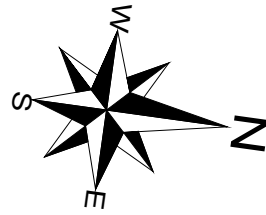


# SURVEY STRATA LOT 2



**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

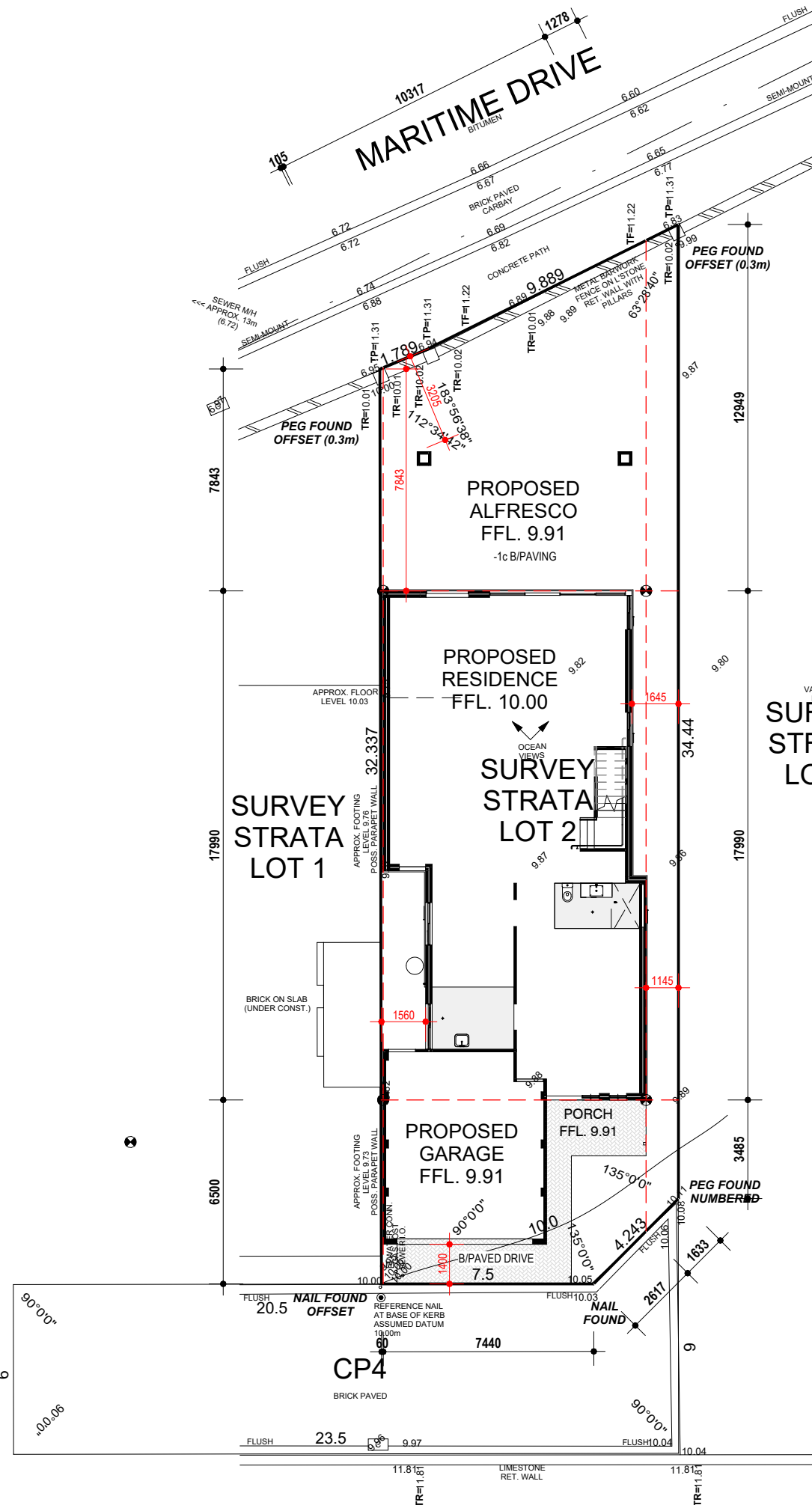
**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**WARNING:** strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

LANYARD OUTLOOK



### EARTHWORKS NOTE:

- REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION.

