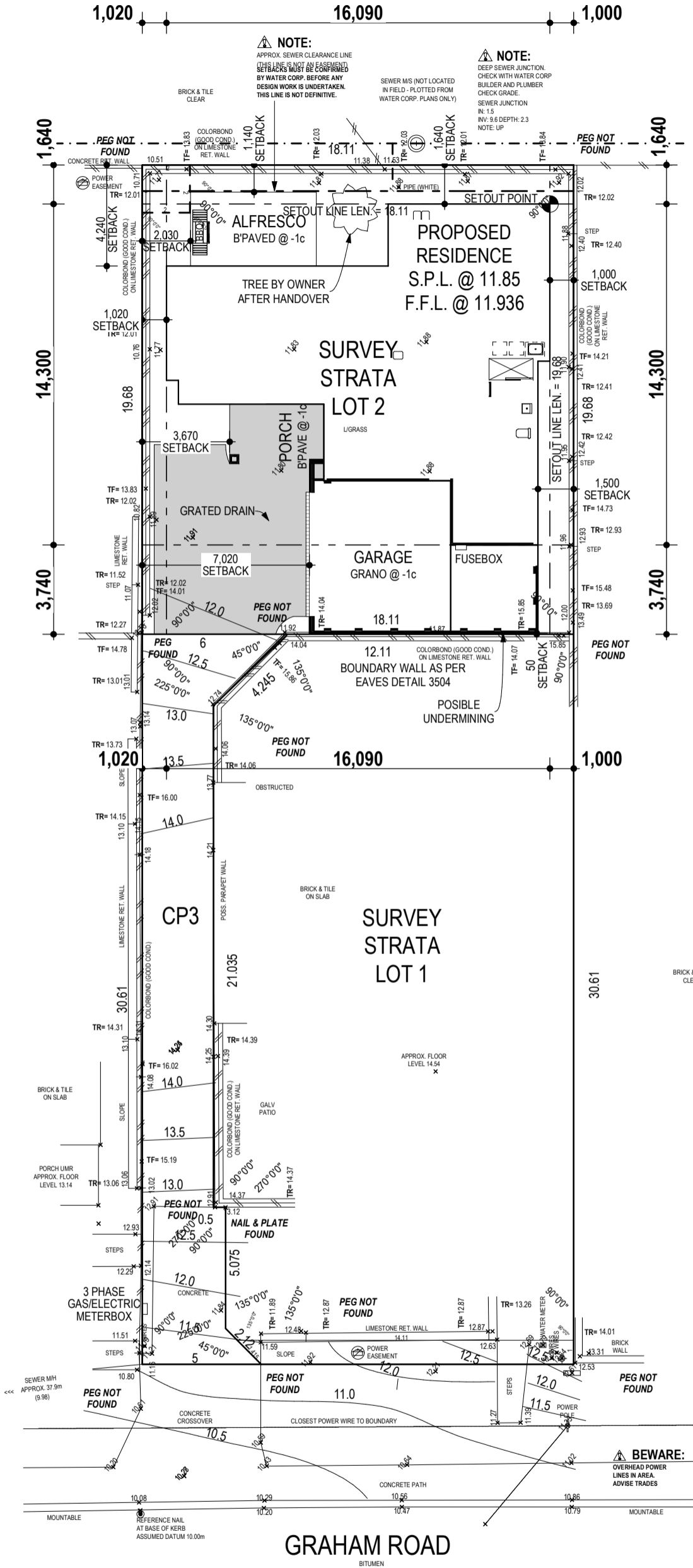
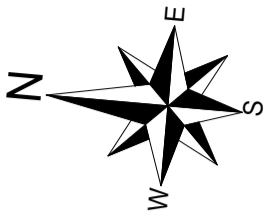


LEGEND		POWER DOME
		POWER POLE
		PHONE PITS
		WATER CONN.
		TOP PILLAR POST
		TOP WALL
		TOP RETAINING
		TOP FENCE



NOTE:
100mm CONCRETE SLAB TO ENGINEERS DETAIL.

NOTE:
PIER & POST FOOTINGS @ -3c

NOTE:

- ALL STORMWATER DISPOSAL TO BE IN ACCORDANCE WITH THE ENGINEER'S STORMWATER DESIGN.
- SOAKWELL LOCATION MAY BE ADJUSTED AT PLUMBERS DISCRETION TO BCA & LOCAL AUTHORITY REQUIREMENTS.
- SOAKWELLS ARE ALLOWED WHICH CAPACITY HAS BEEN CALCULATED IN ACCORDANCE WITH LOCAL AUTHORITY & BCA REQUIREMENTS ALLOWING FOR A 20 YEAR STORM OF A 5 MINUTE DURATION.

