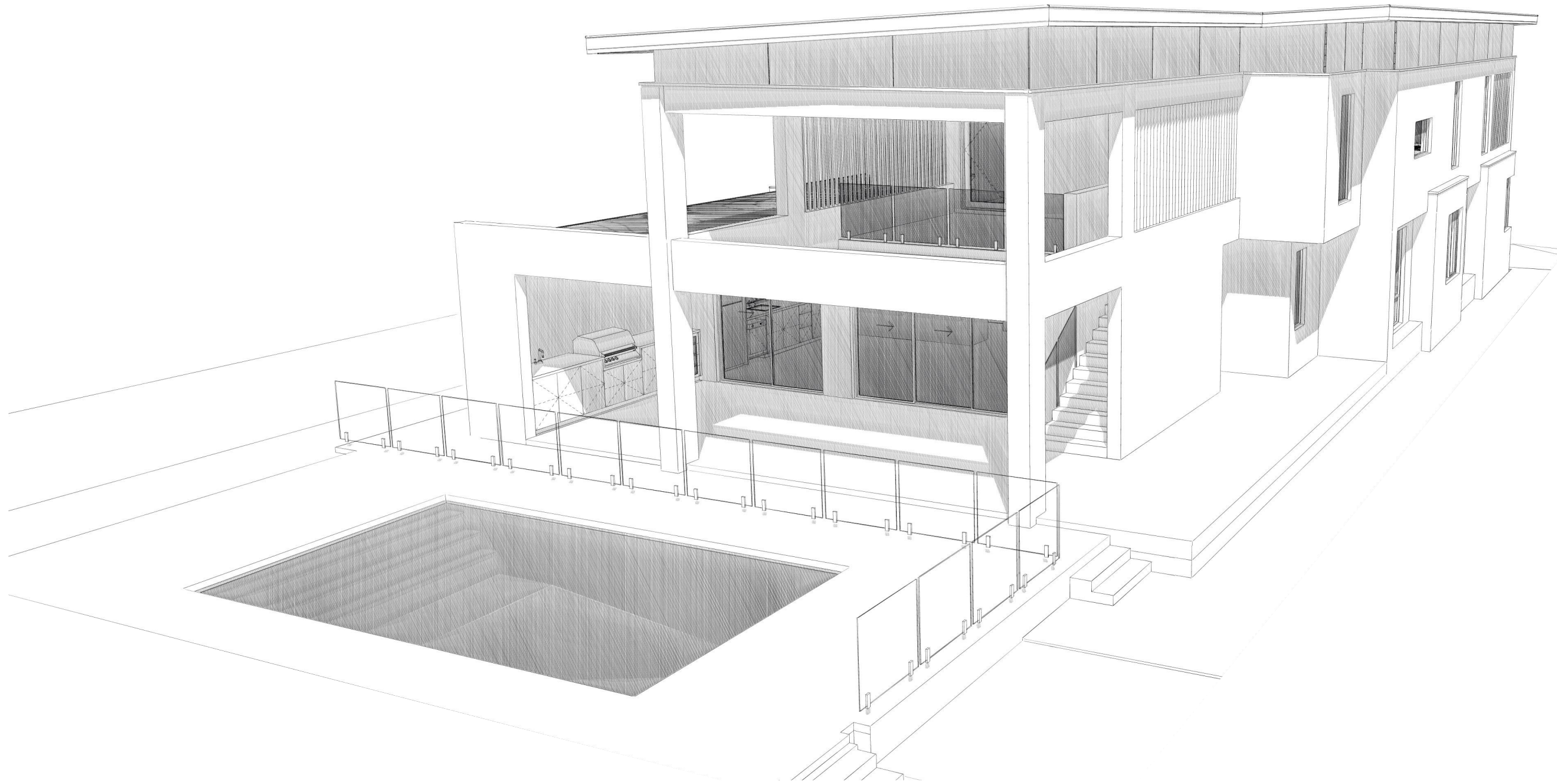


LEON SPICCIA
—
DESIGN

12 SEAHORSE COVE
JINDALEE W.A. 6036
-
NEW RESIDENTIAL
DWELLING



<p>LEON SPICCIA — DESIGN</p> <p>MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au</p>	<p>STAGE: DA ISSUE</p>	<p>SHEET: COVER SHEET</p>	<p>SHEET No.: 1 of 12</p>
	<p>CLIENT: Mark & Marilyn McGuigan</p>	<p>DATE: 01.11.2023 01 DESIGN 28.11.2023 02 DESIGN DEVELOPMENT 30.11.2023 03 DESIGN DEVELOPMENT 20.12.2023 04 D/D - ELEVATIONS 10.01.2024 05 DA 16.01.2024 06 DA-AMEND</p>	<p>JOB No.: 23030</p>
	<p>ADDRESS: 12 Seahorse Cove, Jindalee</p>	<p>SCALE: NOT TO SCALE</p>	<p>PRINTED: Tuesday, 16 January 2024</p>



LEON SPICCIA
—
DESIGN

MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au

STAGE: DA ISSUE

CLIENT: Mark & Marilyn McGuigan

ADDRESS: 12 Seahorse Cove, Jindalee

SHEET: REAR PERSPECTIVE		
DATE:	REV:	DESCRIPTION:
01.11.2023	01	DESIGN
28.11.2023	02	DESIGN DEVELOPMENT
30.11.2023	03	DESIGN DEVELOPMENT
20.12.2023	04	D/D - ELEVATIONS
10.01.2024	05	DA
16.01.2024	06	DA-AMEND

SHEET No.: 12 of 12

JOB No.: 23030

SCALE: 1:100 AT A2

PRINTED: Tuesday, 16 January 2024



PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au
F (08) 9242 8296 Web: www.prowestsurveying.com.au
Po Box 1463 Osborne Park DC 6916 DWG# 6736001

Feature & Contour Survey of: Lot 1107, No. 12 Seahorse Cove, Jindalee

REVISION: A
SHEET: 1 OF 1

CLIENT: McGUIGAN

PLAN: DP 410583

LOT AREA: 667m²

SURVEY DATE: 18/10/23

BUILDER:

C/T Vol: 4037 Fol: 354

MAP REFERENCE:

BUILDER JOB #

HEIGHT DATUM: AHD

COASTAL ZONE: 0.14KM

AUTHORITY: CITY OF JOONDALUP

HEIGHT CORRECTION TO AHD: NO

SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES

- (1) ALL FEATURES IN GOOD CONDITION
- (2) DEVELOPMENT AREA: NEW

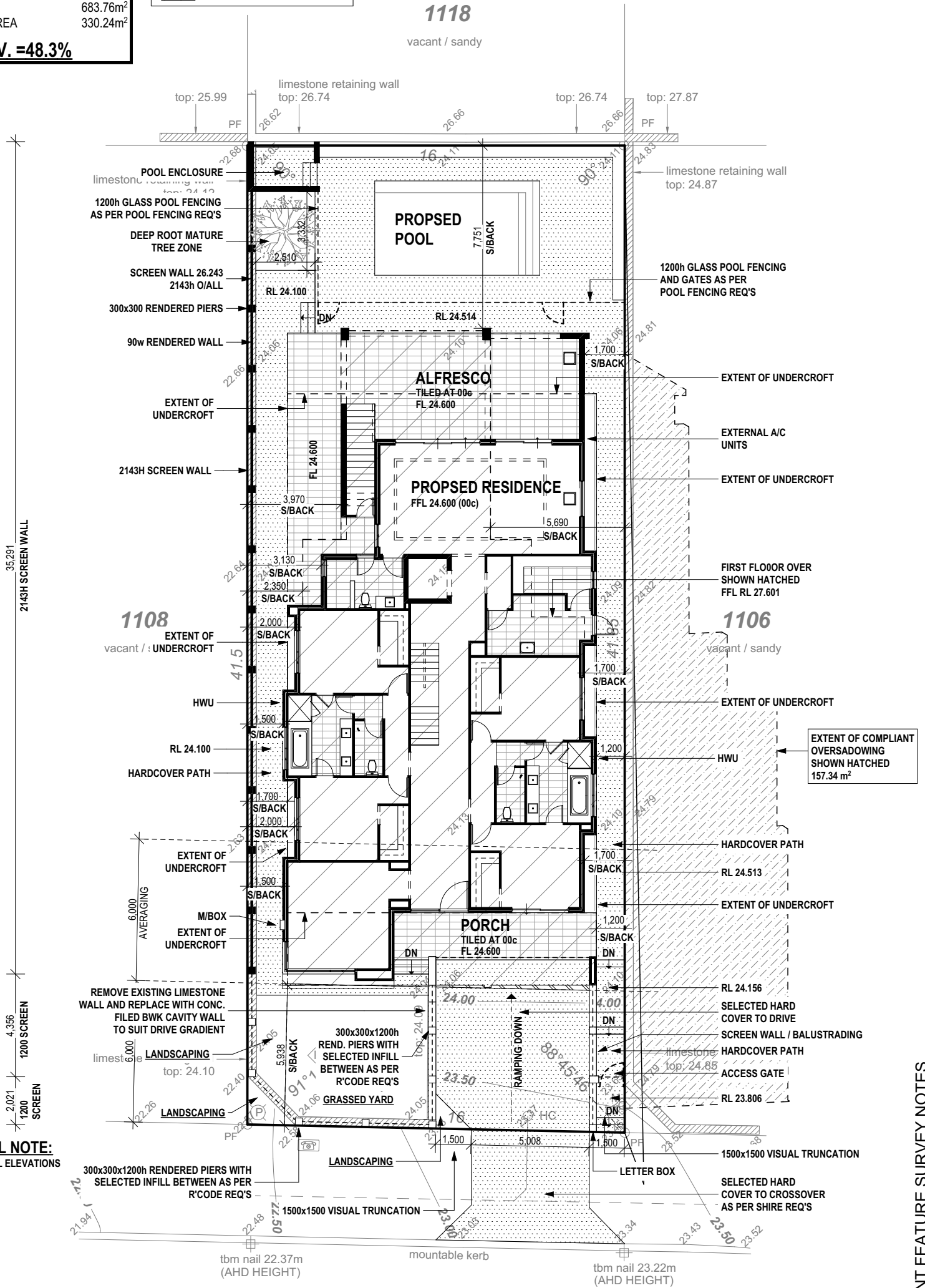
SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	683.76m ²
SITE COV. AREA	330.24m ²
SITE COV. =48.3%	

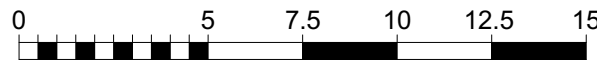
SETBACK CALC'S

INFRONT	0.10 m ²
BEHIND	1.10 m ²

POWER	
CABLE DOME	PP
CABLE BOX	CB
POWER MARKER	EC
LIGHT POLE	LP
POWER POLE	PP
CONSUMER POLE	CP
EXPOSED CABLES	EC
STAYWIRE ANCHOR	SWA
WATER	
WATER METER / TAP	M
TAP	↑
FLUSHING POINT	FP
BORE	⊕
FIRE HYDRANT	H
STOP VALVE	SV
RETIC VALVE	RV
WATER MARKER	W
SEWERAGE	
SEWER M/H (SQUARE LID)	⊗
SEWER M/H (ROUND LID)	⊙
INSPECTION SHAFT	IS
HOUSE CONNECTION	HC
INSPECTION OPENING	IO
TELSTRA	
TELSTRA PIT	⊗
TELSTRA MANHOLE	⊙
TELSTRA MARKER	↑
DRAINAGE	
DRAIN M/H (SQUARE LID)	⊗
DRAIN M/H (ROUND LID)	⊙
SIDE ENTRY PIT	⊗
COMBINED ENTRY PIT	⊗
DRAINAGE GRATE	⊗
GAS	
GAS METER	GM
GAS VALVE	GV
GAS MARKER	⊗
SURVEY MARKS	
PEG FOUND	PF
DRILL HOLE	DH
PEN MARK	PM
PEG GONE	PG
BENCH MARK	⊕
NAIL & PLATE	NPL
NAIL	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	⊗
UNKNOWN SERVICE MARKER	⊗
OVERHEAD POWER LINE	—
FENCE LINE	—
SPOT HEIGHT	10.16
BOLLARD	⊙
SEWER LINE	S
WINDOW / OPENING	W
SERVICE DETAILS	
WATER: L	
OVERHEAD POWER: NS	
U/G POWER: L	
TELSTRA: L	
GAS: L	
SEWER: L	
SERVICE NOTES	
L: LOCATED	NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED	
TBC: LOCATION TO BE CONFIRMED	
SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	20.15
UP DISTANCE:	2.5
DEPTH TO CONNECTION:	0.73



SCALE 1:200 AT A3 SIZE



SEAHORSE COVE

(bitumen)

IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A re-peg / body identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