### CONCRETOR NOTE:

- CONDUIT FOR METER BOX TO BE PLACED IN FOOTING TO CENTRELINE OF STUD WALL.
- ALL EXTERNAL WALLS 90mm TIMBER FRAMING TO HOUSE & 90mm BRICKWORK TO GARAGE.
- 50mm SETDOWN TO WET AREAS.

### TERMITE TREATMENT NOTE:

- CHEMICAL TERMITE TREATMENT TO BE APPLIED AS PER AS 3660.
- PHYSICAL TERMITE BARRIER (TERMIMESH / KORDON OR SIMILAR) TO ZERO-LOT GARAGE WALL TO AS 3660 IF REQUIRED.

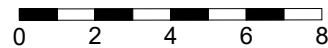
### STORMWATER NOTE:

- DIRECT CONNECTION TO COUNCIL STORMWATER BY BUILDER. ALL STORMWATER & SURFACE WATER DRAINAGE IN ACCORDANCE WITH NCC VOL. 2, AS3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.

CP4 MISCLOSE  
0.000 m

SSL 2 MISCLOSE  
0.000 m

Scale 1:200



<b>ELEC.</b>	U/Ground(Not Loc)	<b>SEWER</b>	Yes (TBA)	<b>ROADS</b>	Bitumen / Brick	<b>COASTAL</b>	200m To Ocean <small>(Approx. Only - Confirm With Shire)</small>
<b>GAS</b>	Check Alinta	<b>COMMS</b>	Yes	<b>PATH</b>	Concrete	<b>SOIL</b>	Sand
<b>WATER</b>	Yes	<b>DRAINAGE</b>	Good	<b>KERBS</b>	Flush / Semi-Mount	<b>VEG.</b>	Refer to Survey

LICENSED SURVEYORS

87-89 Guthrie St  
Osborne Park  
WA 6017

PO Box 1611  
Osborne Park BC  
WA 6917

P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

**JOB:** 550312    **DATE:** 17 Jul 23    **DRAWN:** T. Do

**COLOURBOND  
ROOF @ 24° PITCH**

**CEILING @ NOM. 31c  
THROUGHOUT**

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**BRICK LAYER NOTE:**

- METAL SHEET ROOF TO BE ANCHORED DOWN W/ 30 x 1.0mm PGI STRAPS. STRAPS LOCATED WITHIN 100mm OF EXTERNAL CORNERS AND SPACED @ MAX. 1200 CTS. LUGS TO LINTELS @ 1200mm CTS OVER OPENINGS. 32 x 0.8mm FULL HEIGHT STRAPS TO EACH SIDE OF OPENING > 2400mm.

**PLUMBER NOTE:**

- FLOOR WASTE LOCATIONS SHOWN INDICATIVE, TO PLUMBERS DISCRETION.
- HOBLESS SHOWERS - PLUMBER TO INSTALL REFLUX VALVE.

**ROOF NOTE:**

- COLORBOND ROOF SHEETING @ 25° PITCH.
- STEEL ROOF FRAMING TO NASH STANDARDS.
- 600 x 600 MANHOLE AS SHOWN. TRIM CEILING OUT TO SUIT.

**CEILING FIXER NOTE:**

- CEILING EXHAUST FANS INSTALLED TO ENS. BATH & WC.

**FIXING CARPENTER NOTE:**

- ALL ROBES & WIR TO HAVE 450mm WIDE x 1800mm HIGH SHELF. CENTRELINE OF RAIL TO BE 250mm OFF WALL.
- LINEN / PANTRY TO HAVE 4 x 450mm WIDE SHELVES @ 450 CENTRES.
- MDF SKIRTINGS THROUGHOUT.

