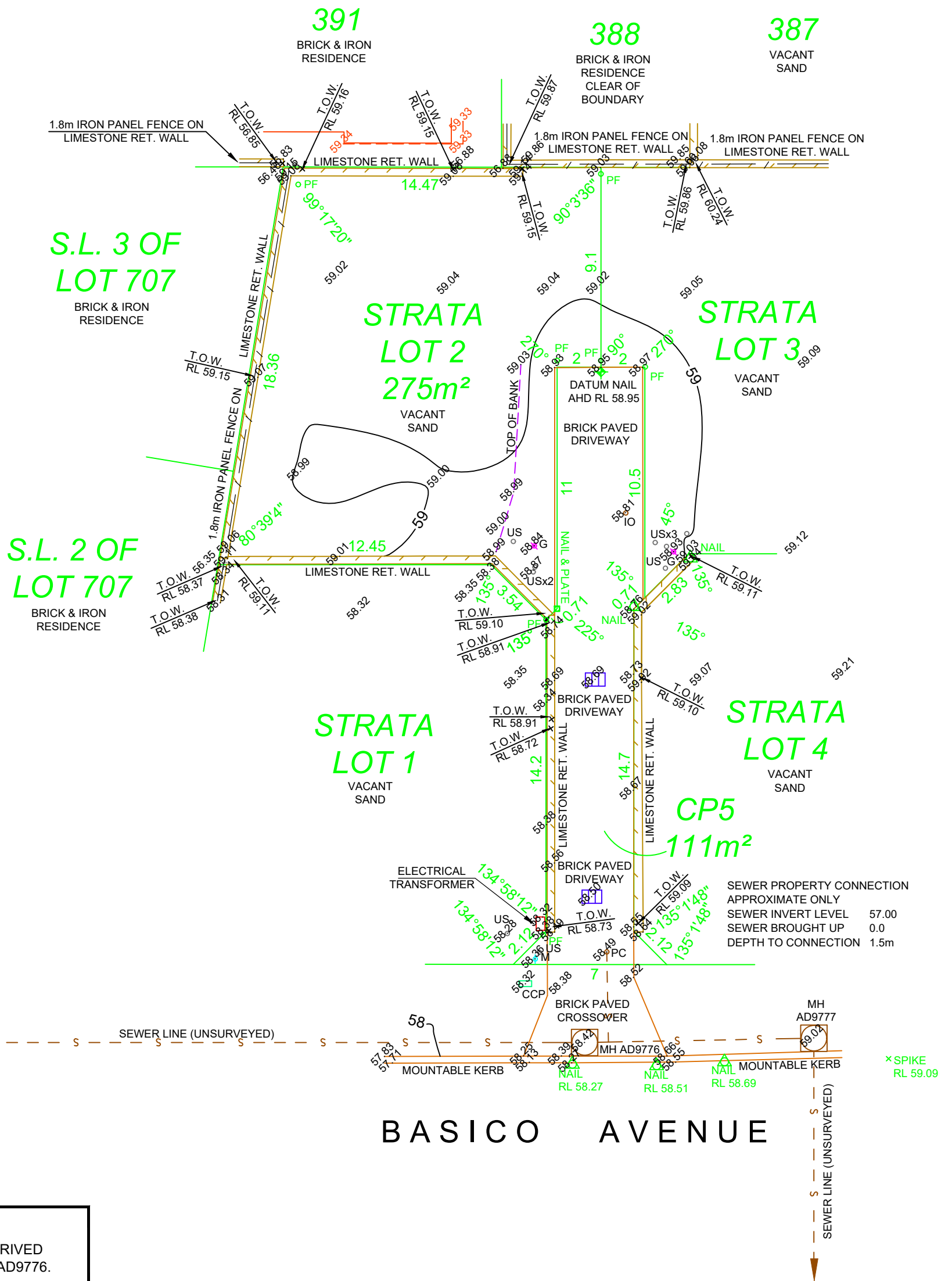


SERVICE LEGEND				
DRAINAGE				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICAL				
CABLE MANHOLE				
CABLE PIT / BOX		ECP	ECB	
CABLE DOME				
CONSUMER POLE		CP		
LIGHT POLE		LP		
POWER POLE		PP		
STAY POLE		SP		
STAY WIRE ANCHOR		SWA		
O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER		G		
GAS METER		GM		
GAS VALVE		GV		
SEWERAGE				
SEWER MANHOLE				
PROPERTY CONNECTION		PC		
SEWER LINE		S		
COMMUNICATIONS				
COMMS MANHOLE				
COMMS MARKER		C		
COMMS CABLE PIT		CCP		
WATER				
FLUSH POINT		FP		
HYDRANT		HY		
STOP VALVE		SV		
TAP		TAP		
WATER MARKER		W		
WATER METER		M		
UNDEFINED				
UNDEFINED MANHOLE		UM		
UNDEFINED PIT		UP		
UNDEFINED SERVICE		US		
SURVEY				
DATUM				
PEG FOUND		PF		
SURVEY STATION				
TEMPORARY / BENCH MARK		TBM	BM	
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
BOLLARD				
WINDOW / DOOR		1ST		
BANK - BOTTOM				
BANK - TOP				
LOT SERVICE RECORD				
SERVICE	STATUS			
