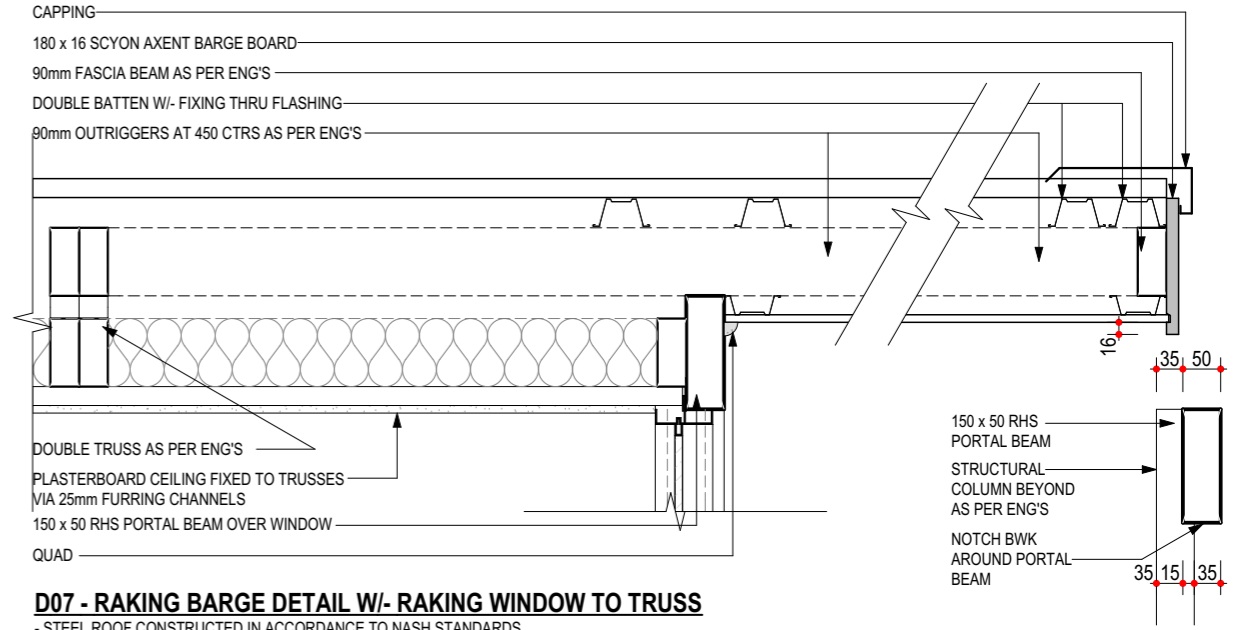
- SCALE 1 : 10



ELEVATION 1



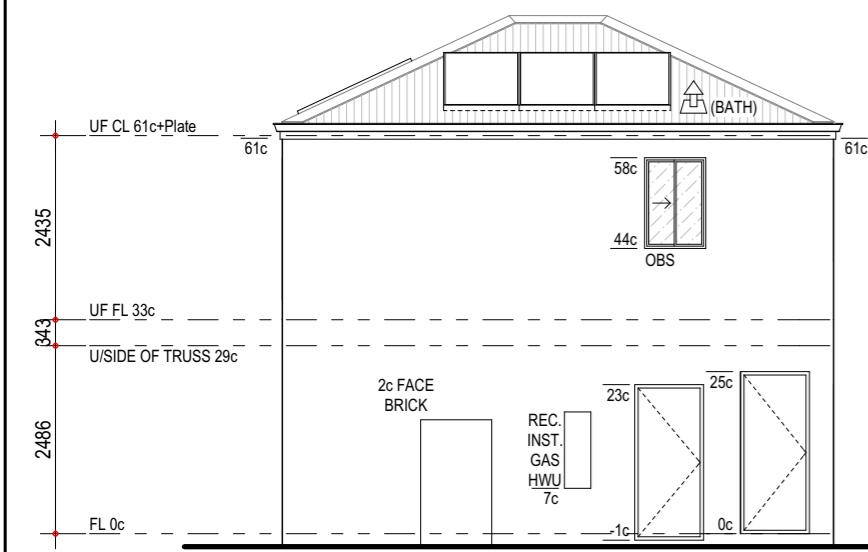
ELEVATION 2



D07 - RAKING BARGE DETAIL W/- RAKING WINDOW TO TRUSS