**ROOF PLUMBER NOTE:**

- COLORBOND GUTTERS, FASCIA & DOWNPIPES.
- GUTTERS TO BE 'OVOLO' PROFILE SLOTTED TYPE.
- GUTTER & DOWNPIPE SELECTION & INSTALLATION IN ACCORDANCE WITH BCA PART 3.5.2.
- DOWNPIPES TO BE FIXED WITHIN 1.2m OF VALLEY OR PROVISION FOR OVERFLOW MADE AS PER BCA.
- DOWNPIPE LOCATIONS SHOWN INDICATIVE, TO ROOF PLUMBERS DISCRETION.

**INSULATION NOTE:**

- R5.0 CEILING BATTS TO HOUSE & GARAGE AS PER ENERGY EFFICIENCY ASSESSMENT.
- R2.5 EXTERNAL WALL INSULATION AS PER ENERGY EFFICIENCY ASSESSMENT.

**ELECTRICAL NOTE:**

- INTERCONNECTED SMOKE DETECTORS TO AS3786-2014 AS SHOWN ON PLANS.

**CLIENT NOTE:**

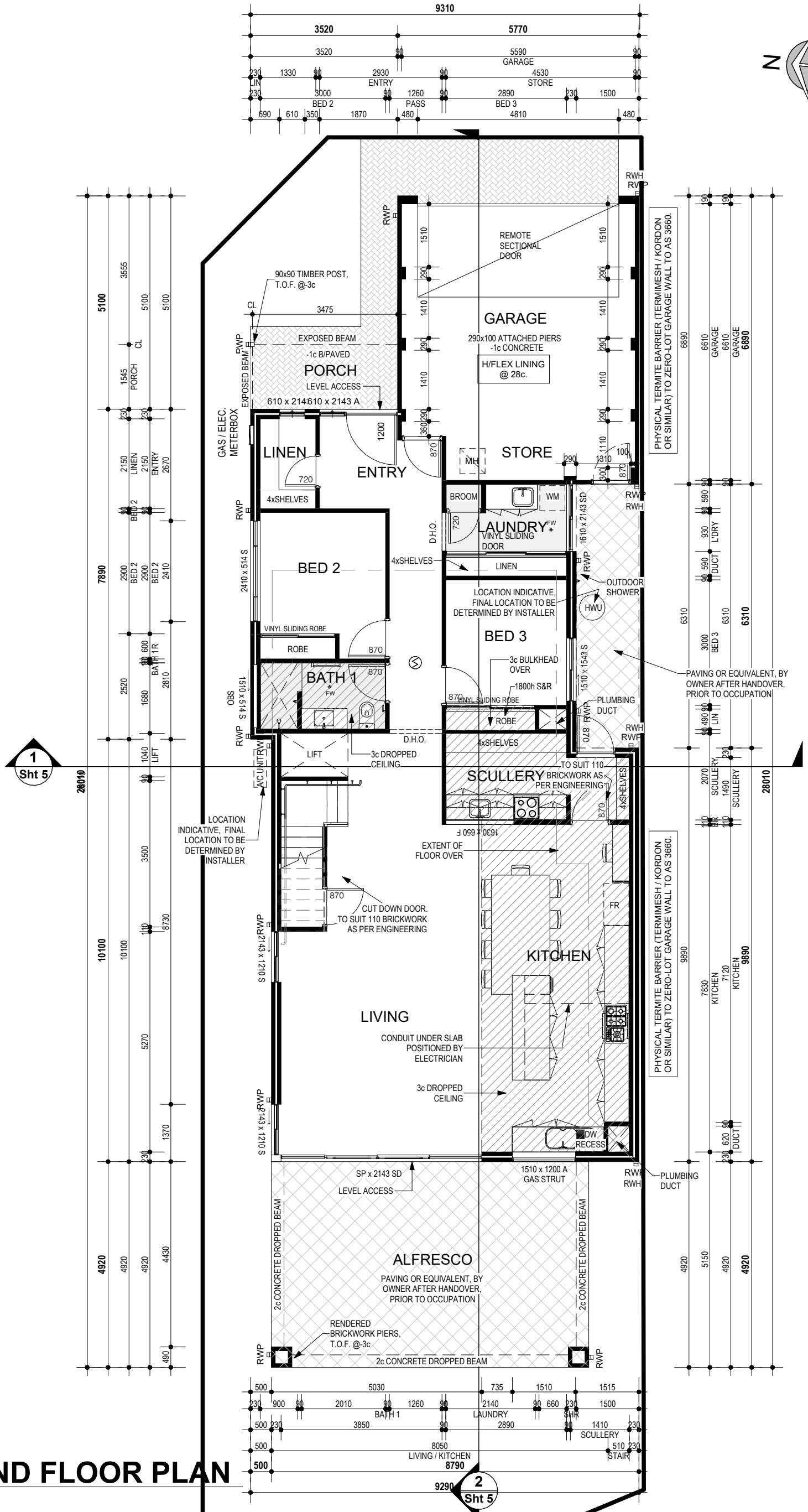
- ALL INTERNAL DIMENSIONS TO BRICKWORK / STUD SETOUT. ALLOW 10-15mm FOR PLASTERBOARD WHEN CALCULATING CLEARANCES FOR ANY FUTURE FITTINGS OR FURNITURE.

