

SUPERVISOR NOTE	
SHEET 1 OF 6 DRGS	
ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH RCA REQUIREMENTS	
CONCRETOR NOTE	
CONDUIT TO BE PLACED IN FOOTING UNDER METER BOX TO CENTRELINE OF CAVITY	
ALL EXTERNAL WALLS TO BE 250mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)	
CONDUIT TO BE INSTALLED IN SLAB TO ALLOW FOR PLUMBING & ELEC REQUIREMENTS TO ISLAND BENCH	
TOP OF FOOTING TO BE @ -8c.87m	
A TO ACCOMMODATE BOY LEVELS	
BRICK LAYER NOTE	
ALL INTERNAL WALLS TO BE 90mm THICK BRICKWORK (UNLESS NOTED OTHERWISE)	
ALL EXTERNAL WALLS TO BE 250mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)	
6mm RODS & 3c OF LONGREACH INDICATED X TO X	
SETOUT ATTACHED PIERS AND ADDITIONAL BRICKWORK TO RETREAT TO ALLOW FOR TERMESH INSTALLATION	
METAL DECK ROOF TO BE ANCHORED DOWN WITH 32mm x 0.8mm GALVANISED STRAPS @ 1200 MAX CENTRES STRAPS TO EXTEND DOWN 15c MINIMUM FULL HEIGHT STRAPS EACH SIDE OF OPENINGS >2.4m. LUGS TO LINTELS @ 1200c OVER OPENINGS	
ATTACHED BRICK PIERS TO HAVE 32x0.8mm GALV. STRAPS FROM FOOTINGS TO TOP OF PIERS	
230 x 350 BRICK PIERS TO HAVE 10mm ROD COGGED FROM TOP OF FOOTING TO TOP OF PIER	
COASTAL ZONE MORTAR RATIOS TO BE	
- 1 PART CEMENT	
(COLOURED IF APPLICABLE)	
- 5c PART LIME	
- 4c PARTS SAND	
FIXING CARPENTER NOTE	
4500mm WIDE SHELF & RAIL	
- 1800mm HIGH TO BED 1	
- 1650mm HIGH TO BEDS 2, 3 & 4	
CL OF RAIL TO BE 250mm OFF WALL	
TOWER RAIL TO BE FIXED 500mm ABOVE RFL	
4x4500mm WIDE SHELVES TO LINENS	
600mm PER PAIR SPACING SEE SHEET 5 FOR SPACINGS	
PROVIDE DISCHARGEABLE OR GASKET PROOF DOOR SEALS TO ENTRY & KITCHEN EXTERNAL TIMBER DOORS	
CEILING FIXER NOTE	
CEILING VENT TO BE INSTALLED TO LAUNDRY	
BOTH CORNICES TO RUN THRU 100mm SLOTTED JOINT	
SLOTTED JOINT BETWEEN AS SHOWN ON PLAN	
ROOF CARPENTER NOTE	
MANHOLE TO BE TRIMMED OUT TO 550mm x 600mm	
ALL EXTERNAL FIXING NAILS MUST BE GALVANIZED AS PER AUSTRALIAN STANDARDS - BARGE BOARD NAILING TO BE COUNTERSUNK	
ROOF CARPENTER TO BOX OUT 450W TO ALLOW FOR RANGEHOOD FLUME WHERE APPLICABLE ONLY	