LEON SPICCIA DESIGN

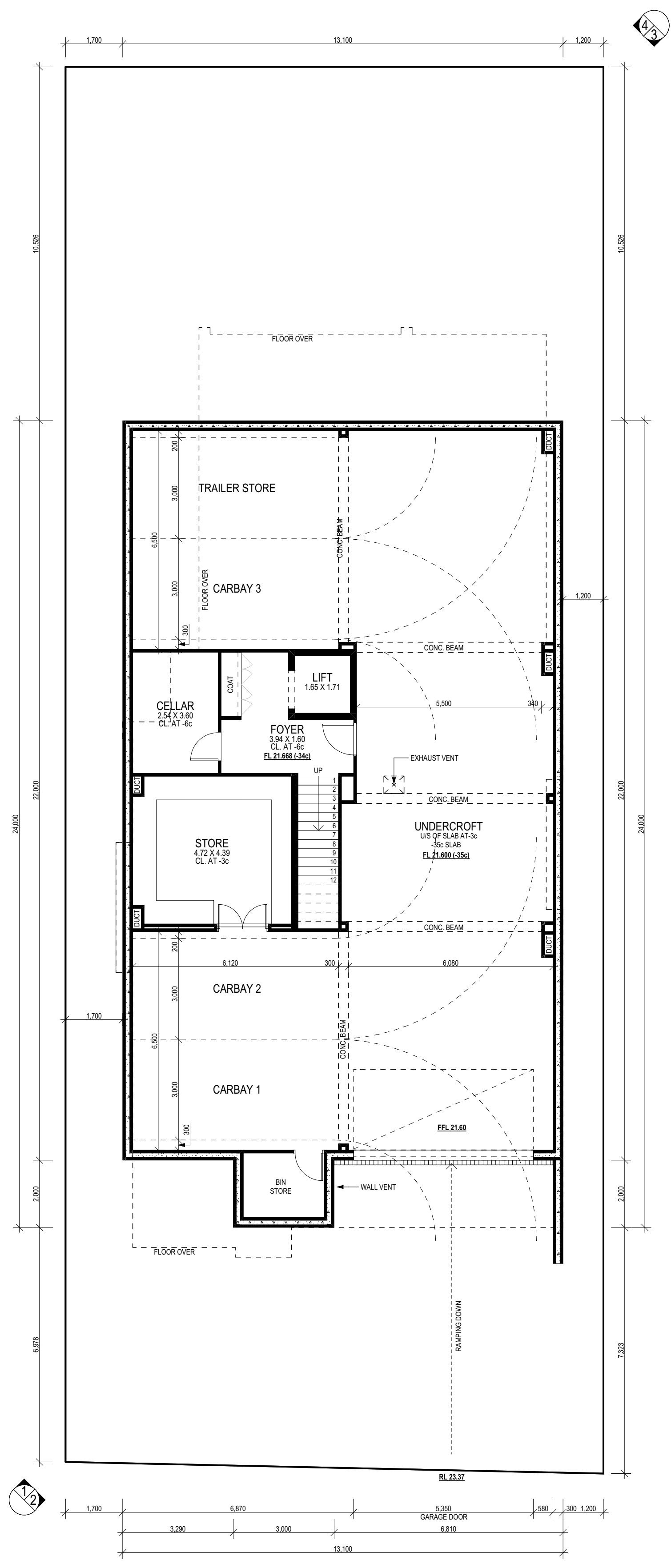
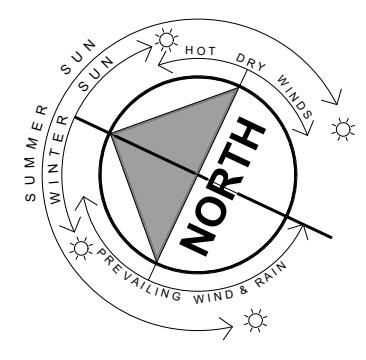
MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au

STAGE:	DA ISSUE
CLIENT:	Mark & Marilyn McGuigan
ADDRESS:	12 Seahorse Cove, Jindalee

SHEET:	PROPOSED SITE PLAN	
DATE:	REV:	DESCRIPTION:
01.11.2023	01	DESIGN
28.11.2023	02	DESIGN DEVELOPMENT
30.11.2023	03	DESIGN DEVELOPMENT
20.12.2023	04	D/D - ELEVATIONS
10.01.2024	05	DA
16.01.2024	06	DA-AMEND

SHEET No.:	3 of 12
JOB No.:	23030
SCALE:	1:200 AT A3

NAME	AREA(m ²)
UCROFT	294.20
	294.20 m ²



LEON SPICCIA
DESIGN
MOBILE: 0431 644 685 EMAIL: leon@lspdesigns.com.au

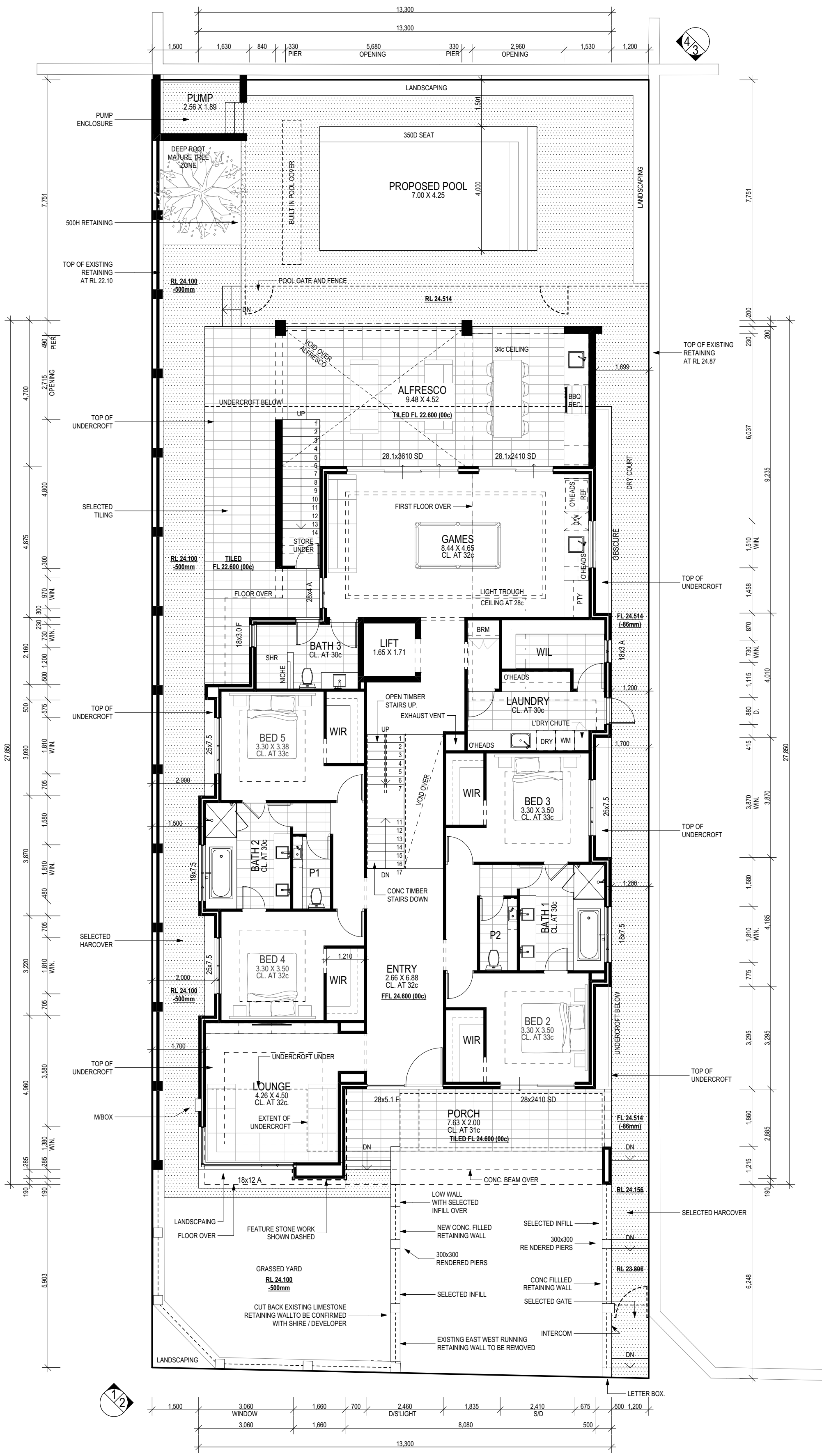
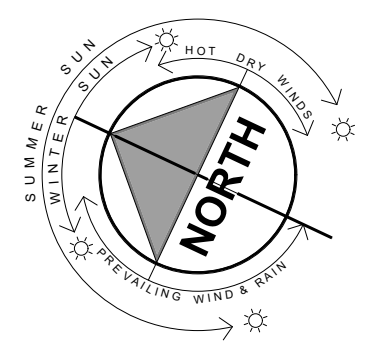
STAGE: DA ISSUE
CLIENT: Mark & Marilyn McGuigan
ADDRESS: 12 Seahorse Cove, Jindalee