**AREAS**

GROUND FLOOR	144.05 m <sup>2</sup>
FIRST FLOOR	117.91 m <sup>2</sup>
GARAGE	37.99 m <sup>2</sup>
ALFRESCO	37.35 m <sup>2</sup>
PORCH	5.60 m <sup>2</sup>
BALCONY	21.36 m <sup>2</sup>
TOTAL	364.25 m <sup>2</sup>

**GROUND FLOOR PLAN**

Scale 1 : 100



**COLOURBOND  
ROOF @ 24° PITCH**

**CEILING @ NOM. 31c  
THROUGHOUT**

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**INSULATION NOTE:**

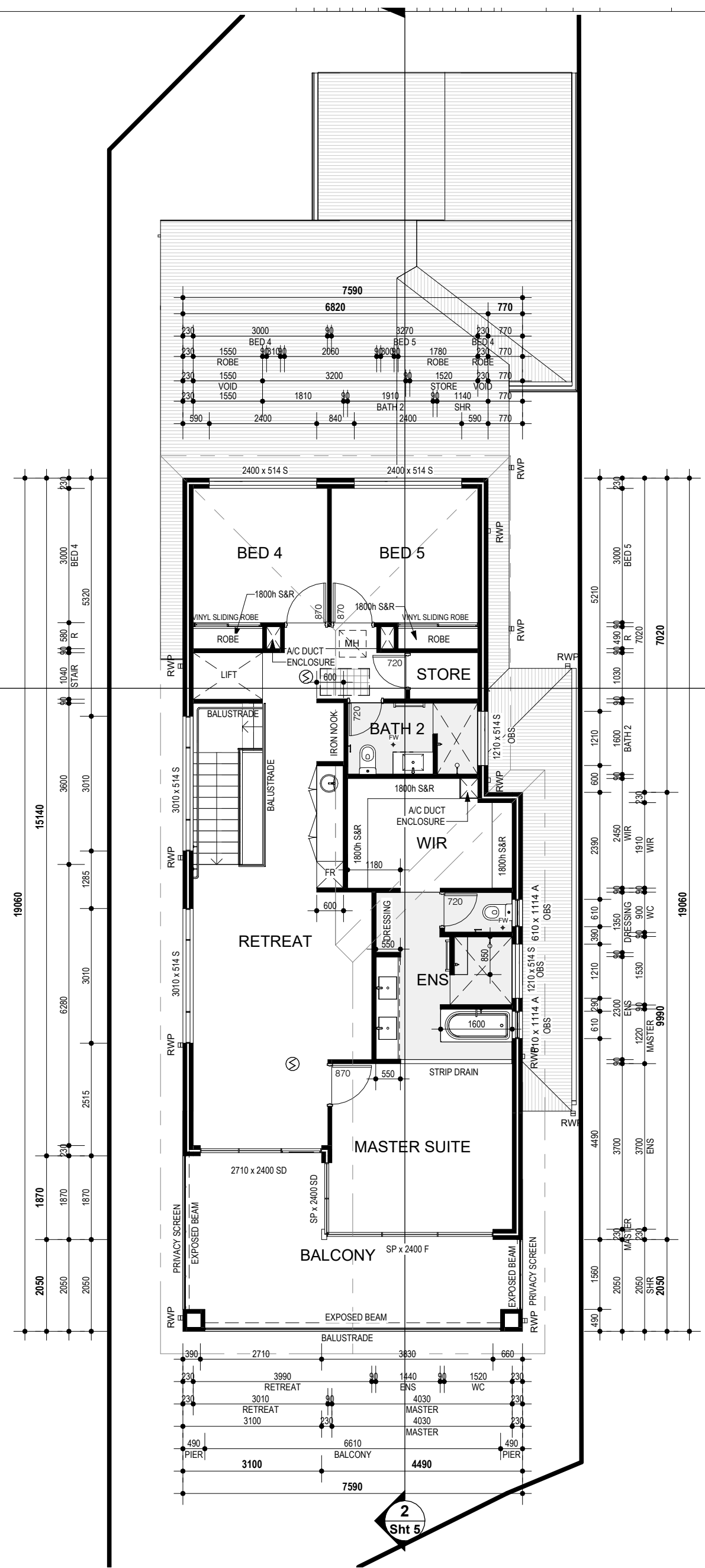
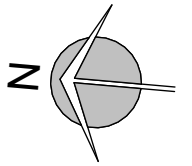
