

ADDRESS	#16 Carinda Place	ROADS	Bitumen	ELEC.	U/Ground
LOT	Lot 132 (Plan 15707)	KERBS	Semi- Mount	COMMS.	Yes
SUBURB	Alexander Heights	FOOTPATH	Nil	WATER	Yes
LGA	CITY OF WANNEROO	SOIL	Sand	GAS	Check Alinta
AREA	681m ²	DRAINAGE	Good	SEWER	Yes
DATE	09 Nov 21	VEGETATION	Refer to Survey		
VOL.	1749				
FOL.	711				
SSA	No				

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

SITE DATA

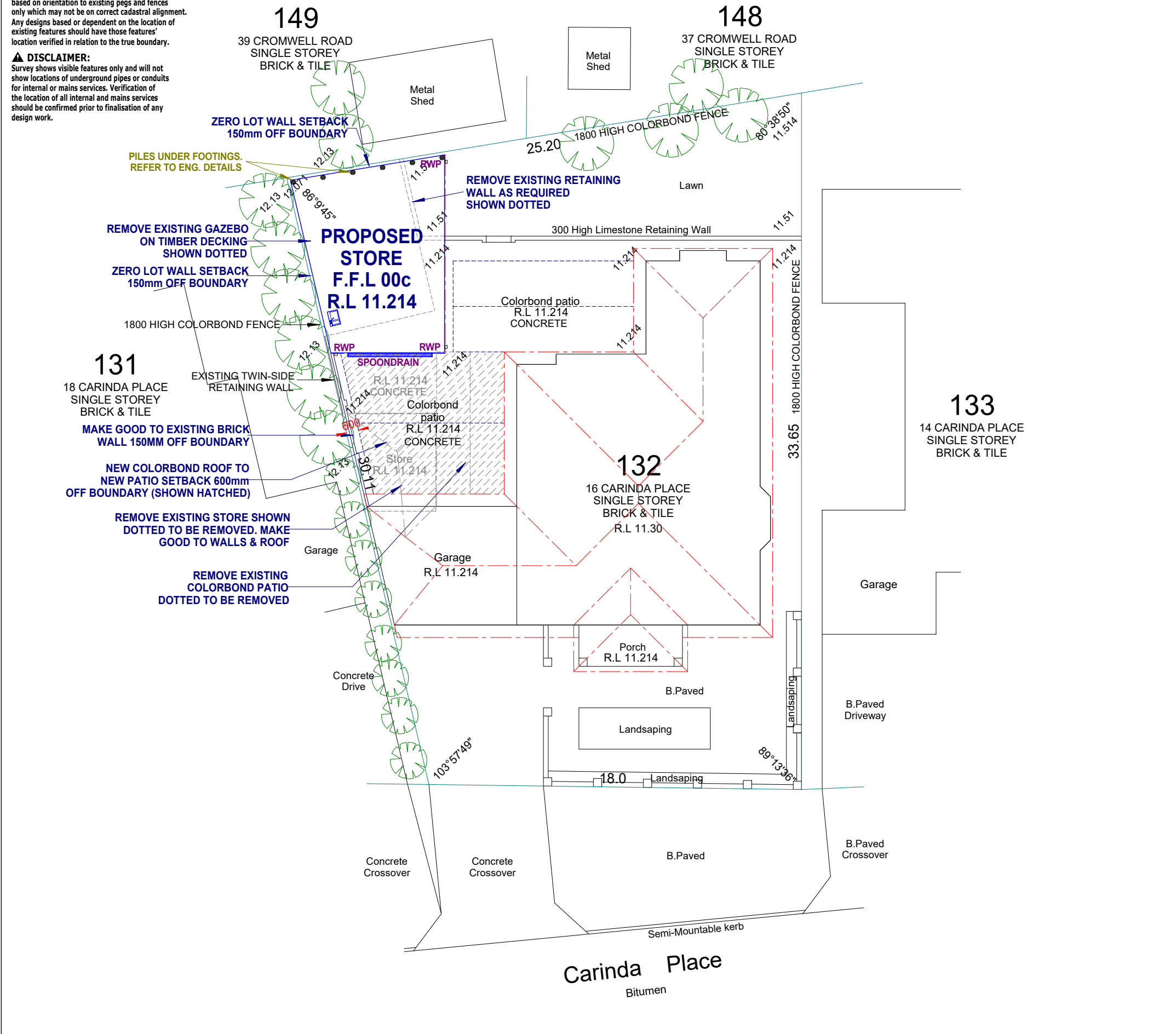
SITE AREA	:	681m ²
TOTAL BUILDING AREA	:	275.84 m ²
OPEN SPACE REQUIRED	:	340.50 m ²
OPEN SPACE PROVIDED	:	405.16 m ²