NOTE:
SAND PAD LEVEL TOLERANCE +/-40mm TO ACCOMMODATE SITE CONDITIONS AND RESTRICTIONS. WHERE VARIANCE EXISTS IT MUST STILL BE COMPLIANT WITH LOCAL AUTHORITY REQUIREMENTS AND ENSURE SURFACE WATER WILL NOT ENTER THE BUILDING.

SSL 2 MISCLOSE
0.000 m

SSL 1 MISCLOSE
0.003 m

CP3 MISCLOSE
0.003 m

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB #	564546	GPS	Lat: -31.672035 Long: 115.693120
CLIENT	Ryan, Fiona	LOT	Survey Strata Lot 2 (SP 86082)
ADDRESS	#30B Graham Road	AREA	356m ²
SUBURB	Quinns Rocks	VOL.	4045
LGA	CITY OF WANNEROO	FOL.	575
DRAWN	T. Gill	DATE	19 Jan 24
		SSA	No

ROADS	Bitumen
KERBS	Mountable
FOOTPATH	Concrete
SOIL	Sand, L'Stone
DRAINAGE	Good
VEGETATION	Light Grass Cover

ELEC.	U/Ground / O/Head
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	300m To Ocean

(Approximate Only
Confirm With Shire)

NOTE:
230 CAVITY RENDERED BRICKWORK AS SHOWN
ON FLOOR PLAN WITH 230 CAVITY FACE
BRICKWORK LAID 1/3 BOND TO REMAINDER.

CEILING 5864 (68c+ PLATE)

COLORBOND ROOF ON 24°43'0"
(25°) PITCH.

CEILING 3172 (37c)

CEILING 2657 (31c)

F.F.L. 0 (0c)

ELEVATION 1

SCALE 1:100

CEILING 5864 (68c+ PLATE)

CEILING 3172 (37c)

CEILING 2657 (31c)

F.F.L. 0 (0c)

ELEVATION 2

SCALE 1:100

CEILING 5864 (68c+ PLATE)

CEILING 3172 (37c)

CEILING 2657 (31c)

F.F.L. 0 (0c)

ELEVATION 3

SCALE 1:100

CEILING 5864 (68c+ PLATE)

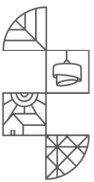
CEILING 3172 (37c)

CEILING 2657 (31c)

F.F.L. 0 (0c)