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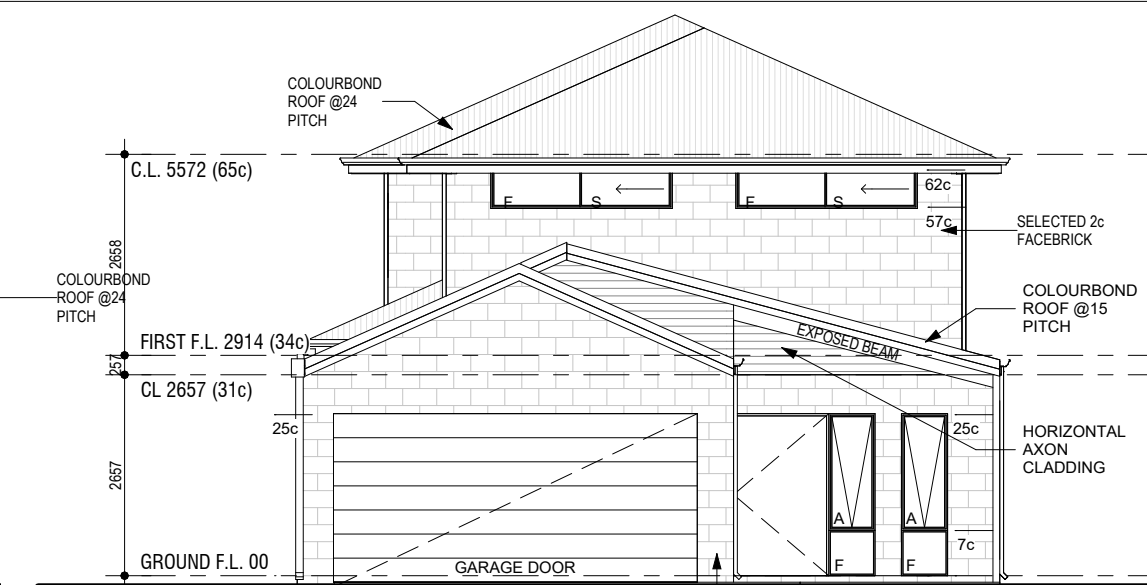
**FIRST FLOOR PLAN**

Scale 1 : 100



## WEST ELEVATION

Scale 1 : 100



## EAST ELEVATION

Scale 1 : 100

### CONCRETOR NOTE:

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- ALL EXTERNAL WALLS 90mm TIMBER FRAMING WITH COLOURBOND CLADDING EXTERNALLY.

### ROOF NOTE:

- ZINCALUME ROOF SHEETING @ 14° PITCH.
- STEEL ROOF FRAMING TO NASH STANDARDS.