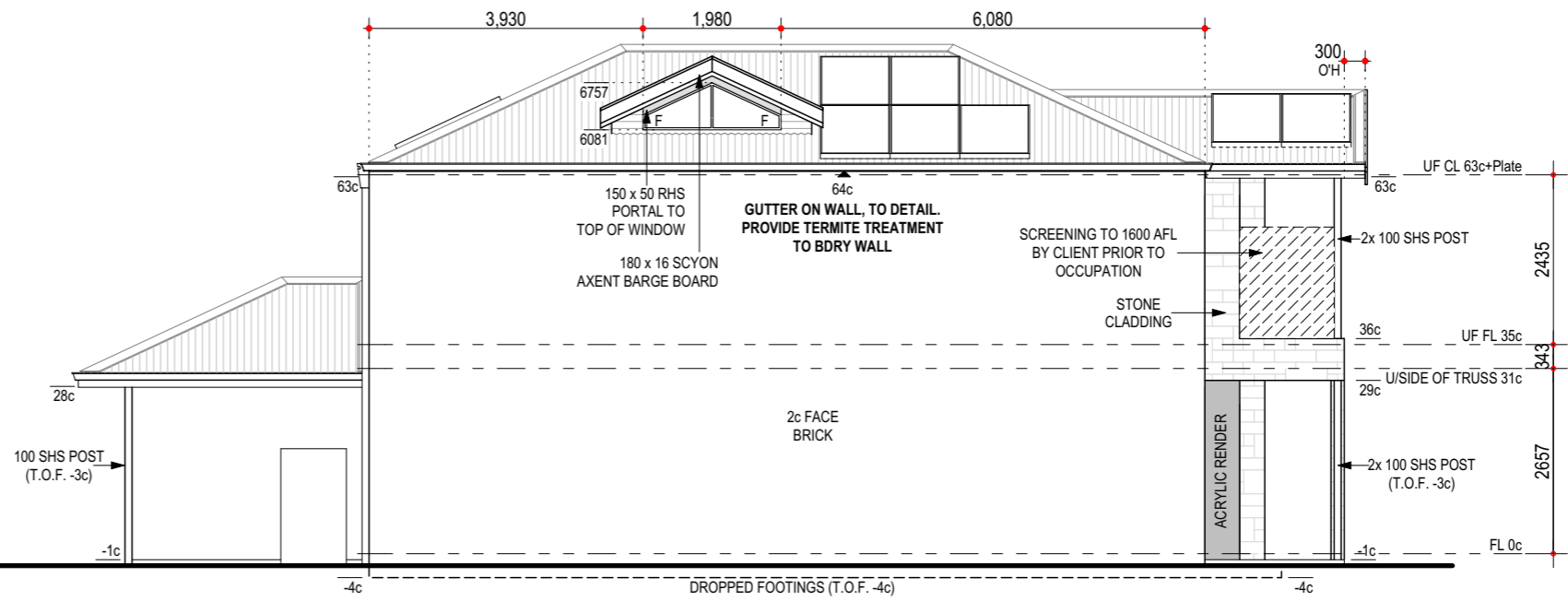
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO NASH STANDARDS
- SEE ELEVATION FOR ROOF PITCH
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:10

