



City of
Wanneroo

ATTACHMENTS

ELECTED MEMBERS' BRIEFING SESSION

to be held at
the Civic Centre,
Dundebar Rd, Wanneroo
on 08 September, 2015 commencing at 6.00PM

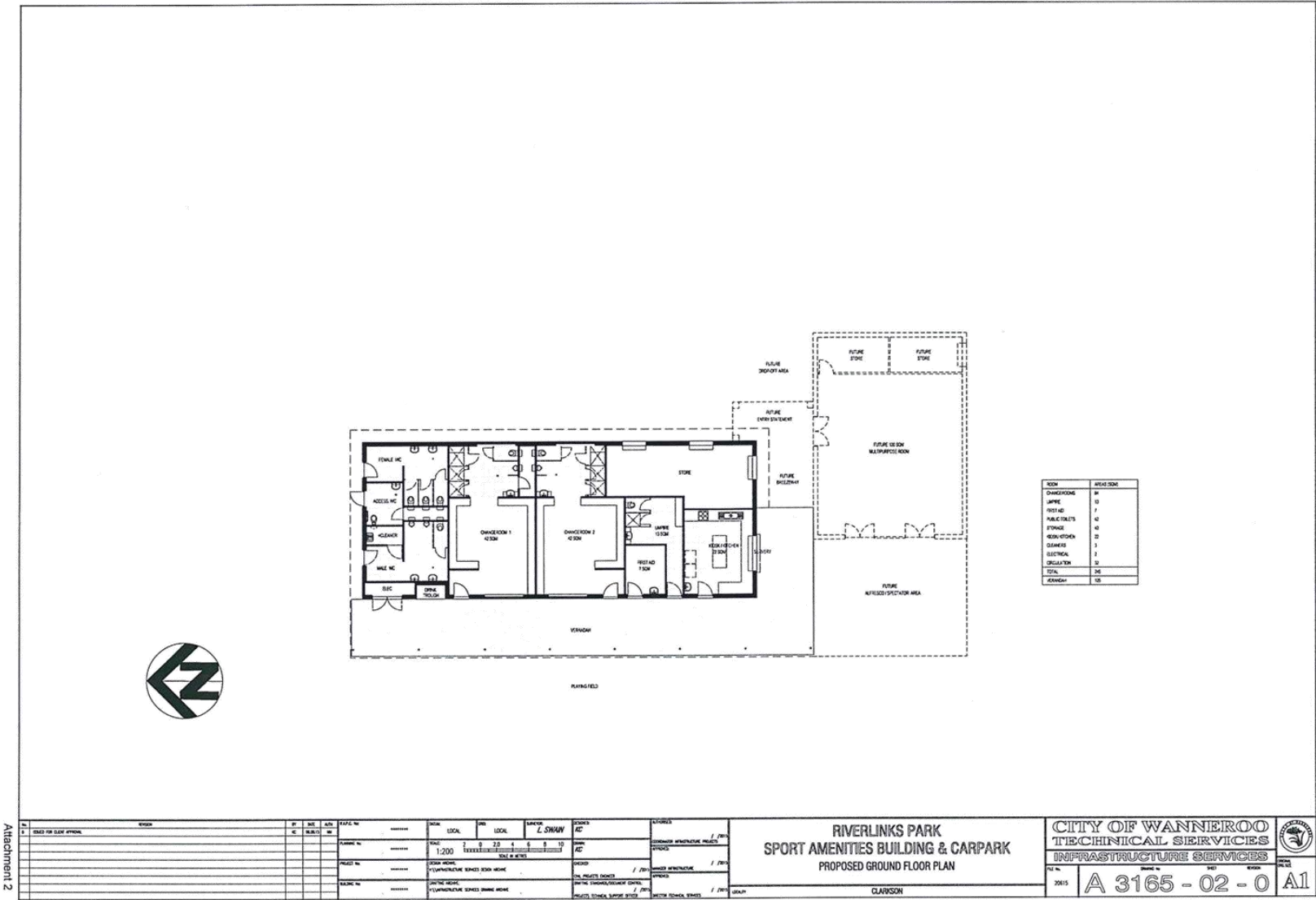
3 GOVERNANCE AND LEGAL

3.22 Donations to be Considered by Council - September 2015

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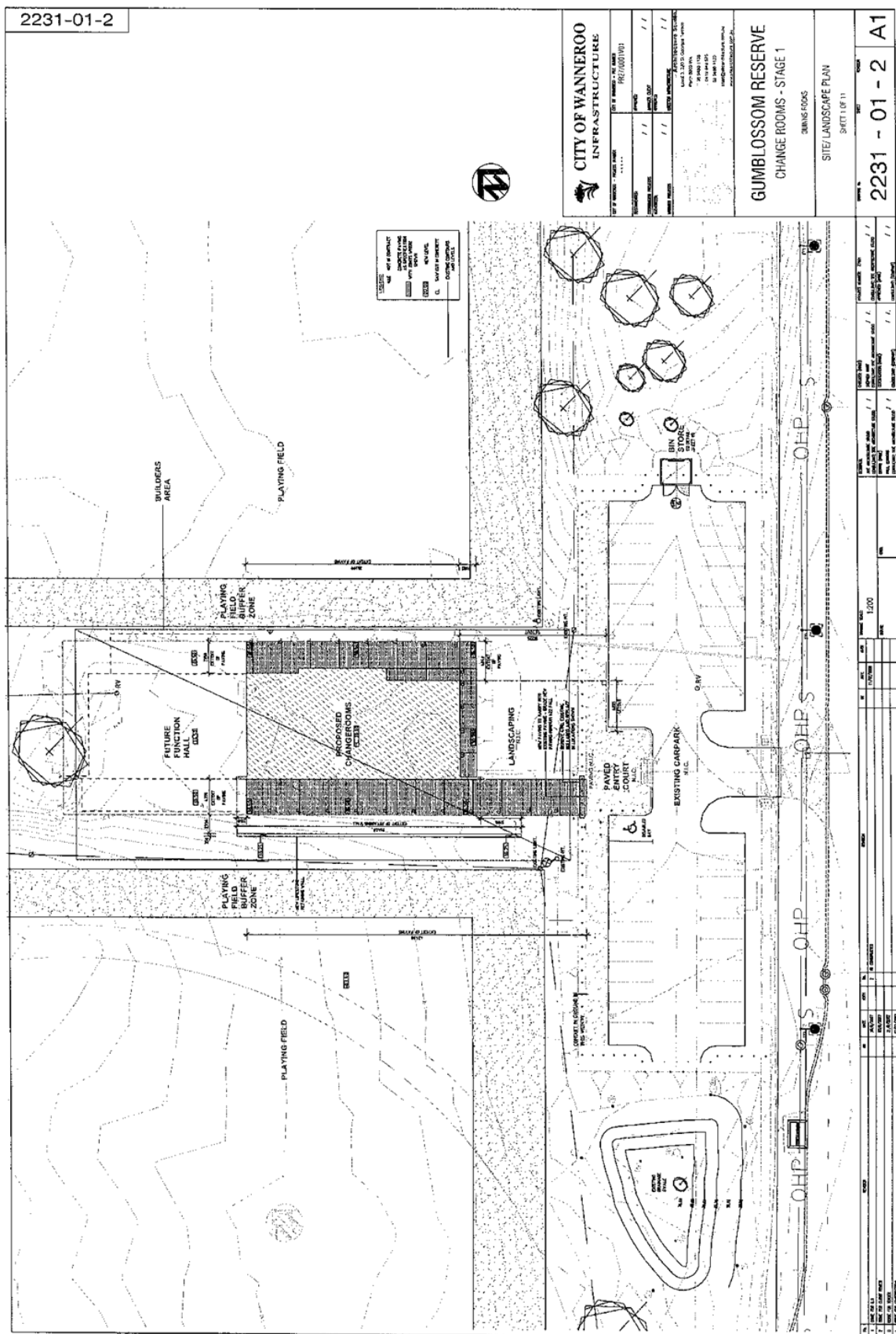
Attachment 1



PRELIMINARY ESTIMATE INFRASTRUCTURE PROJECTS BUILDING PROJECTS				
PROJECT (PR-2961): RIVERLINKS SPORTS AMENITIES BUILDING AND CAR PARK		PREPARED BY: PROJECT OFFICER BUILDING		Signature / Date /2015
Proposed Construction Start Date: 2016/17		File Ref (TRIM): 15/203619		
Site Inspection Date: : N/A		Document Revision : 2		
Item	Quantity, m ²	Rate (\$/m ²)	Total	Notes
Demolition and Removals			\$5,000.00	Estimated Allowance Only
Carpark	52	\$3,200.00	\$166,400.00	Rate per car bay
External Services Allowance (i.e. Provisional)			\$75,000.00	Estimated Allowance Only
Total External Works			\$246,400.00	
New Building	244.95	\$2,750.00	\$673,612.50	Rate Estimates, Rawlinsons 2014 + 2%
Verandah, Spectator Area	125	\$500.00	\$62,500.00	Rate Estimates, Rawlinsons 2014 + 2%
Total Building Works			\$736,112.50	
Total Construction Cost			\$982,512.50	
Cost Escalation		2.5%	\$24,562.81	One Year
SUB-TOTAL			\$1,007,075.31	
Consultancy Services		10.0%	\$100,707.53	
Energy Efficiency and ESD Initiatives		5.0%	\$50,353.77	
Artworks		0.0%	\$0.00	No artwork requested