PRE-TREATMENT FOR THE PROPOSED PROPERTY TO IN ACCORDANCE WITH AS 3660.1:2014.

ALL BOUNDARY WALLS WILL HAVE HOMEGUARD PHYSICAL BARRIER INSTALLED

NOTE TO PLUMBING CONTRACTOR CONNECT ALL NEW RAIN WATER PIPES TO EXISTING SOAKWELLS

BUILDER TO ENSURE THAT THERE ARE NO EXISTING SERVICES UNDER PROPOSED BUILDING.



SITE PLAN

5.0m 0 2.50 5.0 10.0 15.0m

HIA

MASTER BUILDERS

WESTERN AUSTRALIA

member

md

anthony michael designs

mobile 0412 453438

anthony.m@amdesigns.com.au

www.amdesigns.com.au

52 osborne place stirling

p.o box 86 north perth wa 6906

NOTE:

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20.03.24	AS CONSTRUCTED
15.06.22	ISSUED FOR PLANNING
25.05.22	ISSUED FOR CONSTRUCTION
DATE	REVISION

PROPOSED STORE

LOT 132 (# 16)

CARINDA PLACE

ALEXANDER HEIGHTS

DESIGNED	A.MICHAEL	SHEET No	
DRAWN	A.MICHAEL		A1 OF 3
CHECKED	A.MICHAEL		
DATE	22.04.22		
SCALE	1:200	JOB No	
		21-2125	

TIMBER ROOF NOTES

1. ALL TIMBERWORK TO BE IN ACCORDANCE WITH
(a) AS1684 - 'RESIDENTIAL TIMBER FRAMES CONSTRUCTION'
(b) AS1720.1 - TIMBER STRUCTURES PART 1 : 'DESIGN METHODS'
(c) NATIONAL CONSTRUCTION CODE
2. ALL FABRICATION AND ERECTION OF STEELWORK TO BE IN
ACORDANCE WITH AS4100 - STEEL STRUCTURES CODE.
3. ALL WELDING IN ACCORDANCE WITH AS1554 - PT 1 WELDING OF
STEEL STRUCTURES.
4. ALL DETAILS TO BE CHECKED AND SITE MEASURED, AS REQUIRED
PRIOR TO ORDERING. CHECK ANY DISCREPANCIES WITH THE ENGINEER
5. ROOF TO BE TIED DOWN TO RESIST UPLIFT, AS REQUIRED IN AS1684
TIMBER FRAMING CODE.
6. ALL STEELWORK (INCLUDING FASTENERS) TO BE TREATED IN
ACCORDANCE WITH CLAUSE 3.4.4.4 "CORROSION PROTECTION" OF
THE NATION CONSTRUCTION CODE.
7. SPLAY STEEL BEAMS WHERE REQUIRED, TO SUIT ROOF PITCH. MINIMUM
END HEIGHT TO BE 60mm.
8. TIMBER TO TIMBER CONNECTION TO BE VIA 10PL ANGLE CLEAT AND
2M16 BOLTS TO EACH LEG, U.N.O
9. TIMBER TO STEEL CONNECTION TO BE VIA 10PL CLEAT FULLY WELDED
TO STEEL BEAM. FIX TIMBER BEAM CLEAT VIA 2M16 BOLTS. U.N.O.
10. STEEL TO STEEL CONNECTION TO BE VIA 10PL CLEAT FULL WELDED
TO WEB OF CONTINUOUS STEEL BEAM FIX INTERSECTING STEEL
BEAM TO CLEAT VIA 2M16 BOLTS U.N.O. ALTERNATIVELY, STEEL BEAM
MAY BE FULLY WELDED.
11. STEEL TO TIMBER CONNECTION TO BE VIA 10PL END PLATE FULLY
WELDED TO ENDS OF STEEL BEAM. FIX END PLATE TO TIMBER BEAM VIA
4M16 BOLTS U.N.O. (MAXIMUM SIZE OF STEEL BEAM TO BE 180 UB 16)
12. PARAPET FLASHING TO BE OVER PARAPET, NOT THROUGH GUTTERS,
FLASHINGS AND CLADDING TO ARCHITECTURAL DETAILS.
13. ROOF BEAMS TO BE PLACED HORIZONTALLY AND MAY BE USED TO
SUPPORT INDEPENDENT CEILING MEMBERS.
14. ALL STRUTTING BEAMS TO BE LATERALLY RESTRAINED IN ACCORDANCE
WITH AS1684 AND TO MANUFACTURER'S SPECIFICATIONS.