	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SEWER CONN.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER U/G	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER O/H	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.				



NOTE:
APPROXIMATE AHD LEVEL DERIVED FROM SEWERAGE MANHOLE AD9776.

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

THE INTERNAL SEWER POSITION IS UNKNOWN AS IT IS SERVICED BY THE INTERNAL STRATA CONTROLLED SEWER. IF FURTHER INFORMATION IS REQUIRED PLEASE ENQUIRE WITH THE WATER CORPORATION.

REV	DESCRIPTION	DRN	DATE	APP
B	ADDITIONAL COMMON PROPERTY & VERGE DATA ADDED TO EXISTING SURVEY	MR	06/11/23	DJ

LOT	: STRATA LOT 2 (# 32B) BASICO AVENUE
SUBURB	: SINAGRA
AUTHORITY	: CITY OF WANNEROO
SURVEY STRATA PLAN	: 83093
C/T	: 4032 / 717

CLIENT	: YOUR HOME WA PTY LTD
SURVEYED ON	: 12/10/2023
SURVEYOR	: DJ
DRAWN	: MR

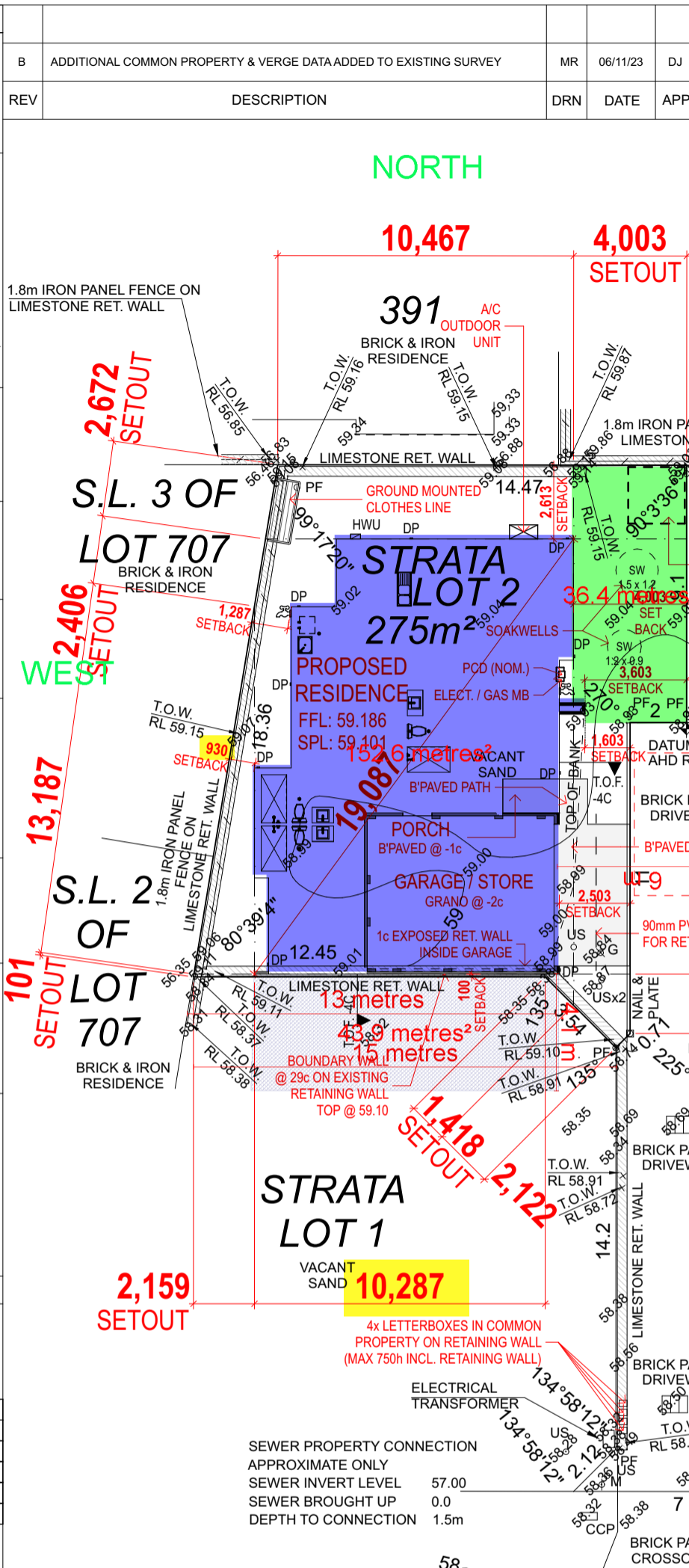
BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.

