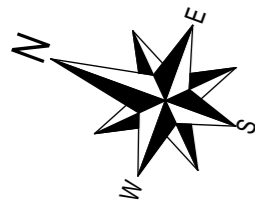


LOT 327

Latitude: -31.608276 Longitude: 115.687223



ZONING: RMD25

SITE AREA: 548m²
PROPOSED RESIDENCE: 237m²

SITE ANALYSIS

SITE COVERAGE = 237m² OR 43%

OUTDOOR LIVING AREA (OLA) REQUIRED: 10% OF 548m² = 55m²
OUTDOOR LIVING AREA (OLA) ACHIEVED: 143m² OR 26%

UNCOVERED OLA REQUIRED: 70% OF 55m² = 39m²
UNCOVERED OLA ACHIEVED: 106m²

No.	Soak Well Type
2.1 m3	1 SW 1500x1200
2.7 m3	1 SW 1500x1500
4.8 m3	Total Capacity
331.0 m2	Roof Area GF
331.0 m2	Total Area
4.1 m3	Capacity Required (Area x 0.0125)
0.6 m3	Extra Capacity Provided

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

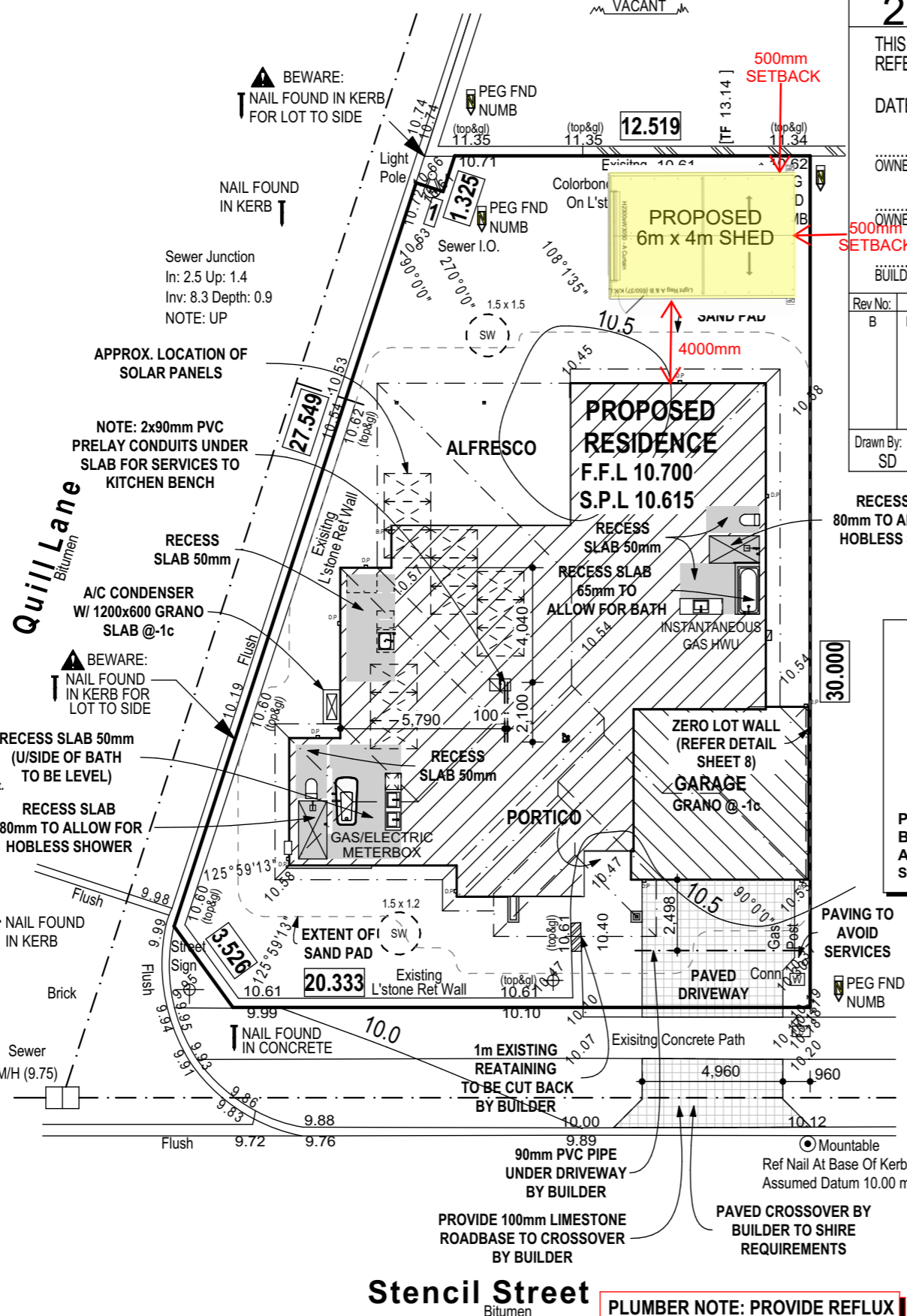
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
0.000m