NOTE:
ARCHITECTURAL DRAWINGS ARE TO BE READ
IN CONJUNCTION WITH STRUCTURAL DRAWINGS.
ANY DISCREPANCY BETWEEN THE TWO
DRAWINGS ARE TO BE HILITED TO THE DESIGNER

TOP OF FOOTINGS FOR PIERS & WALLS
TO GARAGE, ALFRESCO & PORCH @ -2c
BELOW FINISHED FLOOR LEVEL UNLESS
OTHERWISE NOTED

NOTE :
LOCATION OF DOWNPIPES IS
INDICATIVE ONLY & MAY BE
CHANGED AT BUILDERS DISCRETION

NOTE :
ALL TIMBER TO BE TREATED TO
AS 3660.1-2014 APPENDIX "D"

TIMBER BEAM NOTES

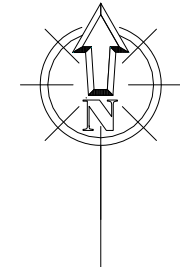
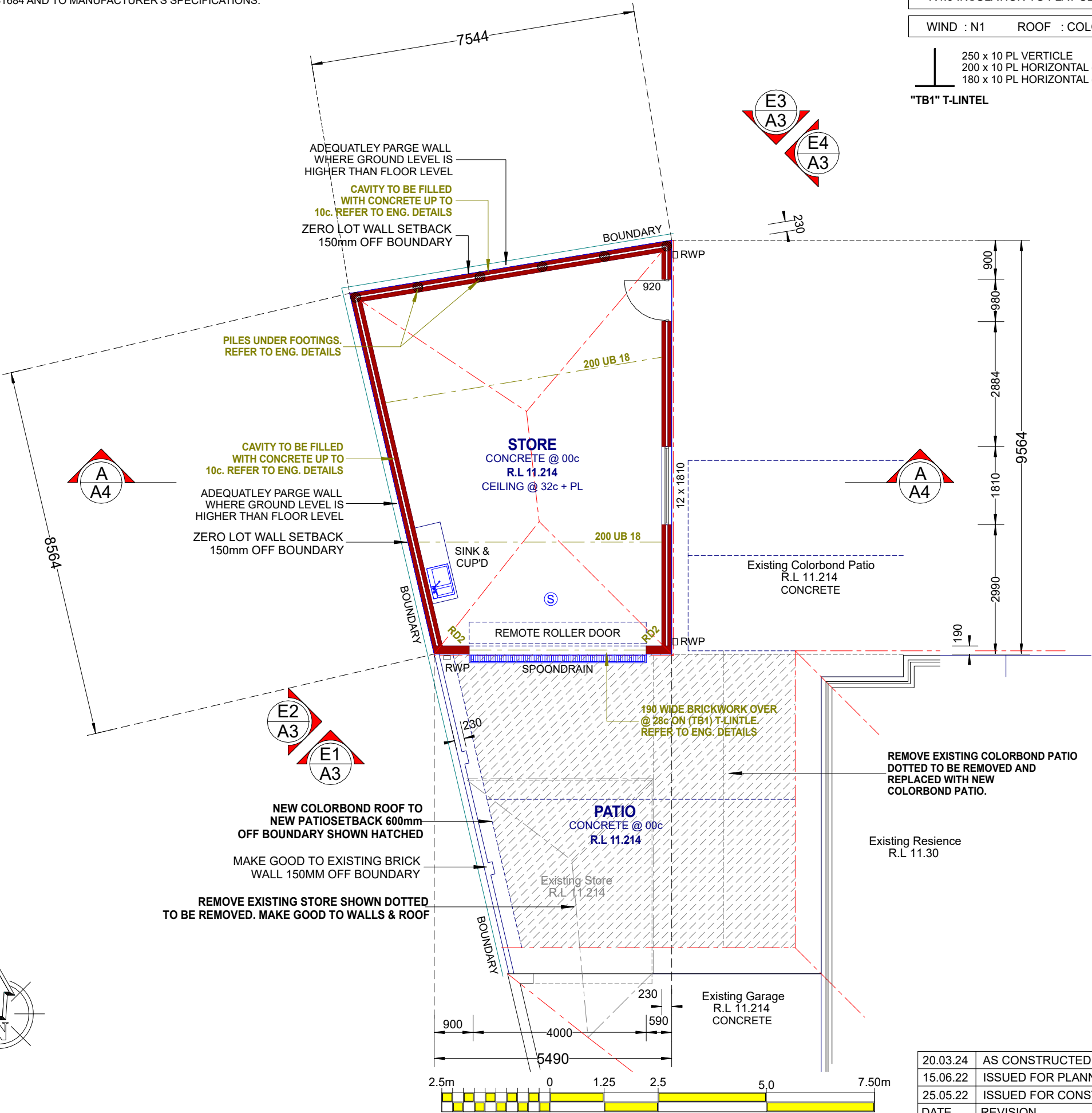
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LVL, U.N.O
- ALL STRUTTING BEAMS TO BE
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INSULATION NOTES :