Land Surveys
19 Brennan Way
BELMONT WA 6104
Telephone (08) 9477 4477
Fax (08) 9477 4499
admin@landsurveys.net.au



JOB No :	PLAN:	DRG:	REV.	SHEET
2301149	- FS	- 001	- B	1 OF 1

SERVICE LEGEND			
DRAINAGE			
GRATE			
SIDE ENTRY PIT			
STORM WATER MANHOLE			
ELECTRICAL			
CABLE MANHOLE			
CABLE PIT / BOX		ECP	ECB
CABLE DOME			
CONSUMER POLE		CP	
LIGHT POLE		LP	
POWER POLE		PP	
STAY POLE		SP	
STAY WIRE ANCHOR		SWA	
O/H POWER LINE			
GAS			
GAS MANHOLE			
GAS MARKER		G	
GAS METER		GM	
GAS VALVE		GV	
SEWERAGE			
SEWER MANHOLE			
PROPERTY CONNECTION		PC	
SEWER LINE		S	
COMMUNICATIONS			
COMMS MANHOLE			
COMMS MARKER		C	
COMMS CABLE PIT		CCP	
WATER			
FLUSH POINT		FP	
HYDRANT		HY	
STOP VALVE		SV	
TAP		TAP	
WATER MARKER		W	
WATER METER		M	
UNDEFINED			
UNDEFINED MANHOLE		UM	
UNDEFINED PIT		UP	
UNDEFINED SERVICE		US	
SURVEY			
DATUM			
PEG FOUND		PF	
SURVEY STATION			
TEMPORARY / BENCH MARK		TBM	BM
OTHER			
AWNING / EAVES			
ROOF RIDGE			
FLOOR RL			
BOLLARD			
WINDOW / DOOR		1ST	
BANK - BOTTOM			
BANK - TOP			
LOT SERVICE RECORD			
SERVICE	STATUS		
	LOCATED	NOT FOUND	NO SERVICE
WATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SEWER CONN.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER U/G	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
POWER O/H	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.			



REV. No.	01	JOB No.	JWA2890	SHEET No.	1 of 11
BAL:	N/A	WIND:	N1	COASTAL:	R3
VARIATIONS			VARIATIONS		
REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION
01	WORKING DRAWINGS	14/11/23	VN-KA		

PRINTED: 2/2/2024 | DATE SAVED: 14/11/2023 | BY: Kate Aureus | TO: /Users/sarahsmith/Library/CloudStorage/GoogleDrive/sarah@yhbgroup.com.au/Shared drives/WA - Active Jobs/JWA2890 Mataruse - SL 2 (32B) of Lot 901 Basico Ave, Sinagra (CSF) Plans - E-Files/24-02-02/JWA2890 - Lot 2 (#32B) Basico Avenue, Sinagra, WA

Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m3
SW 1500x1200	1	2.1 m3
Total Capacity		3.1 m3
Roof Area GF		166.9 m2
Total Area		166.9 m2
Capacity Required (Area x 0.0150)		2.5 m3
Extra Capacity Provided		0.6 m3

BRICKWORK NOTES:

- ALL STEEL AND MORTAR TO BE IN ACCORDANCE WITH AS 3700-2011.
- BOUNDARY WALL CONSTRUCTION TO COMPLY WITH THE BCA VOL 2 PART 3.7.1.3 - EXTERNAL WALL FOR CLASS ONE BUILDINGS.