PORTAL BEAM DETAIL



ELEVATION 3

APPROX LOCATION OF SOLAR PV PANELS, FINAL POSITION TO BE NOMINATED BY SUPPLIER



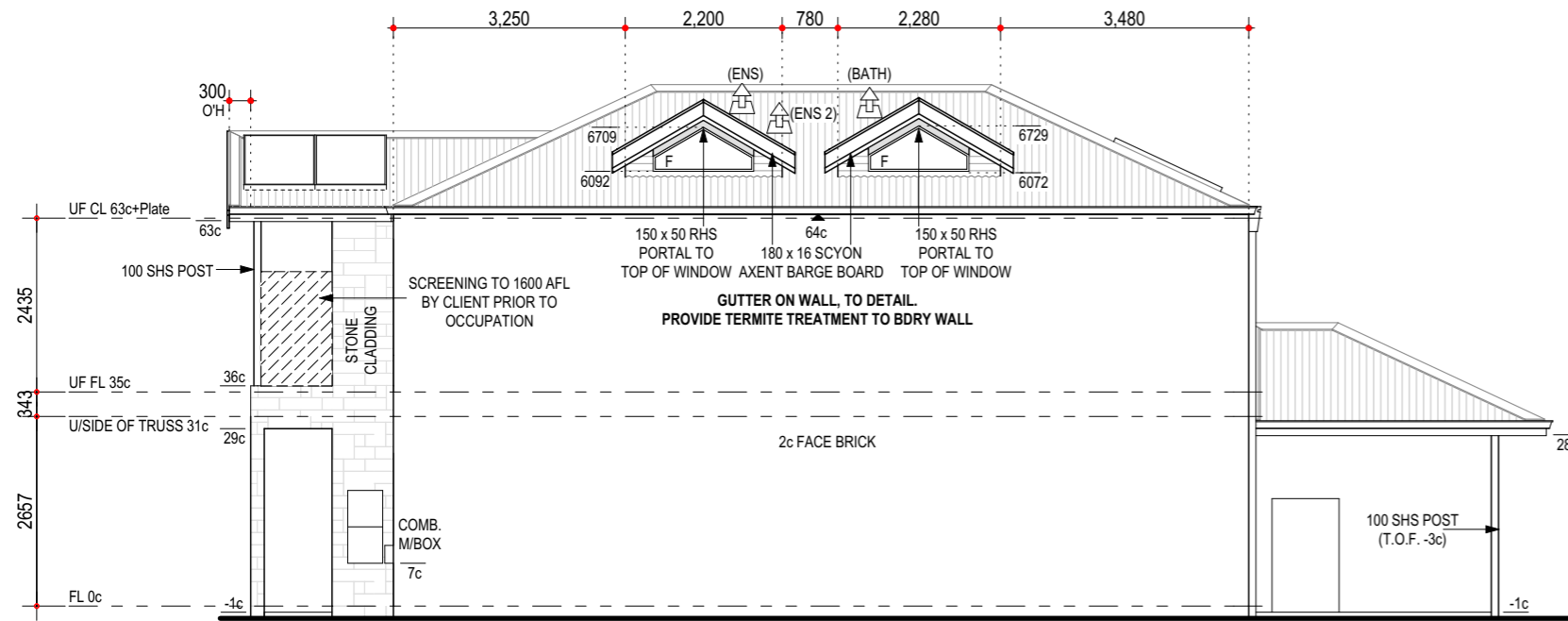
<p>VARIATIONS:</p> <p>V001 24-04-18 MJE V015&V016 16-08-19</p> <p>V002 07-08-18 MJE V017 09.09.19 DCO</p> <p>V004 21-09-18 NIR AMEND 24-09-19 MJE</p> <p>V005&6 18-10-18 NIR V020 30-10-19 MJE</p> <p>V007 07-11-18 NIR V021 07-11-19 DCO</p> <p>V008 03-12-18 NIR AMEND. 11-11-19 DCO</p>	<p>V009 21.12.18 NIR</p> <p>V010 15.02.19 NIR</p> <p>V008 20.02.19 NIR</p> <p>V011 06.03.19 NIR</p> <p>V012 19-03-19 MJE</p> <p>V013 & CLOG 31.07.19 DCO</p> <p>V014 07-08-19 DCO</p>	<p>V022 18-11-19 MJE</p> <p>V023 06-01-20 DCO</p> <p>V025 07.02.20 NJW</p>	<p>LAST OPENED:</p> <p>Mon 18 Nov 2019</p>	<p>DATE: 15-02-18</p> <p>DRN: MJE</p> <p>CHD: NWI</p> <p>SCALE: 1: 100</p> <p>© COPYRIGHT 2019</p>	<p>DO NOT SCALE FROM THIS DRAWING</p> <p>All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.</p> <p>ALL DIMENSIONS TO BRICKWORK.</p>	<p>BUILDER:</p> <p>CLIENT(S):</p> <p>WITNESS:</p>
	<p>SHEET 3 OF 15</p>	<p>SPECIAL</p>	<p>JOB NO: 155006</p>			