SOIL DESCRIPTION
Sand
Light Grass Cover

Scale 1:200
 0 2 4 6 8
 Scale 1:200 Date: 12 Apr 21



LEGEND

⊕	SEC Dome
⊖	Power Pole
⊠	Phone Pits
⊞	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

DRAWING NAME: SITE PLAN **REVISION: A**

JOB No: 21115b **SHEET No: 10F9**

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:

OWNER: WITNESS:

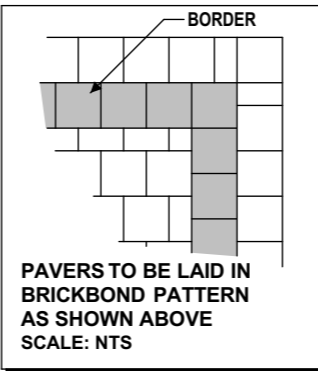
OWNER: WITNESS:

BUILDER: WITNESS:

Rev No:	Variation:	Date Dm:	By:
B	POST PPA_07-05-21	19-05-21	SD

Drawn By: SD Date Drawn: MAY 21 Salesman: MS

RECESS SLAB 80mm TO ALLOW FOR HOBLESS SHOWER



ALL TRADES & AUTHORISED VISITORS TO BE AWARE OF SITE CONDITIONS & EXERCISE CAUTION

EUROPEAN BORER: TREATMENT PROTECTION FOR ALL TIMBER ROOF FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604.

STORMWATER BY BUILDER

STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS

REFER TO SHEET 2 FOR SETOUT & SETBACK DIMENSIONS

PLUMBER NOTE: PROVIDE REFLUX VALVE

TERMITE PROTECTION: IN ACCORDANCE WITH AS 3660.1, PART 3.1.3.2 OF THE BCA

blueprint HOMES

UNIT 22, 257 BALCATT RD, BALCATT W.A. 6021
 PHONE : (08) 6241 4888
 www.blueprinthomes.com.au