SHEET:		UNDERCROFT FLOOR PLAN	
DATE:	REV:	DESCRIPTION:	
01.11.2023	01	DESIGN	
28.11.2023	02	DESIGN DEVELOPMENT	
30.11.2023	03	DESIGN DEVELOPMENT	
30.12.2023	04	D.D. - ELEVATIONS	
10.01.2024	05	DA	
16.01.2024	06	DA-AMEND	

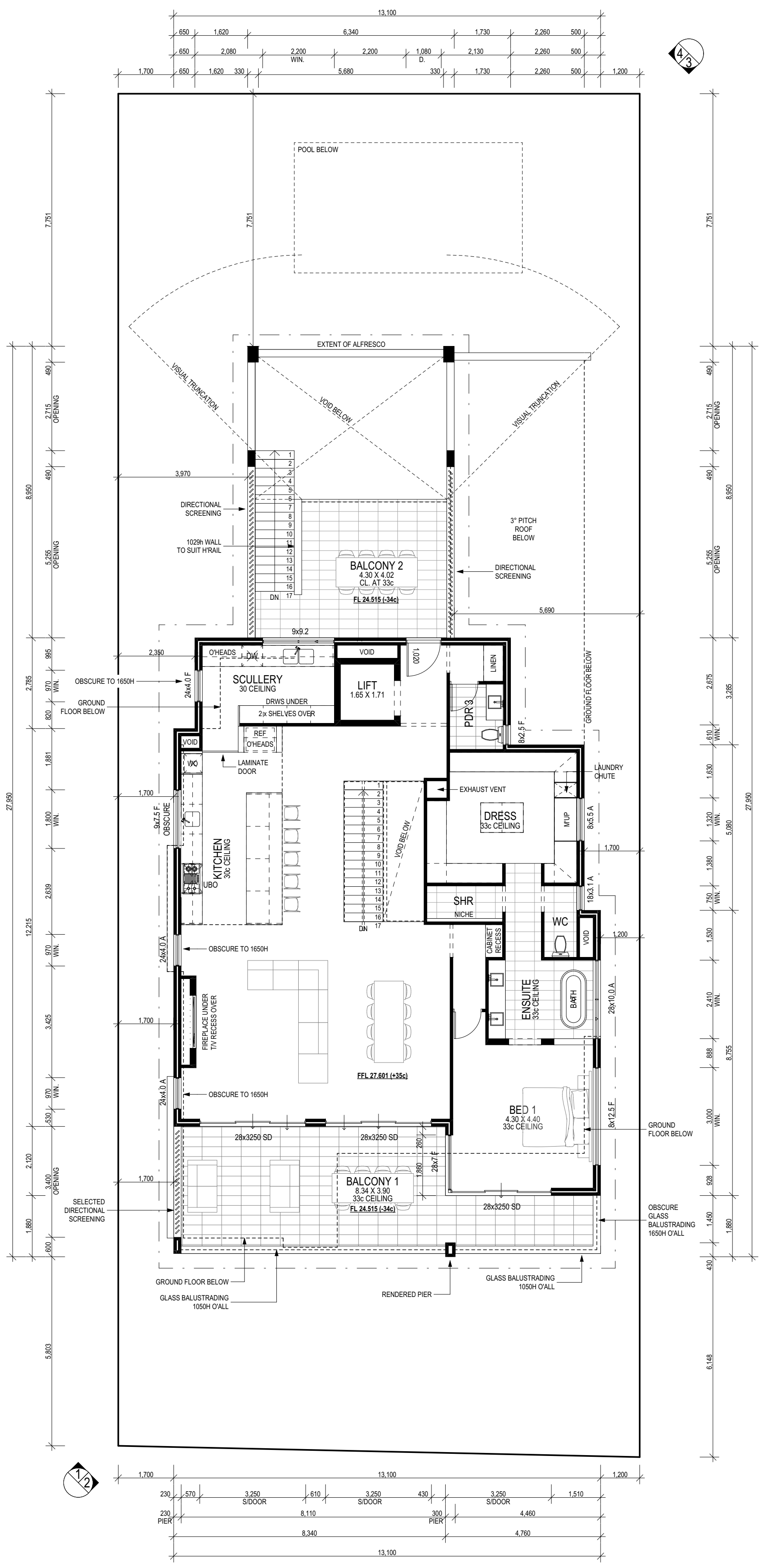
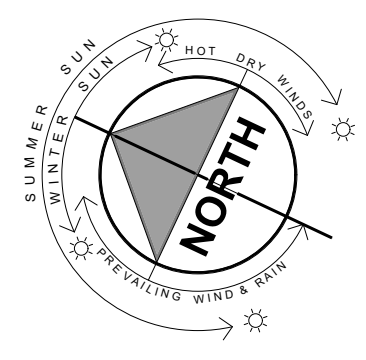
SHEET No.: 4 of 12
JOB No.: 23030
SCALE: 1:100 AT A2