EXTERNAL WALL TYPE NOTES:

COMBINATION OF

- 230w CAVITY BWK W/- 2c FACE BRICK 1/3 BOND EXTERNALLY WHERE SHOWN
- 230w CAVITY BWK W/- RENDER EXTERNALLY WHERE SHOWN

AS. 3660.1 TERMITE MANAGEMENT SECTION 1.5

BUILDING OWNERS SHOULD BE AWARE THAT CONSTRUCTION AT OR NEAR THE BOUNDARY COULD RESULT IN A GREATER RISK OF TERMITE ENTRY AND MORE FREQUENT INSPECTIONS MAY BE REQUIRED.

STORMWATER NOTES:

- ALL STORMWATER TO BE CONTAINED ON SITE TO SOAKWELLS (SIZE AND LOCATION AS SHOWN) TO LOCAL AUTHORITY AND BCA REQUIREMENTS.
- SOAKWELL LOCATION MAY BE ADJUSTED ON SITE AT PLUMBERS DISCRETION AS REQUIRED TO SUIT LATENT SITE CONDITIONS.
- CAPACITY HAS BEEN CALCULATED IN ACCORDANCE WITH LOCAL AUTHORITY & BCA REQUIREMENTS ALLOWING FOR A 20 YEAR STORM OF A 5 MINUTE DURATION (OR UNLESS STIPULATED OTHERWISE BY THE LOCAL AUTHORITY).
- THE BUILDER ACCEPTS NO RESPONSIBILITY SHOULD THE SYSTEM NOT OPERATE CORRECTLY AS A RESULT OF GREATER RAINFALL, ON SITE CONDITIONS SUCH AS LIMESTONE, CLAY, OR HIGH WATER TABLE.

SITE SAFETY NOTICE:

EVACUATION LOCATION TO FRONT OF BLOCK (AS NOMINATED) THROUGH GATE WHERE APPLICABLE

SITE AREA CALCULATIONS:

LOT AREA:	275m ²
ZONING	- R40
OPEN SPACE	- 122.87m ² - 44.68%
OUTDOOR LIVING AREA (MIN 20m ²)	- 27.63m ²
UNCOVERED OUTDOOR LIVING AREA (MIN 6.67m ²)	- 25.23m ²

NOTE:

FOOTING AND SLAB TO ENGINEERS DETAIL
FOOTING LEVELS AS NOMINATED U.N.O.
HOUSE T.O.F. @ -2c
GARAGE T.O.F. @ -4c

NOTE TO PLUMBER:

REFLUX VALVE REQUIRED.

THE INTERNAL SEWER POSITION IS UNKNOWN AS IT IS SERVICED BY THE INTERNAL STRATA CONTROLLED SEWER. IF FURTHER INFORMATION IS REQUIRED PLEASE ENQUIRE WITH THE WATER CORPORATION.

NOTE:
APPROXIMATE AHD LEVEL DERIVED FROM SEWERAGE MANHOLE AD9776.

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.