COASTAL ZONE

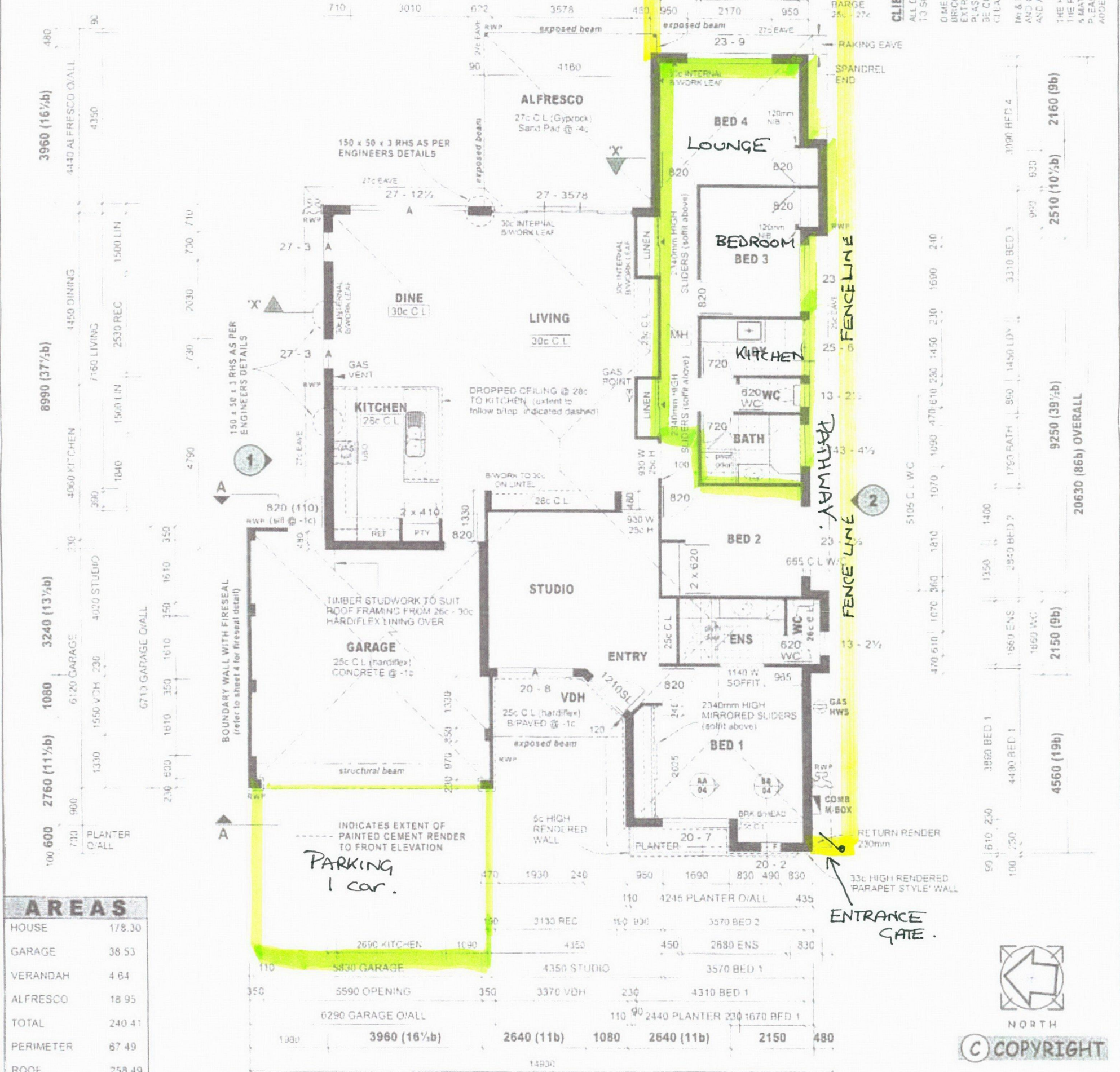
**ROOF PLUMBER NOTE**  
DOWNPIPES MUST BE FIXED WITHIN  
1' JUM OF A VALLEY AS PER THE RCA

**INSULATION NOTE**  
BRADFORD R2.5 BATTS TO  
HOUSE AREA ONLY

### CLIENT NOTE

### ALL DIMENSIONS TAKE PREFERENCE TO SCALE

DIMENSIONS SHOWN ON PLUMBER  
CHECK SIZES. PLEASE ALLOW AN  
EXTRA 10mm TO EACH ALLOW FOR  
PLASTER. THIS ALLOWANCE SHOULD  
BE CONSIDERED WHEN CALCULATING  
TOLERANCES FOR FUTURE FITTINGS.