### ROOF PLUMBER NOTE:

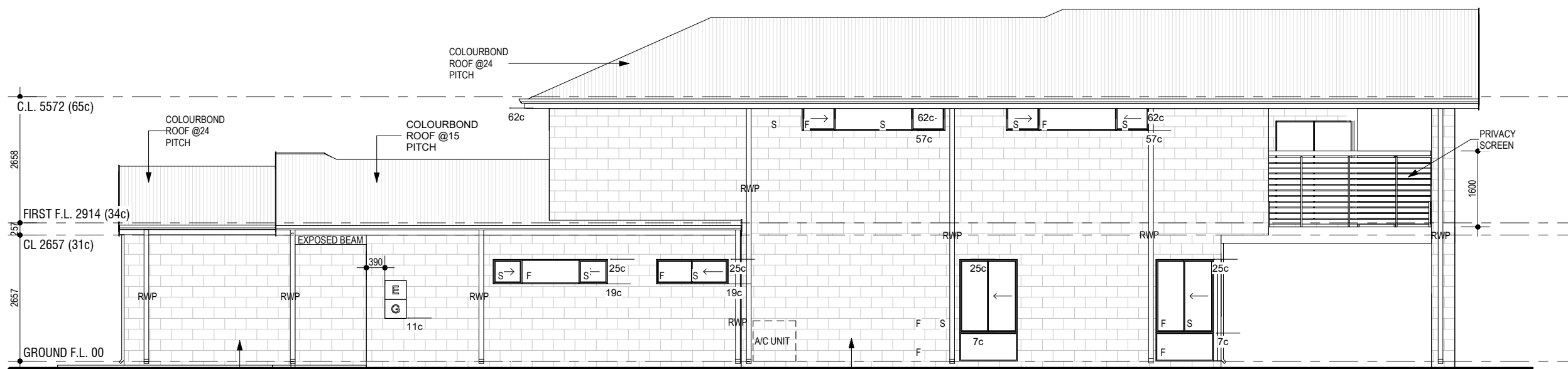
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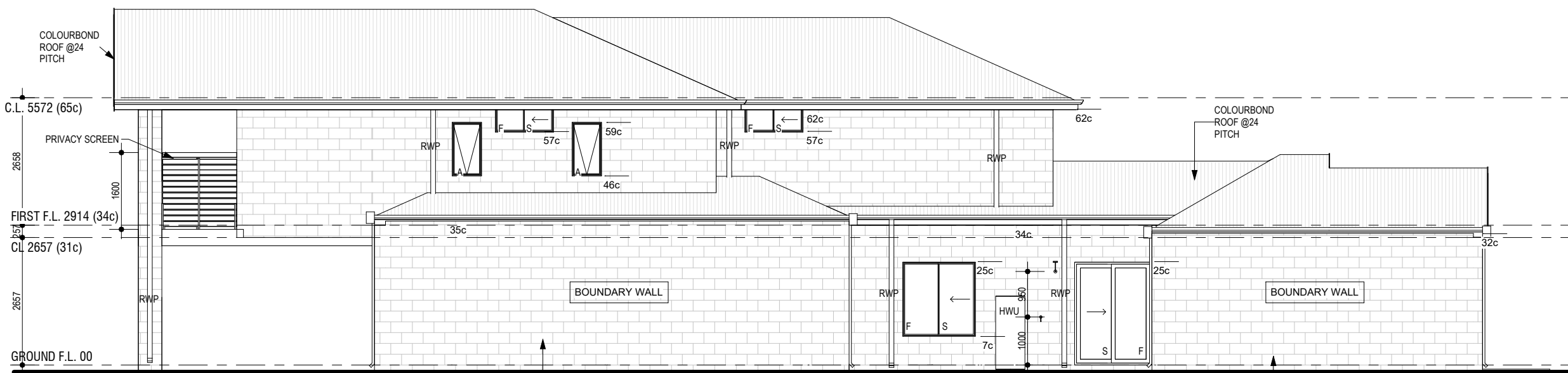
### WALL FINISH NOTE

- CLADDING TO BE INSTALLED TO MANUFACTURER'S DETAIL AND SPECIFICATION.
- MATERIAL HATCHES ON ELEVATIONS ARE INDICATIVE AND FOR IMAGING PURPOSES ONLY.



## NORTH ELEVATION

Scale 1 : 100



## SOUTH ELEVATION

Scale 1 : 100