CLIENT: _____

DATE: _____

CLIENT: _____

DATE: _____

BUILDER: _____

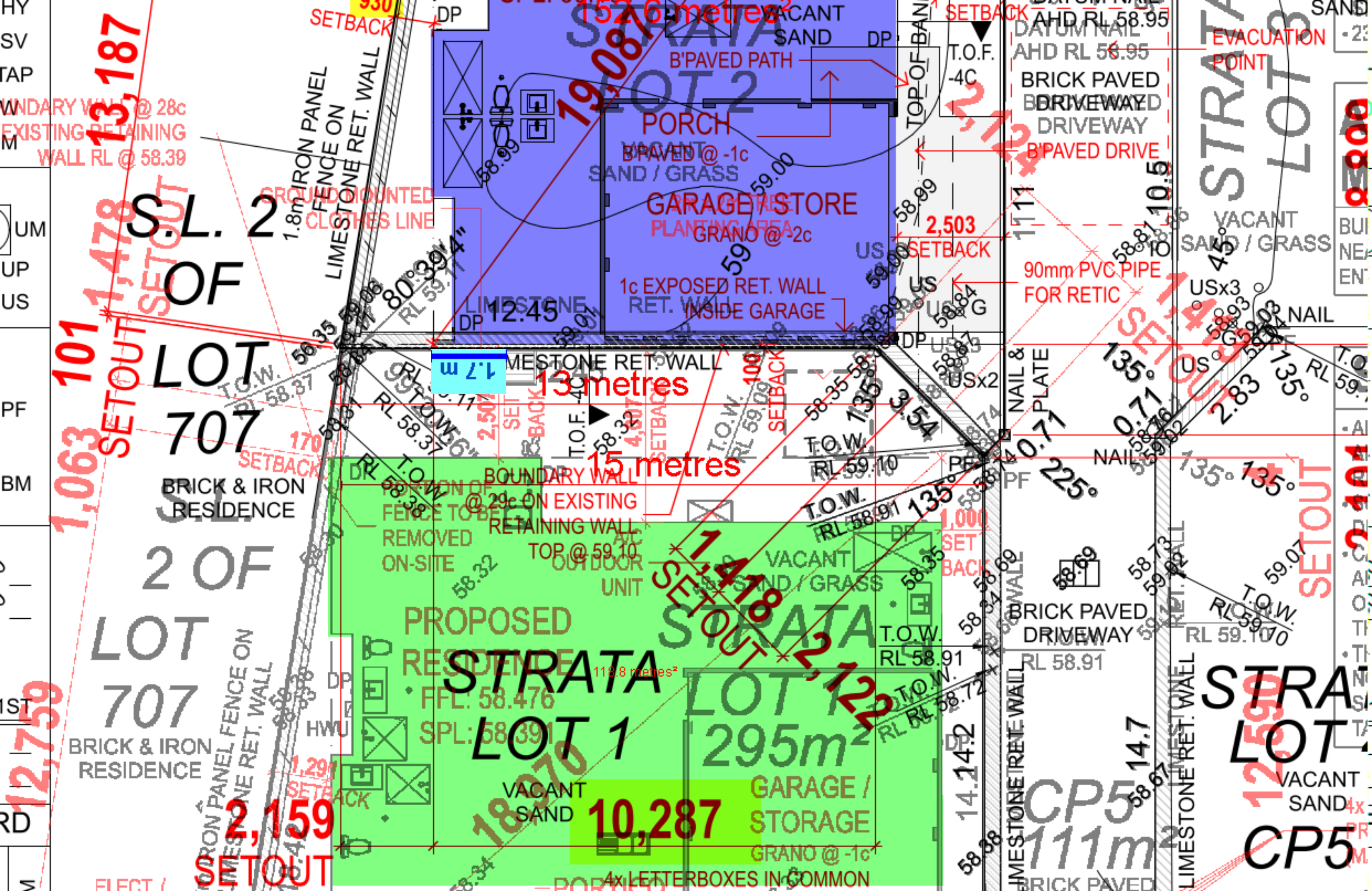
DATE: _____

YHB GROUP

BUILDING HOW IT SHOULD BE

2/2/2024 © Copyright YHB Group Pty Ltd
08 9477 2697 | admin@yourhomewa.com.au
Unit 3/ 101 Belmont Ave Belmont WA 6104
PO Box 1028 Cloverdale WA 6985
BRN BC104489

LOT	: STRATA LOT 2 (# 32B) BASICO AVENUE	CLIENT	: YOUR HOME WA PTY LTD
SUBURB	: SINAGRA	SURVEYED ON	: 12/10/2023
AUTHORITY	: CITY OF WANNEROO	C/T	: 4032 / 717
SURVEYOR	: DJ	DRAWN	: MR
<p>BUILDERS / CLIENTS: SITE SURVEY only. The information shown on this plan is current at the time of survey. Verify boundary information, easements etc. from the Certificate of Title, Plan / Diagram or a Boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.</p>			
SCALE @ A3 : 1:200			<p>Land Surveys</p>
ALL DISTANCES ARE IN METRES	JOB No :	PLAN:	DRG: REV. SHEET
	2301149	- FS -	001 - B 1 OF 1
			19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au