**FINAL CONTRACT DRAWINGS - NO FURTHER STRUCTURAL CHANGES TO BE MADE**



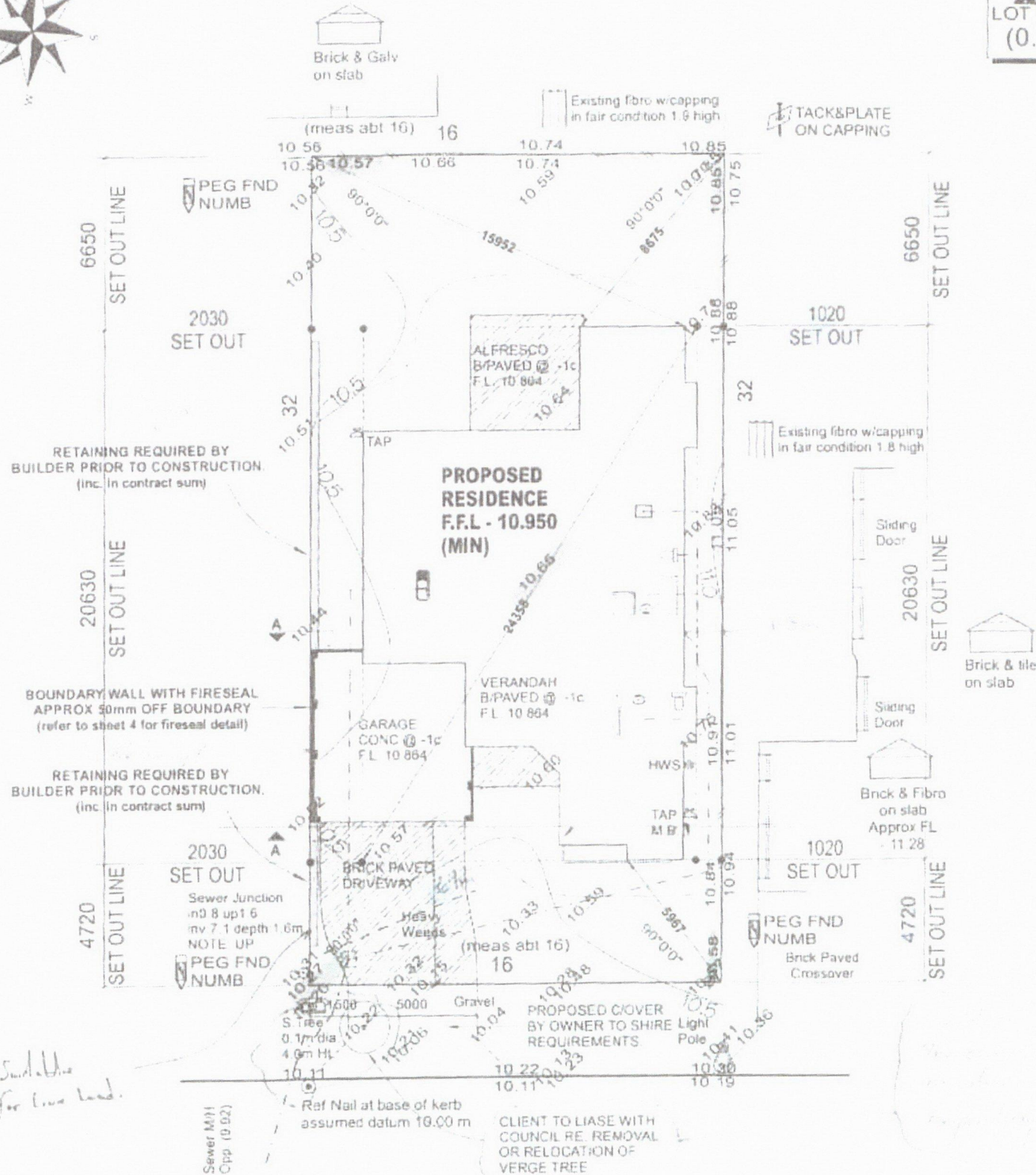
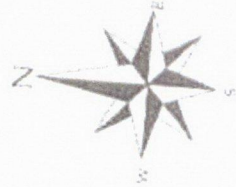
LOT 24

NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

### SOIL DESCRIPTION

Sandy/L'stone (exposed)  
Light Grass Cover/ Scattered Weeds

NOTE: LOT MISCLOSE (0.000 m)



Small hole for line lead.

St Barnabas Boulevard  
Blumen

Scale 1:200  
Date: 6/10/2006

NOTE: All Sewer details plotted from information supplied by Water Corporation

NOTE: BEWARE - ADVISE TRADES OF overhead power lines

FINAL CONTRACT DRAWINGS NO FURTHER STRUCTURAL CHANGES TO BE MADE

### PLANS AMENDED

SUPERVISOR NOTE  
SHEET 6 OF 6 DRGS

ALL TRADES NOTE  
ENSURE ALL BUILDING MATERIALS & RUBBISH ARE KEPT AWAY FROM SEWER INSPECTION OPENING AT ALL TIMES

TITLE NOT CHECKED

TERMIMESH

1800mm HIGH FENCE (SCREEN) TO SIDE AND REAR BOUNDARIES. REFER TO CONTRACT ALLOWANCES

BRICKPAVING NOTE  
BRICKPAVING AS PER ACCORDIA

90mm PVC PIPE TO BE PLACED IN THE CENTER OF THE DRIVEWAY BETWEEN THE GARAGE / BOUNDARY (NOT VERGE) APPROX. 300mm DEEP

CLIENT NOTE  
NEW RETAINING WALLS SHOWN AS INDICATION ONLY SUBJECT TO FINISHED SITEWORKS LEVELS

SERVICES NOTE  
GAS NOT AVAILABLE AT PRELIMINARY DRAWING STAGE

### EARTHWORKS NOTE

REFER TO STRUCTURE REPORT FOR SITEWORKS INFORMATION

### CONCRETOR NOTE

CONDUIT TO BE PLACED IN FOOTING UNDER METER BOX TO CENTRELINE OF CAVITY

ALL EXTERNAL WALLS TO BE 250mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)

CONDUIT TO BE INSTALLED IN SLAB TO ALLOW FOR PLUMBING AND ELECTRICAL REQUIREMENTS TO ISLAND BENCH

TOP OF FOOTING TO BE AT +6 BETWEEN A-A TO ACCOMMODATE BOUNDARY LEVELS

COTTAGE & ENGINEERING SURVEYS

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Licensed Surveyors J/N: 159510

Drawn: T. Polinez

NOTE: EARTHWORKS, RETAINING WALLS, DRIVEWAY DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC REPRESENTATION. DESIGN MINIMUM CLEARANCES, SETBACKS, ETC. WILL BE DETERMINED IN CONTRACT. REBARS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS.