CLIENT: Carr & Woolward

CONTRACT / JOB NO. 21115b

MAP REF. 128-04/45

SITE SURVEY **LOT 327** COASTAL NO

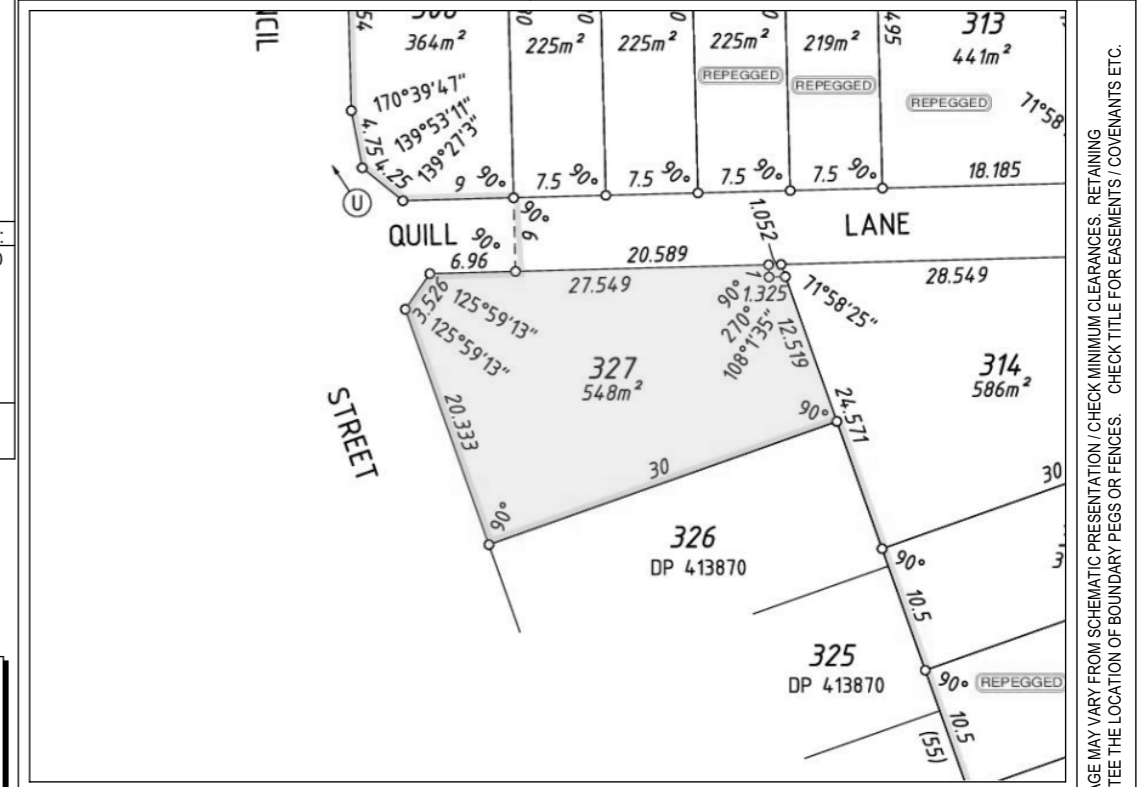
#32 Stencil Street

Suburb Alkimos

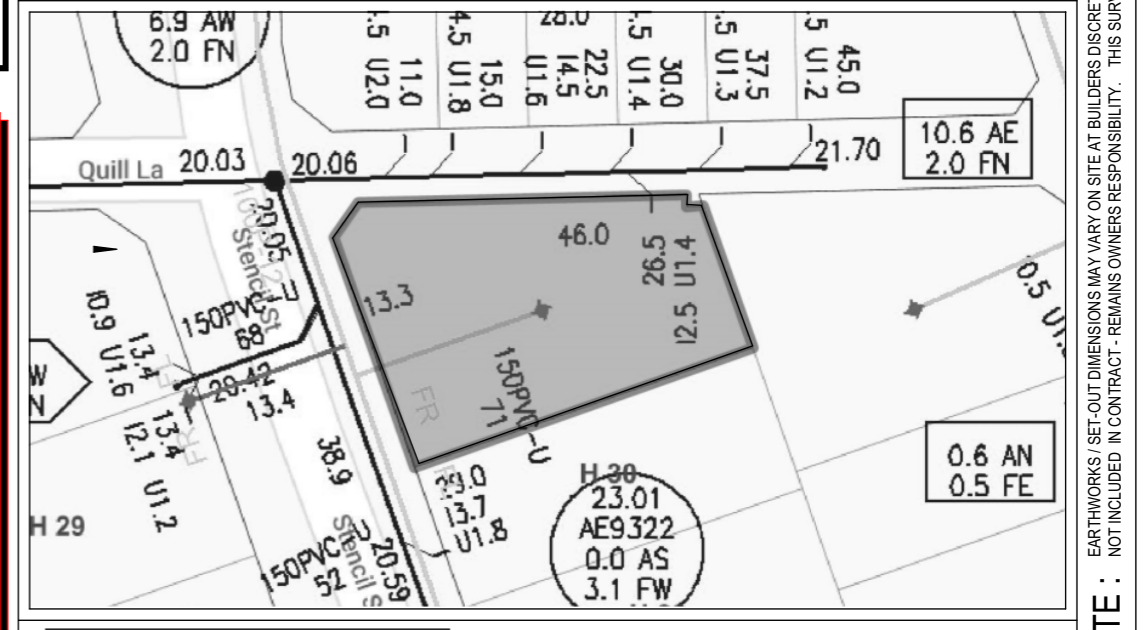
Loc.Auth. CITY OF WANNEROO

D.Plan 417228 Volume 2992 Folio 847

Location Check Title



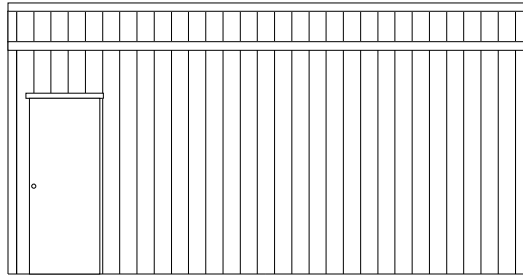
Elec.	⊕ U/Ground	Water	Yes	Sewer	Yes
Gas	Check Your Lot With Alinta Call 13 13 58	Phone Comms	Yes	Footpath	Concrete
Road	Bitumen	Kerb	Mountable/Flush	Drainage	Good



COTTAGE & ENGINEERING SURVEYS

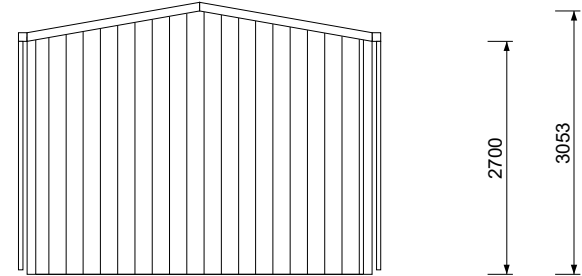
87-89 Guthrie Street, Osborne Park, Western Australia
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