1,063 SETOUT 101
1,478 SETOUT
13,187

12,759
2,159 SETOUT

S.L. 2
OF
LOT
707

LOT
707

2 OF
LOT
707

STRATA
LOT 1
295m²

STRATA
LOT 2
152.6 metres²
19.08

10,287
GARAGE / STORAGE
GRANO @ -1c

1.7m
1.3 metres
1.5 metres

CP5
111m

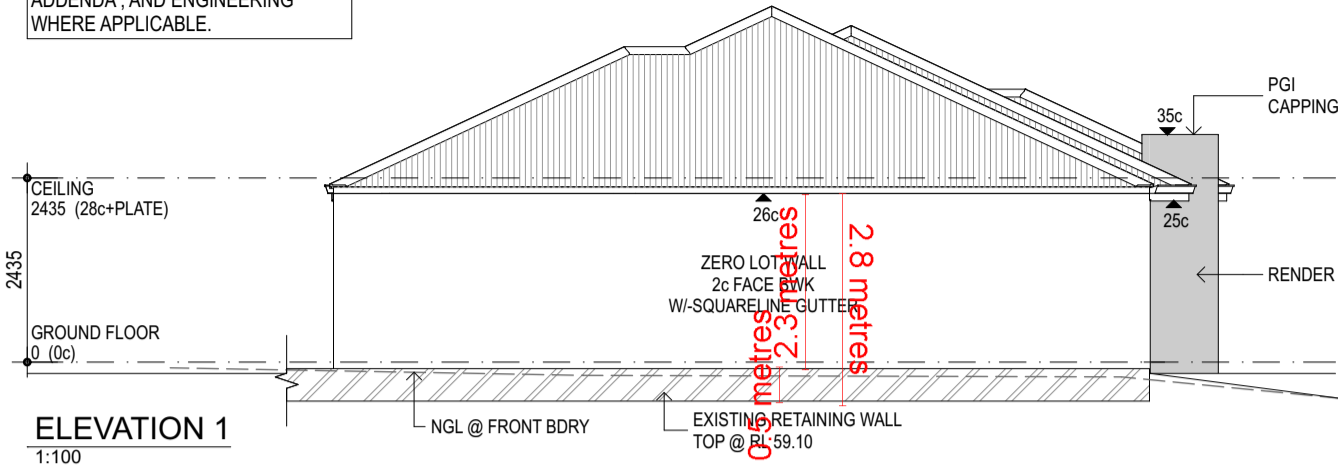
STRATA
LOT 3

STRATA
LOT
CP5

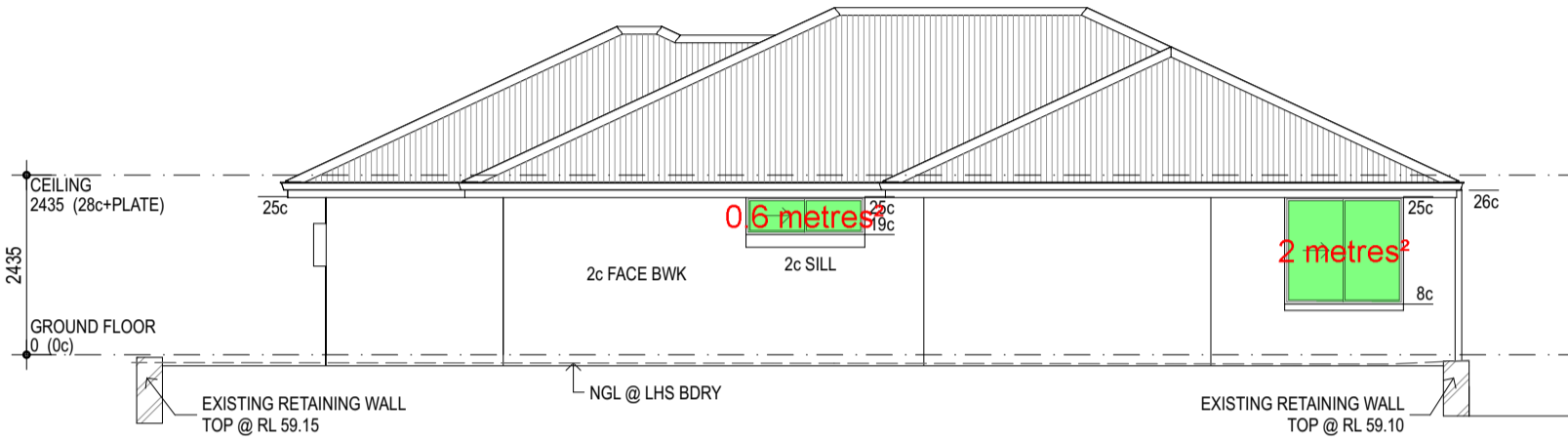
COLORBOND ROOF @ 24°43'0" (25°)

PLEASE NOTE: ALL HATCH PATTERNS AND SHADED FILLS ARE DIAGRAMATIC ONLY. REFER DETAILS, ADDENDA, AND ENGINEERING WHERE APPLICABLE.