PROVIDE
* R4.0 INSULATION TO FLAT CEILING

WIND : N1 ROOF : COLORBOND

250 x 10 PL VERTICLE
200 x 10 PL HORIZONTAL (230 BWK)
180 x 10 PL HORIZONTAL (190 BWK)
"TB1" T-LINTEL



PROPOSED
FLOOR PLAN

Ⓢ DENOTES INTERCONNECTED
SMOKE DETECTOR

FLOOR AREA : 58.48 m²
PERIMETER : 31.16 m



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ALEXANDER HEIGHTS

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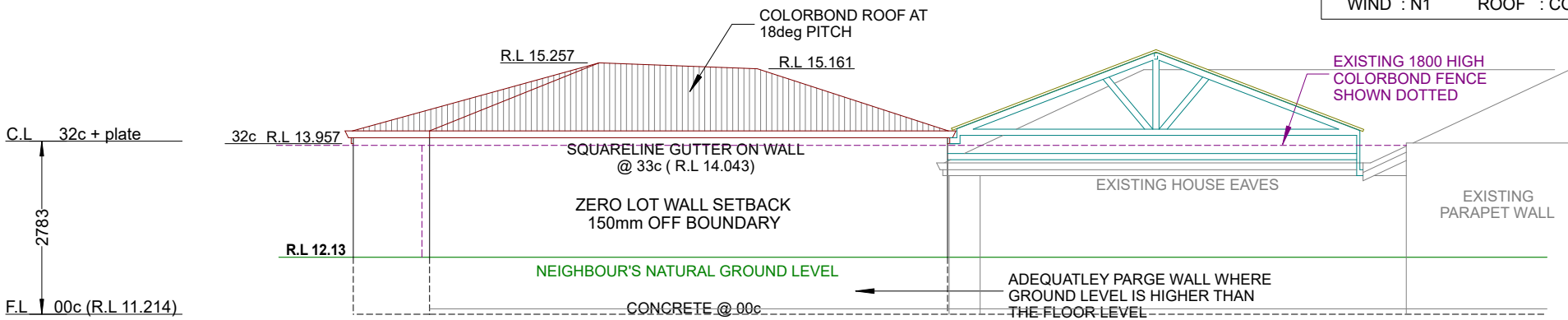
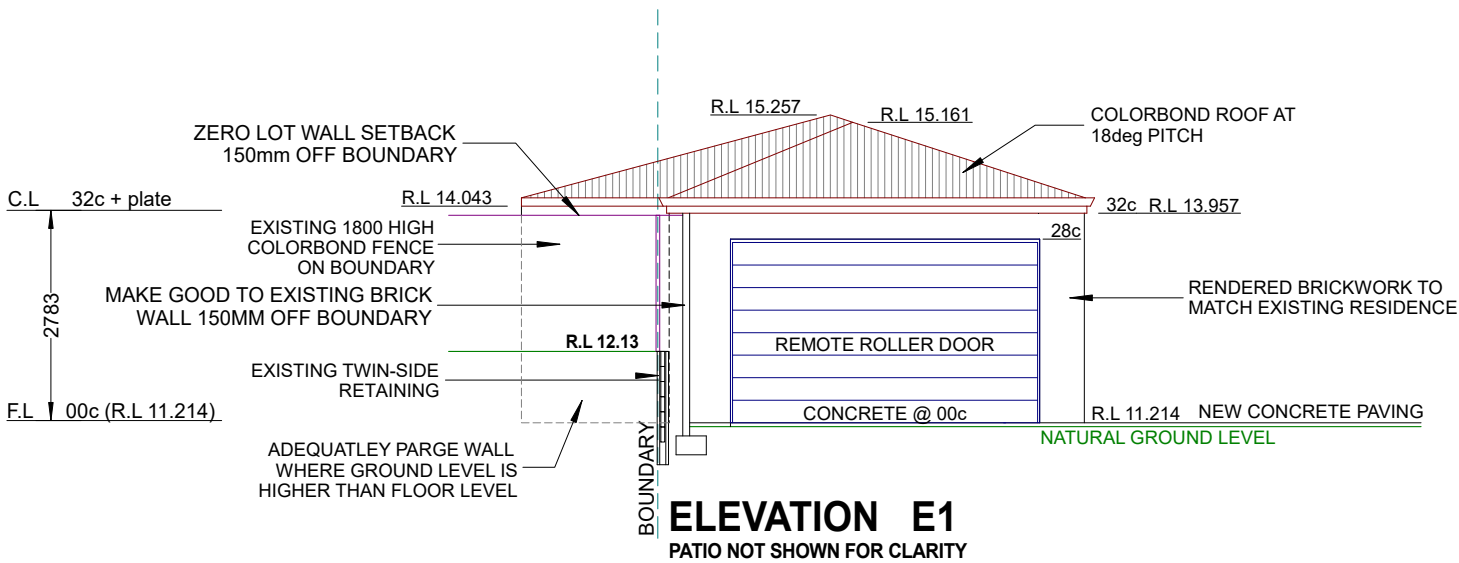
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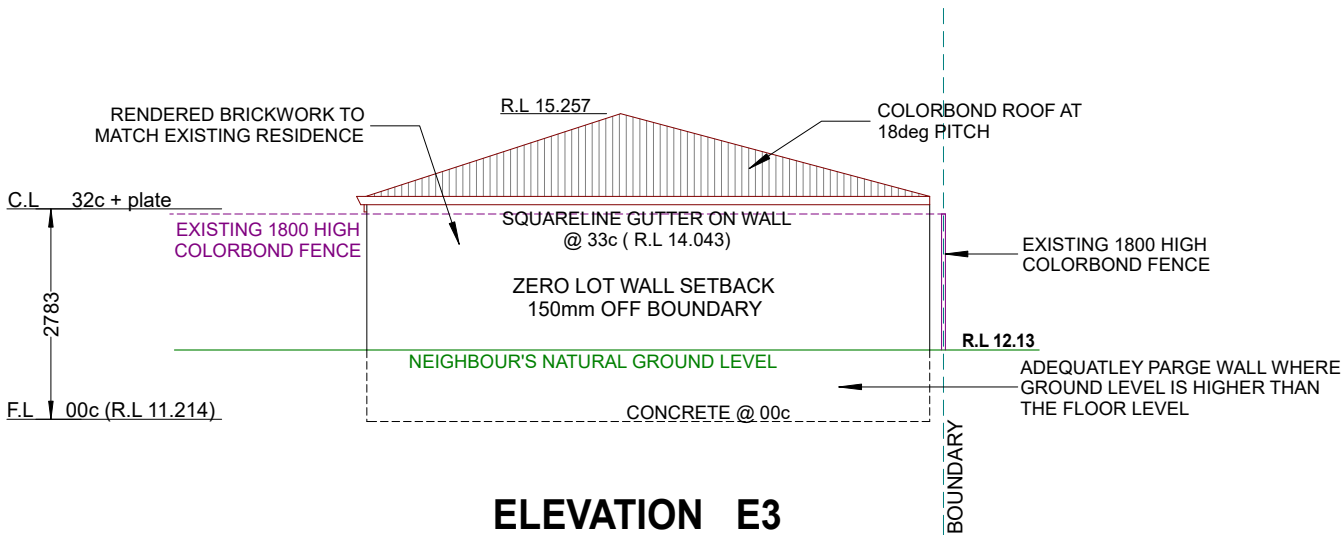