ROOF NOTE

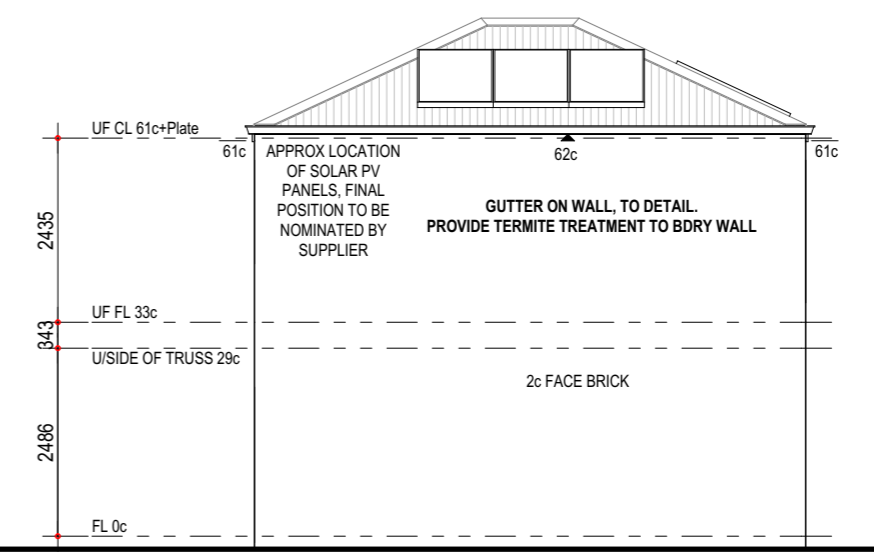
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- STEEL ROOF IN ACCORDANCE TO NASH STANDARD

WINDOW SUPPLIER NOTE

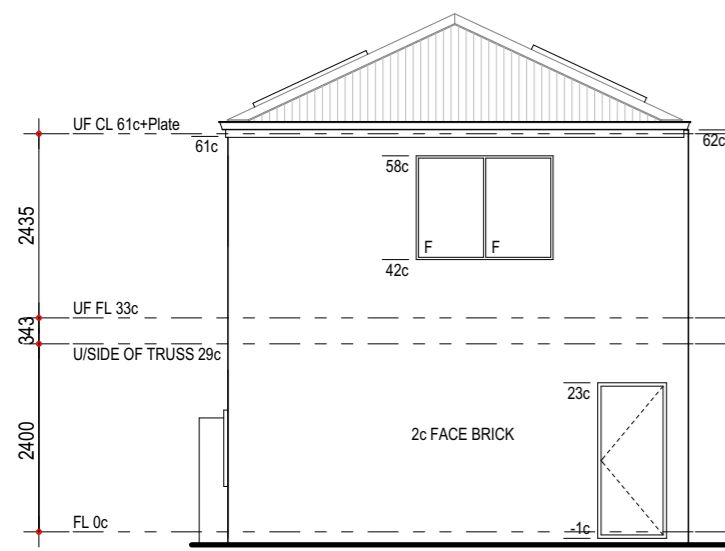
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
- WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.