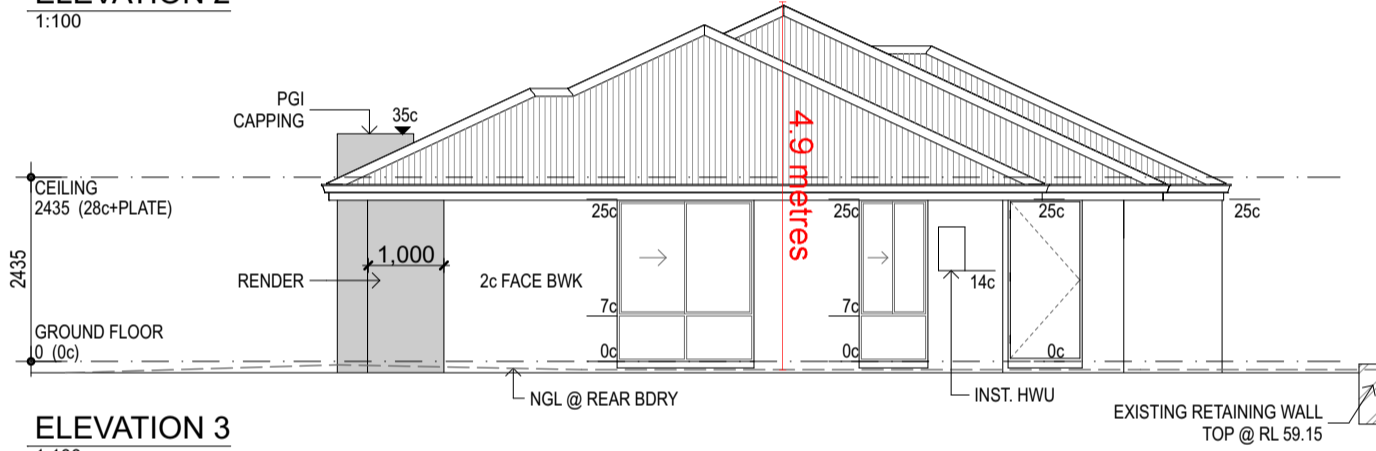
ROOF	COLORBOND SHALE GREY
GUTTER	COLORBOND SHALE GREY
FASCIA	COLORBOND SURFMIST
RENDER MAIN	WATTYL COALMINE
RENDER CONTRAST	-
GABLE LINING	-
GABLE BARGE & SCRIBE	-
CLADDING - WEATHERBOARD	-
FRONT DOOR	WATTYL COLORBOND SURFMIST
FEATURE BRICKWORK - FRONT	-
BRICKWORK - MAIN	MIDLAND BRICKS - TREALLA
DOWNPIPES	TO MATCH BRICKWORK/RENDER
WINDOW FRAMES	BLACK
POSTS	-
PAVING - URBANSTONE FLORENCE	ASH
GARAGE SECTIONAL DOOR	COLORBOND SURFMIST