PRINTED: Tuesday, 9 January 2024

NAME	AREA(m ²)
GRD FLOOR	246.68
ALFRESCO	54.55
PORCH	16.13
	317.36 m ²



NAME	AREA(m ²)
F FLOOR	193.17
BALCONY 2	54.85
BALCONY 1	41.02
	289.04 m ²



LEON SPICCIA
DESIGN

MOBILE: 0431 644 685 EMAIL: leon@lspdesigns.com.au

STAGE: DA ISSUE

CLIENT: Mark & Marilyn McGuigan

ADDRESS: 12 Seahorse Cove, Jindalee

SHEET: FIRST FLOOR PLAN

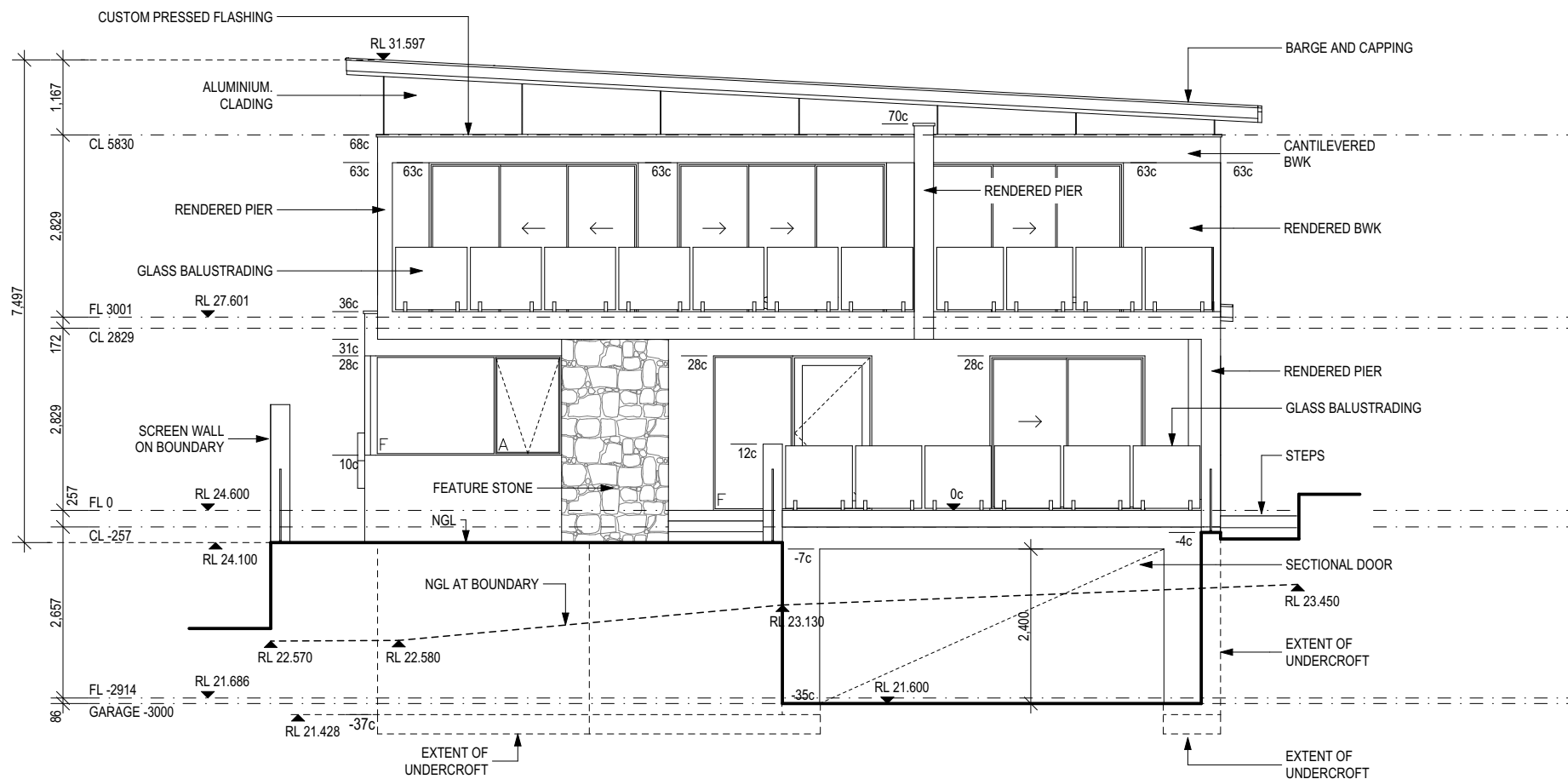
DATE:	REV:	DESCRIPTION:
01.11.2023	01	DESIGN
28.11.2023	02	DESIGN DEVELOPMENT
30.11.2023	03	DESIGN DEVELOPMENT
20.12.2023	04	DD - ELEVATIONS
10.01.2024	05	DA
16.01.2024	06	DA-AMEND