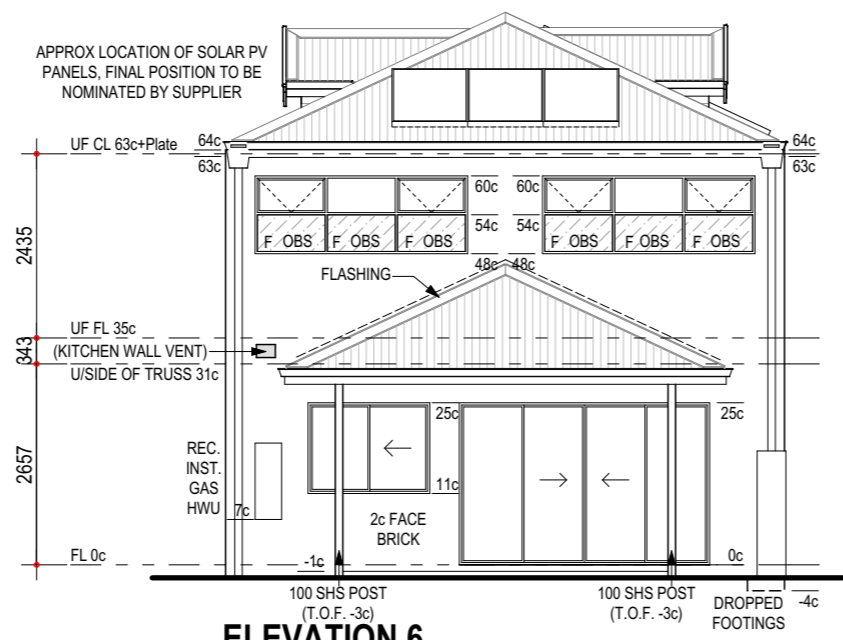
ELEVATION 4



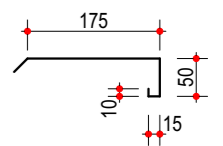
- SCALE 1 : 10



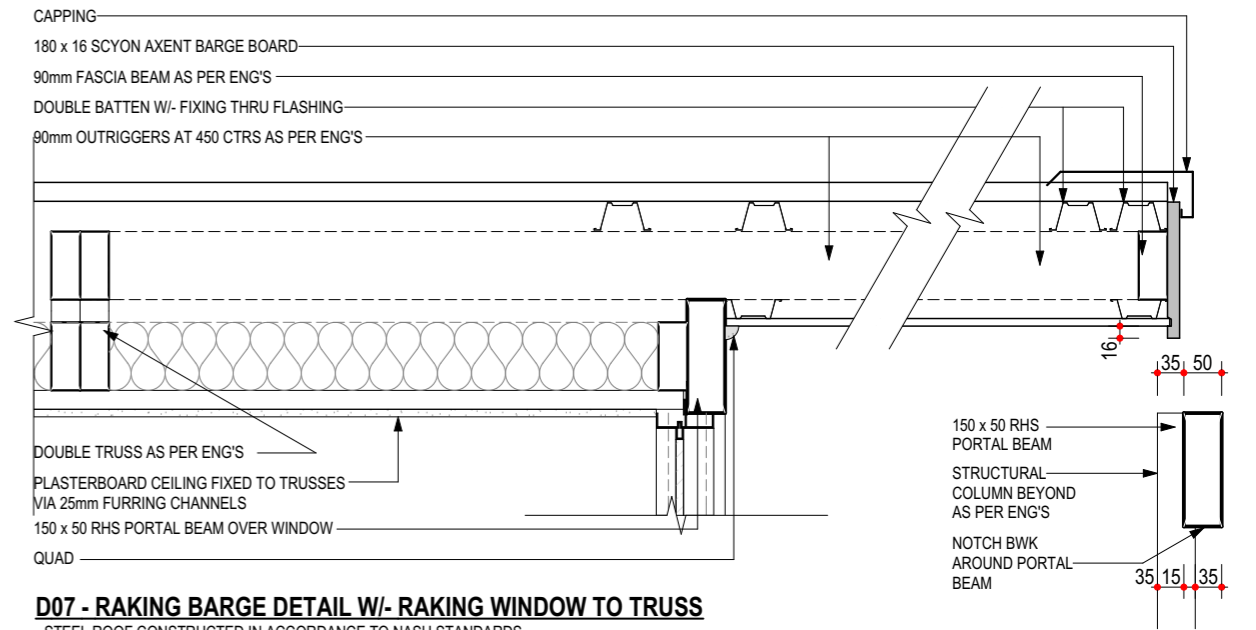
ELEVATION 5



ELEVATION 6



CAPPING DETAIL



D07 - RAKING BARGE DETAIL W/- RAKING WINDOW TO TRUSS

- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO NASH STANDARDS
- SEE ELEVATION FOR ROOF PITCH
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:10

PORTAL BEAM DETAIL

VARIATIONS: V001 24-04-18 MJE V015&V016 16-08-19 V002 07-08-18 MJE V017 09.09.19 DCO V004 21-09-18 NIR AMEND 24-09-19 MJE V005&6 18-10-18 NIR V020 30-10-19 MJE V007 07-11-18 NIR V021 07-11-19 DCO V008 03-12-18 NIR AMEND. 11-11-19 DCO	V009 21.12.18 NIR V022 18-11-19 MJE V010 15.02.19 NIR V023 06-01-20 DCO V008 20.02.19 NIR V025 07.02.20 NJW	LAST OPENED: Mon 18 Nov 2019	DATE: 15-02-18 DRN: MJE CHD: NWI	DO NOT SCALE FROM THIS DRAWING All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay. ALL DIMENSIONS TO BRICKWORK.	BUILDER: / /
	SHEET 4 OF 15	SPECIAL	TIME: 07:32:22		SCALE: 1: 100 © COPYRIGHT 2019
			JOB NO: 155006	WITNESS: / /	



**Management Plan for Short
Term Accommodation
Address of property
96 Reflection Blvd
Jindalee**

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- 3.0 Managers Details
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1.0 Introduction.

The owners of 96 Reflection Blvd and [REDACTED] seek approval to manage the said property as a short-term accommodation, and to conform with the City of Wanneroo Local Planning Policy for short term.

The plan will detail how the property will be managed and how we will advise guests on how to have no adverse impact on the neighbours of the said property, local residence and the City of Wanneroo Shire.

Bookings will be from 7 nights to 89 nights.

Guests will be maximum 6 adults.

2.0 Bookings

When a booking is accepted, the guest will need to read and accept the terms and conditions (code of conduct) which will detail also that there are to be no parties/group gatherings or any such event which would cause any inconvenience to neighbours. A copy of the Code of Conduct will also be on display in the property

They will also be advised of our quiet times at the property which is from 9pm to 7 am daily.