ELEVATION 4

SCALE 1:100



FENGJING MA
BUILDING DESIGNER

ABN: 65 727 349 693
0431 060 435
MAFENGJING@HOTMAIL.COM

PROJECT NAME

CLIENT

SITE

PROPOSED DOUBLE STOREY DWELLING

RYAN

#30B GRAHAM ROAD,
QUINNS ROCKS

JOB NO. 2128

REVISION R2

DATE 04/04/2024

SCALE 1:100

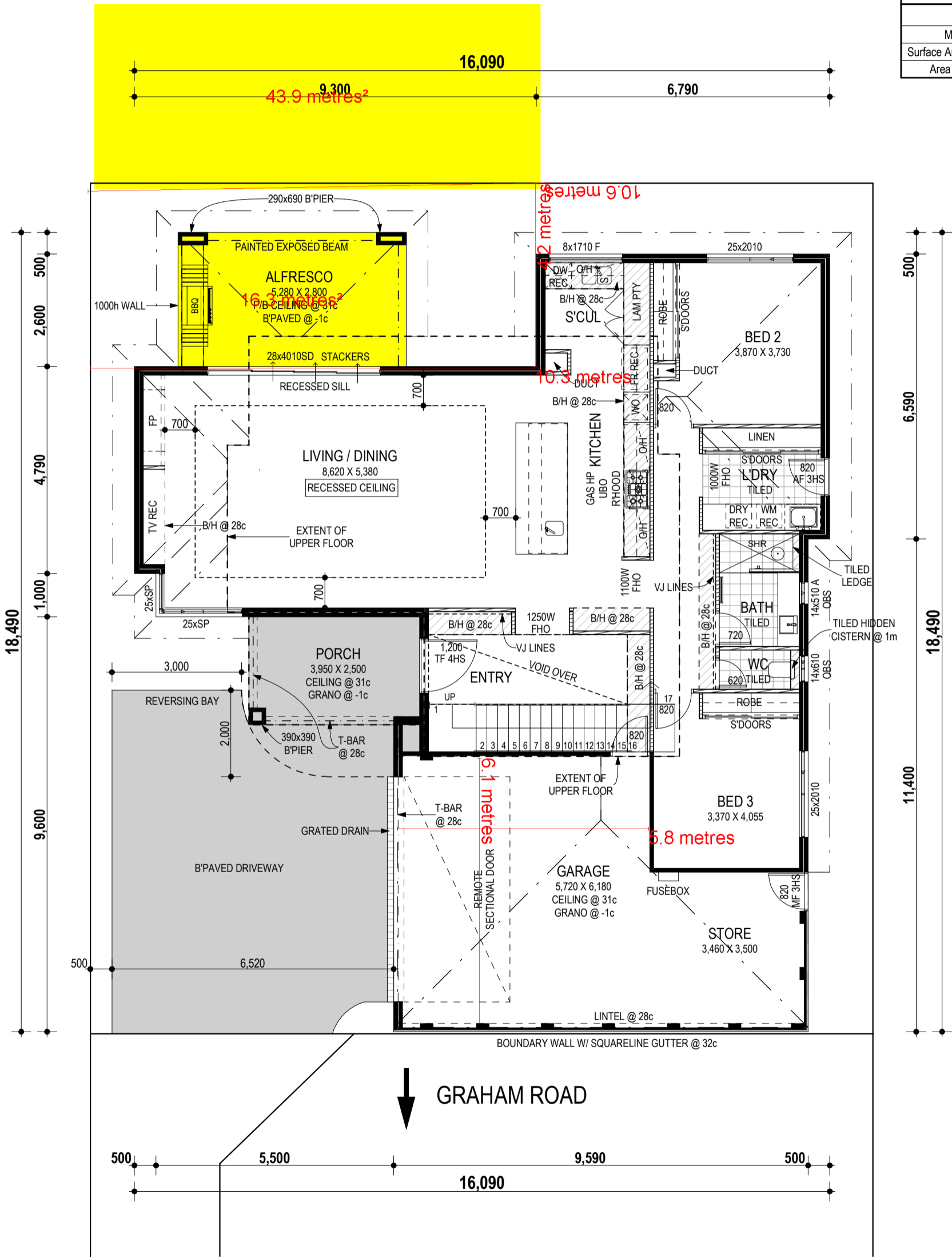
DRAWING

ELEVATIONS

DRAWING NO.

4

AREAS:		
	PERIM. (m)	AREA (m2)
HOUSE (GROUND)	60.78	148.20
HOUSE (FIRST)	40.36	83.89
GARAGE	25.03	37.95
ALFRESCO	16.76	16.37
STORE	14.71	13.52
BALCONY	13.30	10.54
PORCH	11.46	7.80
		318.27 m ²
ROOF QUANTITIES		
Material Type	Roof Metal	
Surface Area (m2 on the rake)	297.04	
Area [m2 on the flat]	269.22	



ZONING: R20

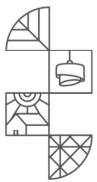
LOT AREA:	356.4m ²
CP AREA:	100.85m ²
TOTAL LOT AREA:	406.825m ²
HOUSE AREA:	209.35m ²
SITE COVER:	51.45%
MAX. ALLOWED:	N/A

NOTE:

PROVIDE REFLUX VALVE TO
SUIT HOBLESS SHOWERS

NOTE:

31c CEILINGS THROUGHOUT UNLESS
NOTED OTHERWISE



FENGJING MA
BUILDING DESIGNER

ABN: 65 727 349 693
0431 060 435
MAFENGJING@HOTMAIL.COM

PROJECT NAME PROPOSED DOUBLE STOREY DWELLING

CLIENT

SITE

RYAN

#30B GRAHAM ROAD,
QUINNS ROCKS

JOB NO. 2128

REVISION R2

DATE 04/04/2024

SCALE 1:100, 1:1

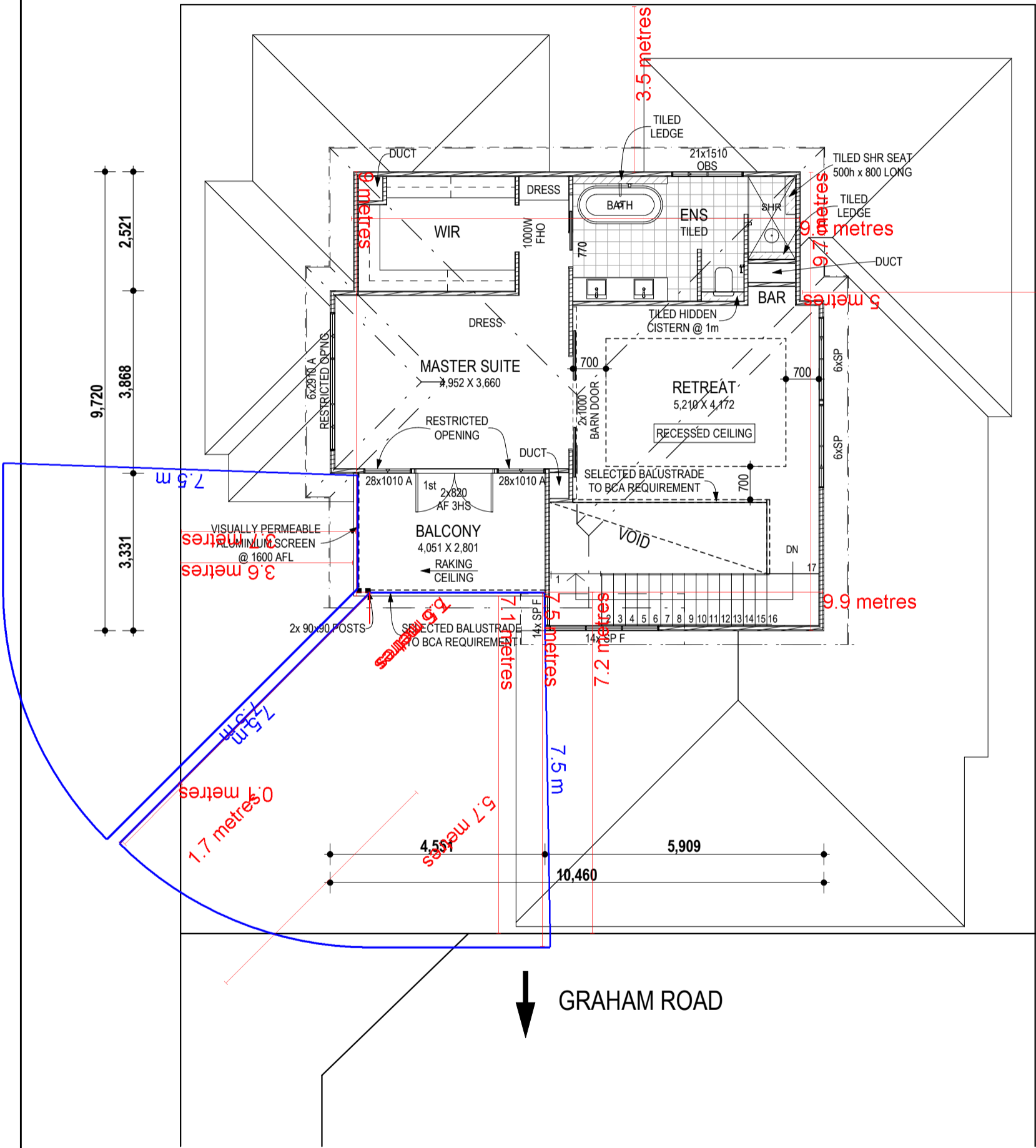
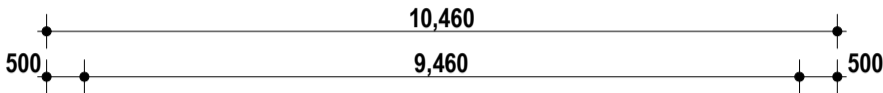
DRAWING

GF PLAN

DRAWING NO.

2

AREAS:		
	PERIM. (m)	AREA (m2)
HOUSE (GROUND)	60.78	148.20
HOUSE (FIRST)	40.36	83.89
GARAGE	25.03	37.95
ALFRESCO	16.76	16.37
STORE	14.71	13.52
BALCONY	13.30	10.54
PORCH	11.46	7.80
		318.27 m²
ROOF QUANTITIES		
Material Type	Roof Metal	
Surface Area (m2 on the rake)	297.04	
Area [m2 on the flat]	269.22	



ZONING: RMD25

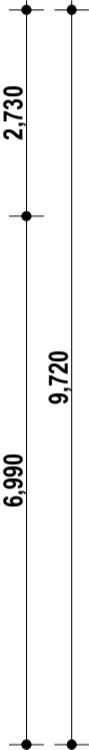
LOT AREA:	450m²
HOUSE AREA:	260.49m²
SITE COVER:	57.8%
MAX. ALLOWED:	N/A

NOTE:

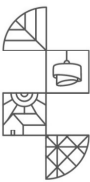
PROVIDE REFLUX VALVE TO SUIT HOBLESS SHOWERS

NOTE:

31c CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE



GRAHAM ROAD



FENGJING MA
BUILDING DESIGNER

ABN: 65 727 349 693
0431 060 435
MAFENGJING@HOTMAIL.COM

PROJECT NAME

CLIENT

SITE

PROPOSED DOUBLE STOREY DWELLING

RYAN

#30B GRAHAM ROAD,
QUINNS ROCKS

JOB NO. 2128

REVISION R2

DATE 04/04/2024

SCALE 1:100, 1:1

DRAWING

FF PLAN

DRAWING NO.

3