SHEET No.: 6 of 12

JOB No.: 23030

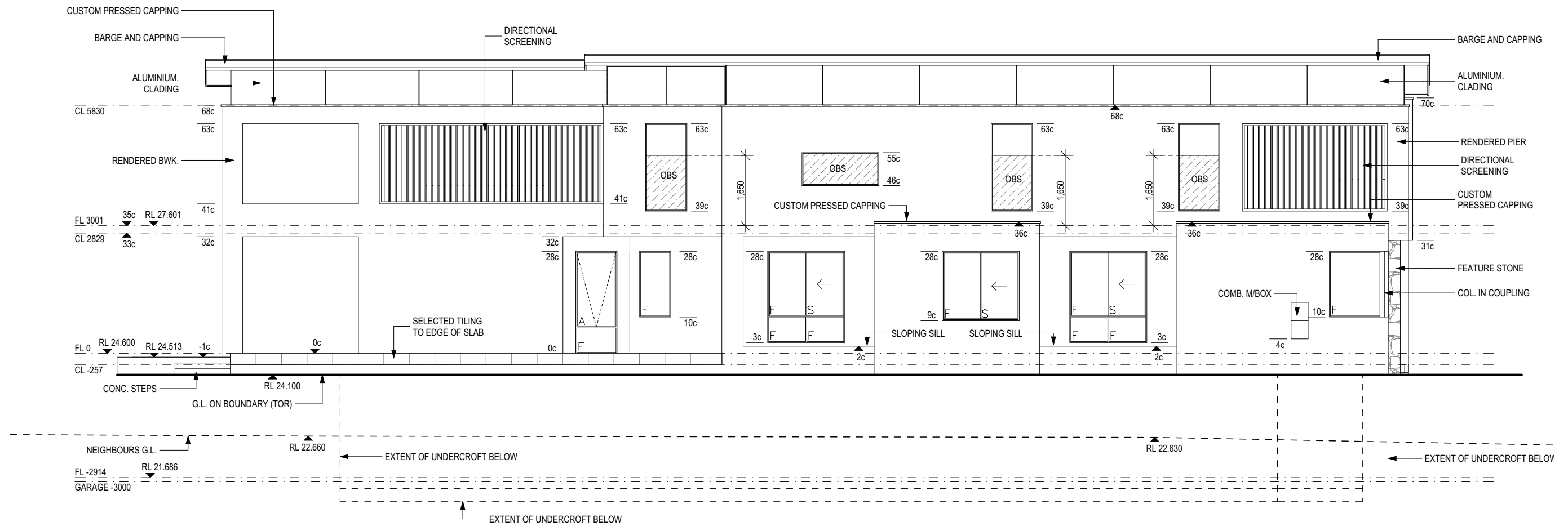
SCALE: 1:100 AT A2

PRINTED: Tuesday, 9 January 2024



WESTERN ELEVATION 1
1:100

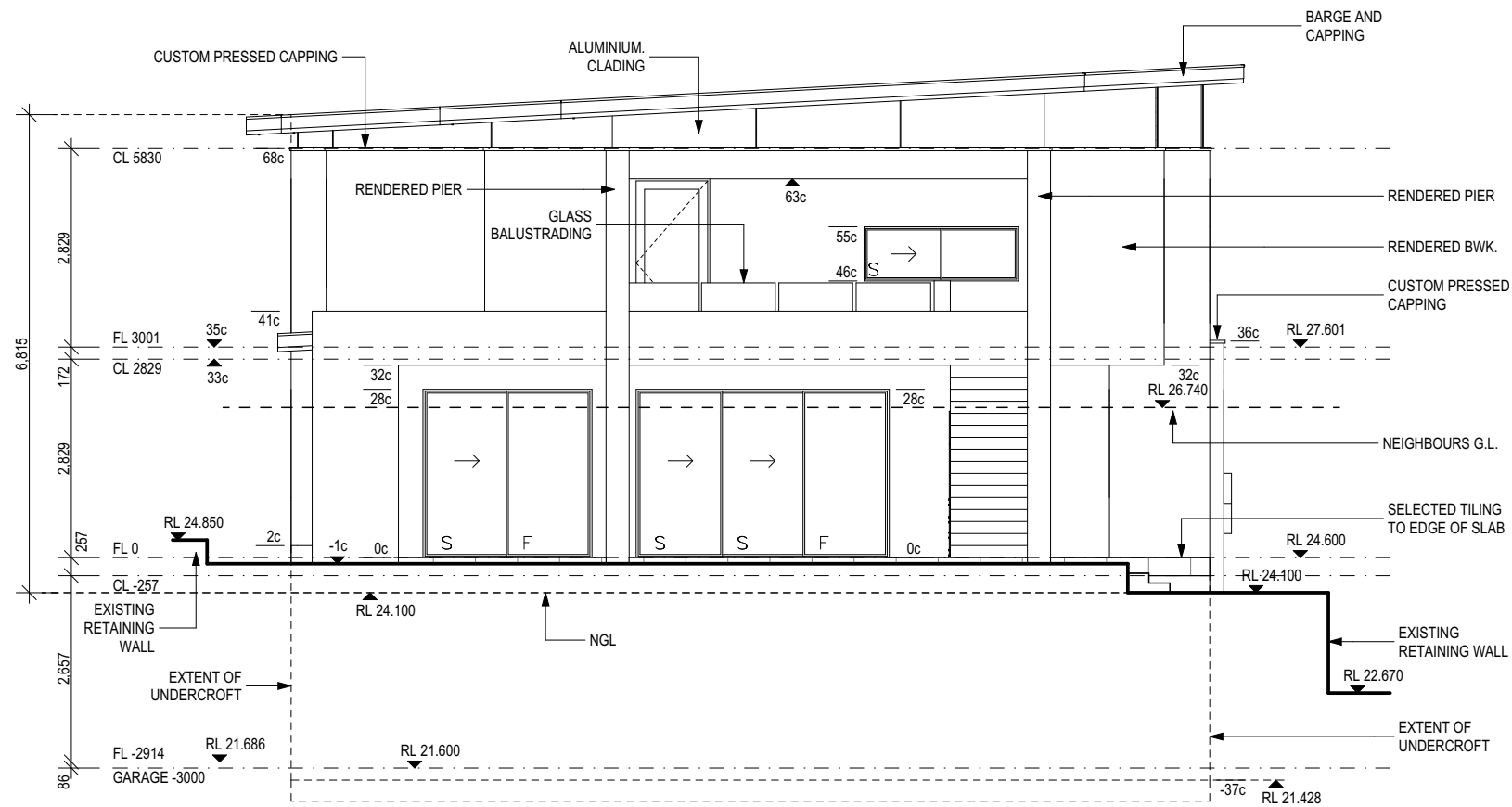
LEON SPICCIA — DESIGN	STAGE:	DA ISSUE	SHEET: WESTERN ELEVATION 1			SHEET No.:	7 of 12
	CLIENT:	Mark & Marilyn McGuigan	DATE:	REV:	DESCRIPTION:	JOB No.:	23030
	ADDRESS:	12 Seahorse Cove, Jindalee	01.11.2023	01	DESIGN	SCALE: 1:100 AT A2	PRINTED: Tuesday, 16 January 2024
MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au		28.11.2023	02	DESIGN DEVELOPMENT			
		30.11.2023	03	DESIGN DEVELOPMENT			
		20.12.2023	04	D/D - ELEVATIONS			
		10.01.2024	05	DA			
		16.01.2024	06	DA-AMEND			



NORTHERN ELEVATION 2
1:100

LEON SPICCIA — DESIGN	STAGE:	DA ISSUE	SHEET:		NORTHERN ELEVATION 2	SHEET No.:	8 of 12
	CLIENT:	Mark & Marilyn McGuigan	DATE:	REV:	DESCRIPTION:	JOB No.:	23030
	ADDRESS:	12 Seahorse Cove, Jindalee	01.11.2023	01	DESIGN	SCALE:	1:100 AT A2
		28.11.2023	02	DESIGN DEVELOPMENT			
		30.11.2023	03	DESIGN DEVELOPMENT			
		20.12.2023	04	D/D - ELEVATIONS			
		10.01.2024	05	DA			
		16.01.2024	06	DA-AMEND			