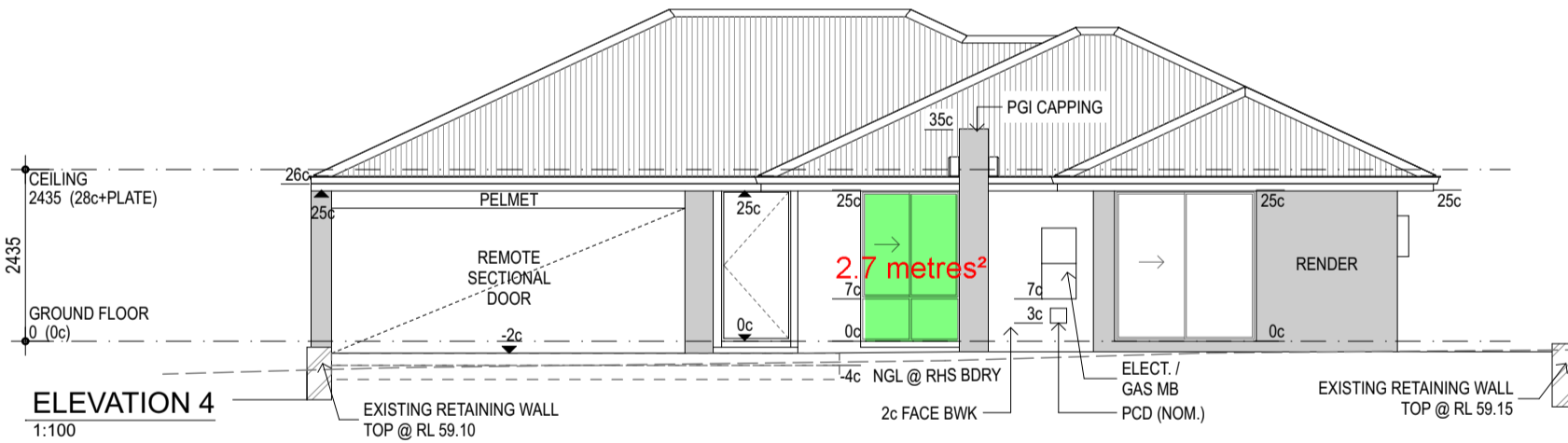
ELEVATION 1
1:100



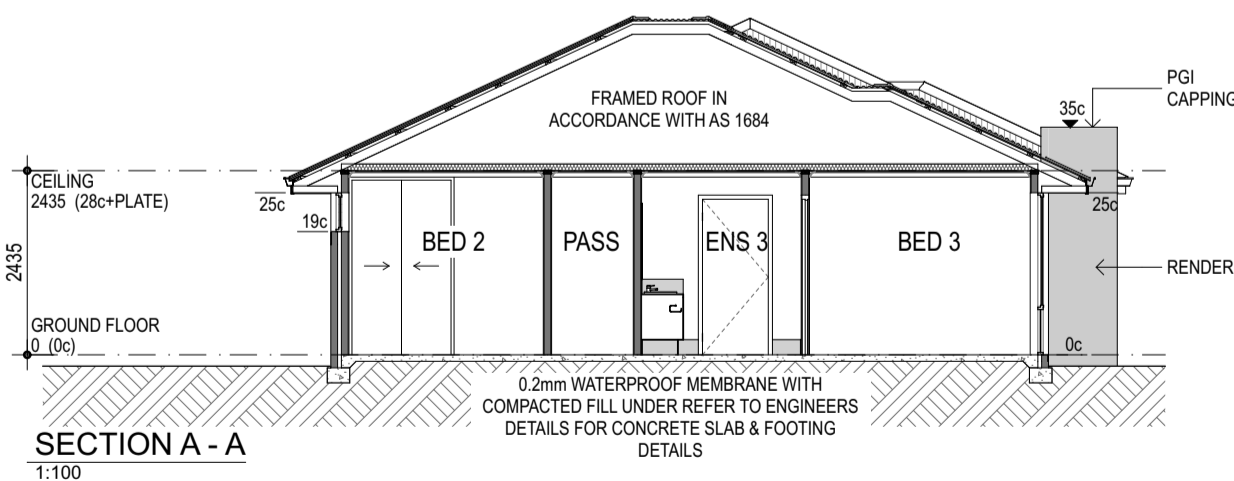
ELEVATION 2
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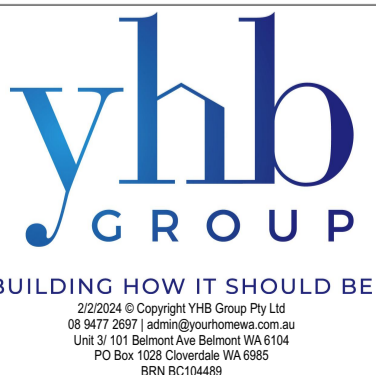
ELEVATION 3
1:100



ELEVATION 4
1:100



SECTION A - A
1:100



CLIENT: _____
DATE: _____
CLIENT: _____
DATE: _____
BUILDER: _____
DATE: _____

MODEL	INDIVIDUAL (E3)	VALUE ESSENTIALS SPECIFICATION	DRAWING NAME	SHEET No.	REVISION No.	JOB No.
BAL: N/A	WIND: N1	COASTAL: R3	ELEVATIONS	4 of 11	01	JWA2890
VARIATIONS			VARIATIONS			CLIENT NAME
REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION	DATE
01	WORKING DRAWINGS	14/11/23	VN-KA			
SITE ADDRESS						SHIRE
LOT 2 (#32B) BASICO AVENUE, SINAGRA						CITY OF WANNEROO
DRAWN BY			DATE OF ISSUE		SCALE	
VN-KA			14/11/23		1:100 ON A3	