 Email : perth@cottage.com.au Website: www.cottage.com.au
 JNo: 497817 Drawn: A. Lomma

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING WALLS, ETC. NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



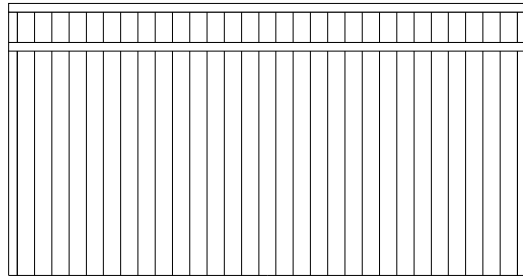
6000

Back



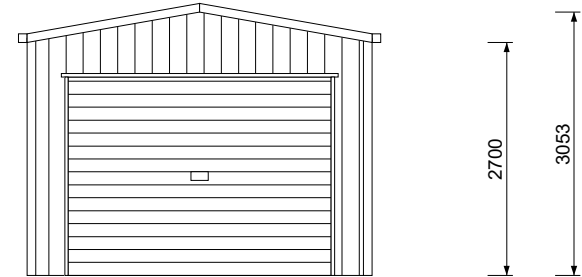
4000

Left



6000

Front



4000

Right

Company: Action Sheds Australia PTY LTD
 Address: 55 Erceg Road
 Phone: 6559 1970
 Email: karli@actionsheds.com.au



CLIENT NAME: **Luke Woolward**
 SITE ADDRESS:
 32 Stencil Street
 Alkimos, WA, PC: 6038

CLIENT SIGNATURE:

.....

TITLE: Elevations View		
QUOTE No: ASHKR63853	SCALE: NTS	REV. A
DATE: 12/01/2024	PAGES: 2 of 2	