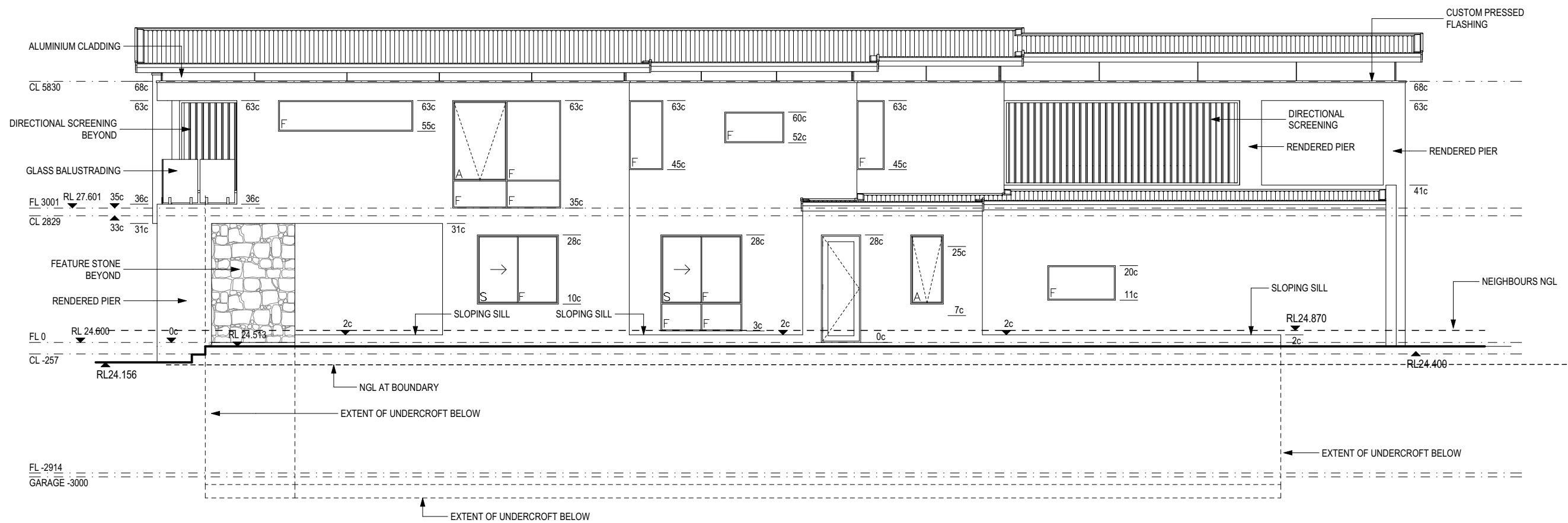
PRINTED: Tuesday, 16 January 2024



EASTERN ELEVATION 3
1:100

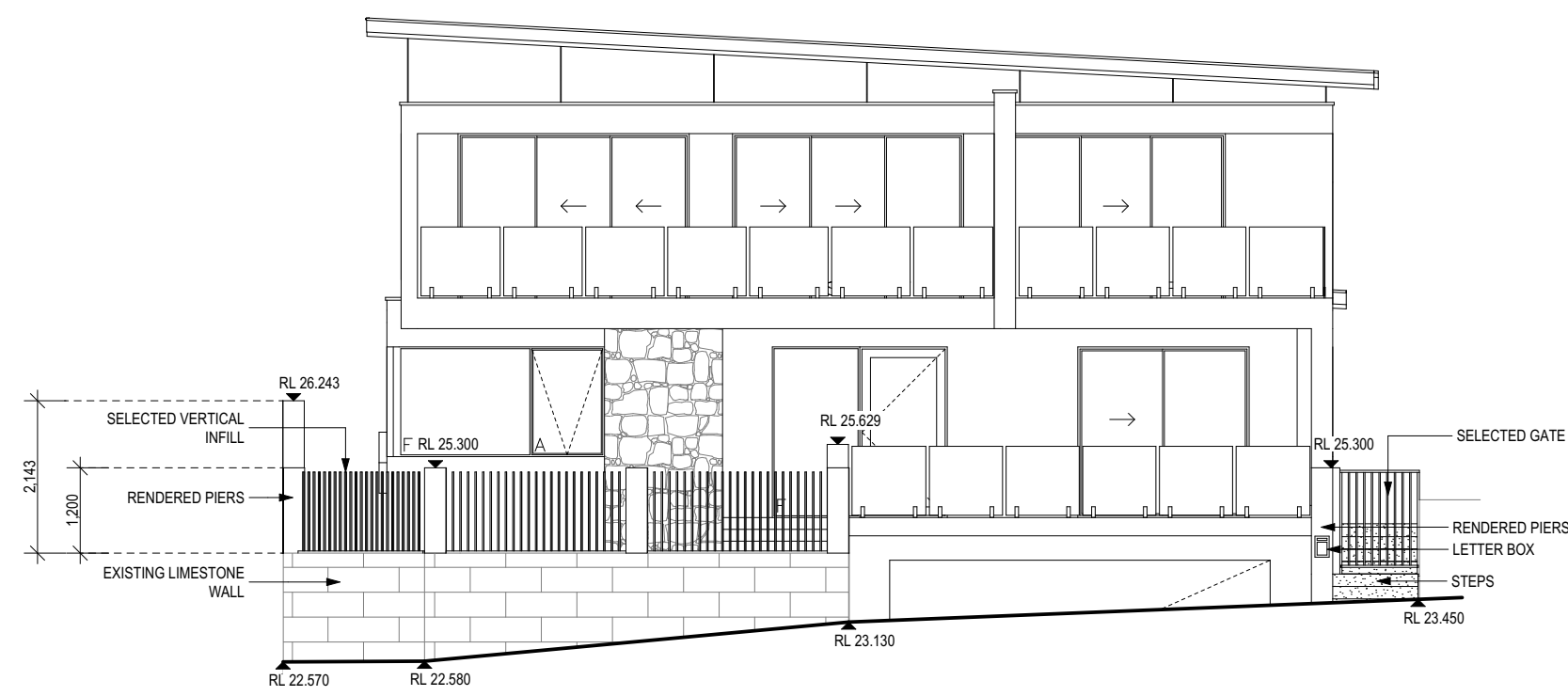
LEON SPICCIA — DESIGN	STAGE:	DA ISSUE	SHEET: EASTERN ELEVATION 3			SHEET No.:	9 of 12
	CLIENT:	Mark & Marilyn McGuigan	DATE:	REV:	DESCRIPTION:	JOB No.:	23030
	ADDRESS:	12 Seahorse Cove, Jindalee	01.11.2023	01	DESIGN	SCALE:	1:100 AT A2
MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au		28.11.2023	02	DESIGN DEVELOPMENT			
		30.11.2023	03	DESIGN DEVELOPMENT			
		20.12.2023	04	D/D - ELEVATIONS			
		10.01.2024	05	DA			
		16.01.2024	06	DA-AMEND			