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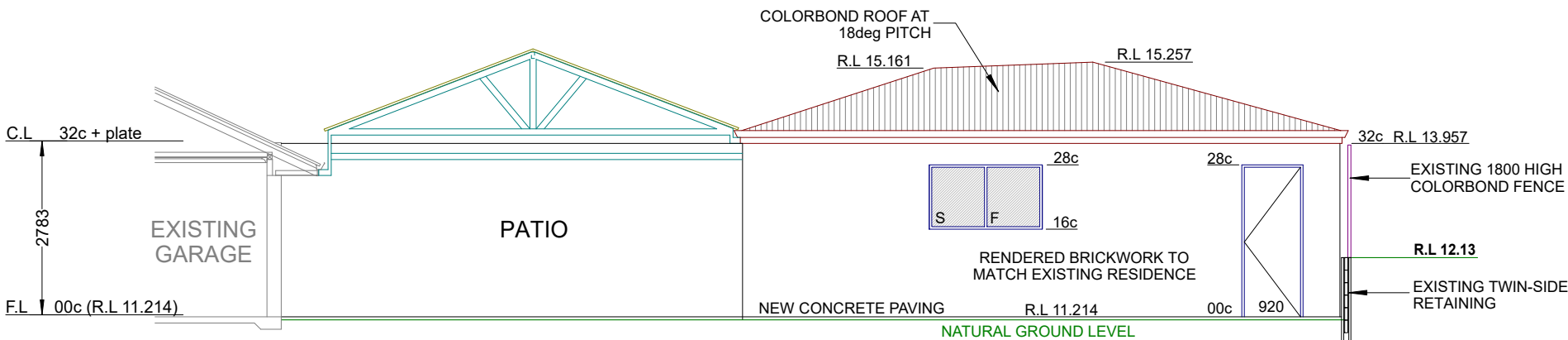
WIND : N1 ROOF : COLORBOND



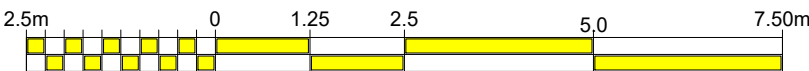
ELEVATION E2



ELEVATION E3



ELEVATION E4



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