34 St Barnabas Blvd  
Quinns Rocks  
WA6030

## **1.0 INTRODUCTION**

This short-term management plan seeks to register and gain change of use approval of 34 St Barnabas Blvd, Quinns Rocks, in accordance with Wanneroo Local Planning Policy Short Term Accommodation.

As owners of the property, we will cohabit part of the property as shown in the attached plan. We will establish an acceptable standard of behaviour for guests and have policies in place with our accommodation providers so to minimise any adverse impact to our neighbours, surrounding residences and the City of Wanneroo.

Guests will book the accommodation with recognised short-term providers such as AirBNB, Booking.com and Stayz. Bookings are accepted for a maximum of 2 adults and 1 infant. A minimum of 2 days and maximum of 28 days.

## **2.0 CHECK-IN**

When booking guests will be aware of the rules and policies that are in place with the said booking providers.

Check-in is between 2.00pm and 8.00pm with a quiet period after 10.00pm.

## **3.0 CHECK-OUT**

On the day of departure, check-out is before 10.00am.

## **4.0 COMPLAINTS**

We as owners envisage that complaints will be unlikely, but should they occur as owners we will address the complaint professionally and maintain a register that will be available for inspection by an authorised Council Officer.

## **5.0 USE OF PREMISES**

The property will be rented as a residence for a maximum of 2 Adults and 1 infant. The property consists of 1 x lounge, 1 queen bedroom, kitchen, and bathroom. 1 car space will be provided on the residence driveway.

The premises is available for a minimum of 2 days and a maximum of 28 days.

## **6.0 REGISTER**

All bookings will be made through the 3 booking providers and records can be made available by the owner for inspection by an authorised council officer if required.

## **7.0 MAINTENANCE**

The property will be maintained by the owner to a high standard both inside and out. Any maintenance will be performed in between occupancies. Any urgent repairs will be required they will be carried out with the blessing of the guest in residence at the time. Should any issues arise that requires the engagement of a professional tradesman this will be done during normal business hours so not to disturb neighbours.

## **8.00 GUEST GUIDE**

Information will be available on the premises to assist guests with navigating their stay and enjoying the surrounding area.

## **9.00 CODE OF CONDUCT FOR GUESTS**

As owners, we will provide a code of conduct guide in the property, so guests understand and comply with specific behaviour governing their permission to enter the premises and occupy the property during their booked period.

The code will be displayed in a place within the property where the guest can easily view the code.

## **10.00 GENERAL PRINCIPLES FOR RESIDING GUESTS**

- Respect the property as you would your own home.
- Be mindful of neighbours and indeed the owners.
- Leave the property in the condition as it was upon occupation.
- Guests must not create noise which is offensive to neighbours or the owners especially between 10.00pm and 7.00am on weekdays or weekends.
- Offensive noise is prohibited and may result in termination of permission to occupy the property, eviction, and loss of rental paid.
- Guests must not engage in any anti-social behaviour and minimise the impact upon the residential area and neighbourhood.
- No visitors are permitted to stay overnight other than those who are booked to stay at the property. Visitors are allowed up to a maximum of 2 people, no gatherings are permitted.
- Parking is available on the main house driveway for 1 car. If guests travel in 2 cars, please make the owner aware so an additional parking space can be made available.
- Rubbish is to be deposited in the household waste bins. Red for general waste, Yellow for recycling. These bins are emptied on a Tuesday at approximately 7.00am. We will place the bins on the verge on Monday nights. It would be appreciated if any waste could be placed in these bins prior to your departure.
- Security is a high priority. When in the property please lock outside doors from the inside and naturally when absent from the property ensure all windows are closed and doors are locked.
- Security cameras are installed at the front of the house and the main entrance gate. These cameras record, and store footage for 14 days then auto deleted. No cameras whatsoever are fitted within the property, the garden or the pathway inside the entrance gate.
- Smoking is not permitted within the residence.
- Pets are not permitted to be in the residence.
- The BBQ should be cleaned after each use and all controls turned off.
- Any damage or breakages must be reported to the owners.
- When away from the property it would be appreciated if all lights, fires and air-conditioning units are turn off.