PRINTED: Tuesday, 16 January 2024

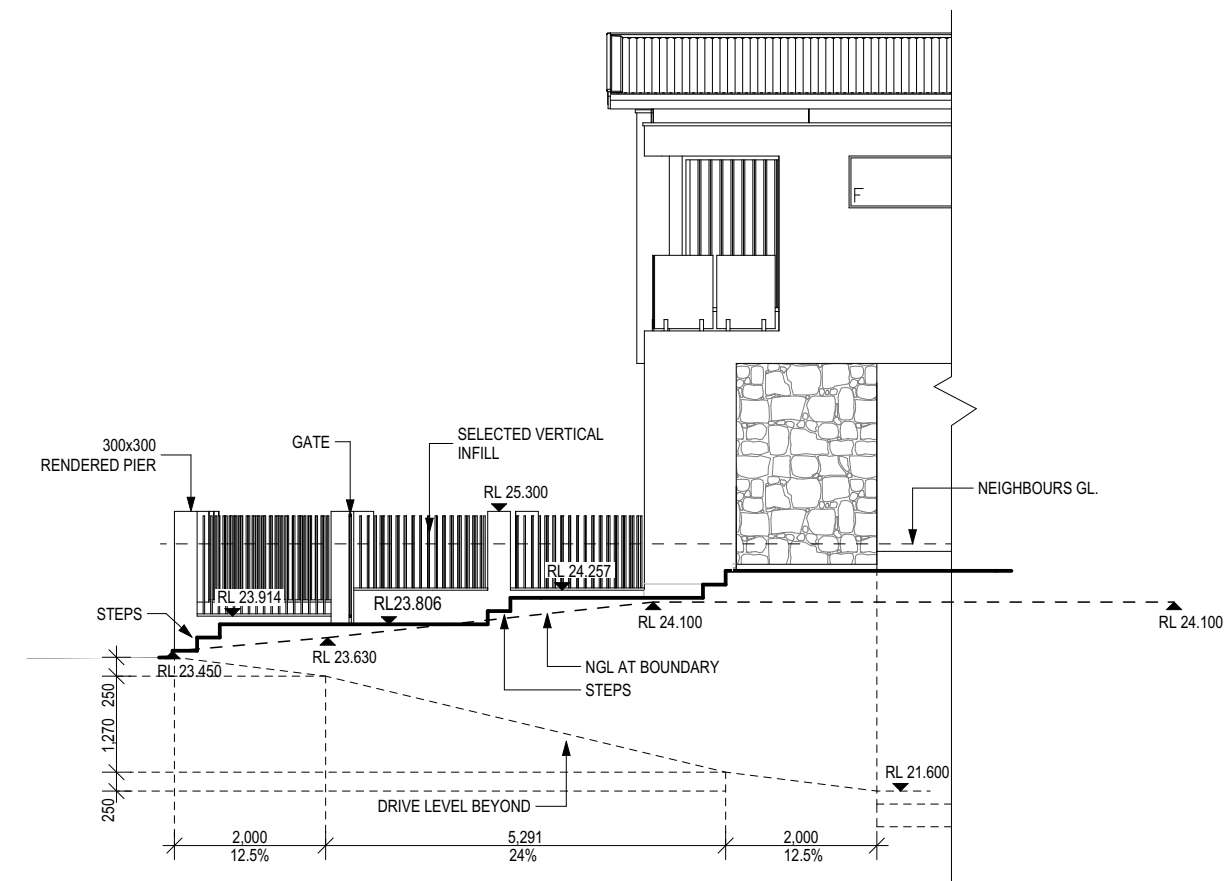


SOUTHERN ELEVATION 4
1:100

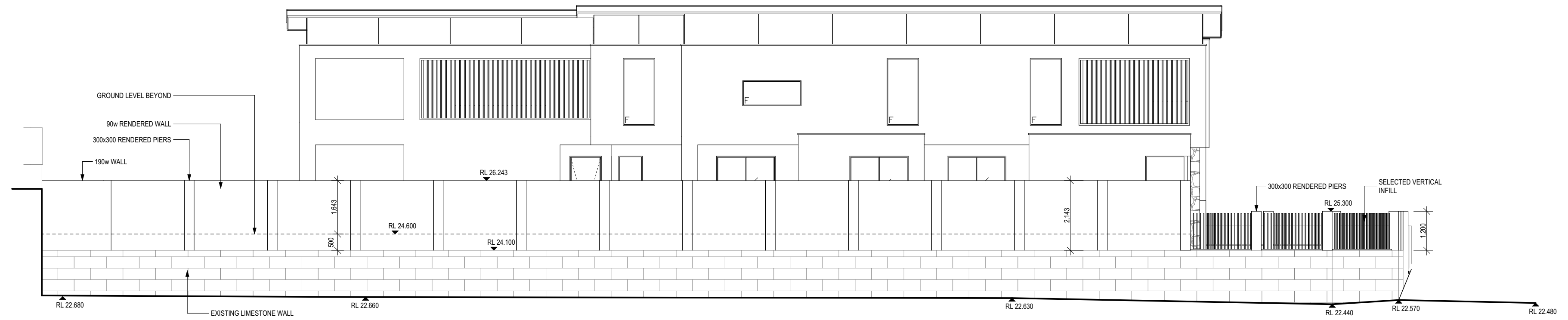
<p>LEON SPICCIA DESIGN</p> <p>MOBILE: 0431 644 685 EMAIL: leon@lsdesigns.com.au</p>	<p>STAGE: DA ISSUE</p>	<p>SHEET: SOUTHERN ELEVATION 4</p>	<p>SHEET No.: 10 of 12</p>
	<p>CLIENT: Mark & Marilyn McGuigan</p>	<p>DATE: 01.11.2023 01 DESIGN 28.11.2023 02 DESIGN DEVELOPMENT 30.11.2023 03 DESIGN DEVELOPMENT 20.12.2023 04 D/D - ELEVATIONS 10.01.2024 05 DA 16.01.2024 06 DA-AMEND</p>	<p>JOB No.: 23030</p>
	<p>ADDRESS: 12 Seahorse Cove, Jindalee</p>	<p>SCALE: 1:100 AT A2</p>	<p>PRINTED: Tuesday, 16 January 2024</p>



S/WALL WESTERN ELEVATION 1
1:100



S/WALL SOUTHERN ELEVATION 3
1:100



S/WALL NORTHERN ELEVATION 2
1:100