Smoking is not permitted on the property and pets are also not allowed.

2.1 Check in/Check Out

Check in times are from 2pm to 9pm. Clients will access a key lock with a code.

Check out times are from 7am to 10 am. Clients will be asked to secure the property and return the key to the key lock.

If they are wanting to check in outside of these times, they will be asked to make alternative arrangements to stay and check in to this accommodation as per the times stated.

3.0 Managers Details



These

details are also on the meter box for local residence to see

4.0 Complaints Management

If contact is received from a neighbour/residence that the guests are in breach of the code of conduct.

Entry must be made in the complaints register: -

1.Date complaint received. 2.Date of complaint and time. 3.Details of complaint. 4.Action taken. 5.Response to complainant.

Neighbours will be given contact details of the owner and also the property manager. They will also be given a copy of the code of conduct which guests must abide by and a copy of this management plan.

If there is a major noise disturbance/party/complaint neighbours are to contact property manager asap.

The manager will contact the guest either by phone or by calling to said property. The guests will be reminded of code of conduct.

If the complaint/issue is not resolved the guest will be advised as per their terms and conditions any complaint can and will end in the termination of their stay.

5.0 Property use

96 Reflection Blvd has 4 bedrooms and 3 bathrooms. The maximum of 6 adults will be allowed on the property. A large garage is located at the rear of the property with ample parking for two cars. No more than two cars are to be at the property.

The property has a heated outdoor spa. Guests are informed that this cannot be used after 9pm at night due to our quiet hours.

The property can be booked from 7 nights to 89 nights. One booking per stay.

6.0 Register of Guests

A register of guests will be held by the property manager. This contains the client detail form and a photo id of the person responsible for the booking.

7.0 Maintenance of house and spa.

Gardens are to be maintained by owner between bookings. Maintenance of property will be between bookings or if urgent an appropriate tradesperson will be asked to attend the property between 9am and 5pm.

The spa is to be serviced on the day of arrival for each guest. A secured lock box (code will be given to guests on arrival) is located near the spa which has a supply of spa tablets which are to be added to the spa after each use. A full list of chemicals/treatment required for the spa is located in the property welcome folder.

8.0 Welcome folder

A welcome folder is kept in the property for the guests.


Included in the folder will be

- 1 Managers contact details and emergency contact details of local doctors, dentist and hospital
- 2 Code of conduct
- 3 Wi Fi details
- 4 Spa instructions
- 5 TV instructions
- 6 How to use the air conditioner
- 7 Washing machine and tumble dryer instructions
- 8 Rubbish bin days, and where to put bins ready for collection
- 9 Best places to eat and takeaway menus
- 10 Ideas on places to visit
- 11 Public transport timetables

9.0 Code of Conduct

CODE OF CONDUCT

1. All guests must comply with all house rules

2. This property is for 6 guests, please note no other visitors are to be invited onto the premises.
3. Guests must not create noise which is offensive to neighbouring properties and must abide by quiet times which are between the hours of 9pm and 7 am. Failure to comply may result in the termination of your stay, forfeit of your rent paid and security bond.
4. This property is not a party house and no parties or group gatherings are allowed. Guests must not engage in anti-social behaviour and must minimise their impact upon the local community. Failure to comply may result in the termination of your stay, forfeit of your rental paid and security bond
5. Guests must only park on the holiday home property. Cars are not allowed to be parked on the verge. No more than 2 cars are permitted
6. Guests are encouraged to recycle and a general waste bin and yellow lid for recycling are provided. A calendar is located in the home of the allocated days for bin collection and a photo is provided to show where the bins must be placed. Please inform us immediately if you have excess rubbish as this must not be left next to the bins, we will make arrangements for collection.
7. When you are absent from the property, please ensure all windows and doors are closed and locked
8. Smoking is not permitted on the property
9. Pets are not permitted on the property
10. In an event of an emergency in relation to the property please call us on 

Breach of these house rules is a breach of the Terms and Conditions of occupancy. The owner and manager reserve the right to terminate permission to occupy and to evict from the property any guests who refuse to follow our Code of Conduct

Rubbish Collection

96 Reflection Boulevard Jindalee 6036

Rubbish collection days are Tuesday morning, please ensure the bin(s) are placed as per the photo below Monday evening to ensure collection.

Please see below the position the bins must be placed in to ensure collection – the handles must be facing the garage door



After collection, please return to the garage