Furniture - Outdoor			\$0.00	Not allowed for
Temporary Facilities Hire/Purchase			\$0.00	Not allowed for
SUB-TOTAL			\$1,158,136.61	
Construction Signage			\$3,000.00	
CONTINGENCY		25.0%	\$289,534.15	
CoW DESIGN FEES (if Concept design is done in-house)		3.0%	\$30,212.26	
CoW PROJECT MANAGEMENT FEE (3% of Budget)		3.0%	\$34,744.10	
PROJECT TYPE:	NEW <input checked="" type="checkbox"/> RENEW <input type="checkbox"/> UPGRADE <input type="checkbox"/>			
GRAND TOTAL			\$1,515,627.12	
BUDGET ALLOCATION			\$1,527,000.00	
COMMENTS:				
1. This estimate is a Rough Order of Magnitude estimate prepared for budget purpose and is only to assist with high-level decision making on envisaged projects. This estimate carries an accuracy of -25% to +25%. Cost estimation for construction purpose requires detailed design, resources, and time, along with appropriate "design" budget.				
2. The total project figure may not be the total commitment figure. Client should consider all other possible relevant project costs such as the items not allowed for in this table and other non-building costs such as costs related to land purchasing/acquisition, public consultation, etc.				
ENDORSED BY: COORDINATOR BUILDING PROJECTS				Signature / Date /2015
CITY OF WANNEROO				Temp 14/21316
Functional Brief	No.	Area	Total	
Changerooms	2	42	84	
Umpire	1	10	10	
First Aid	1	10	10	
Public toilets	1	42	42	
Storage	2	16	40	
Kiosk/Kitchen	1	22	22	
Cleaners Room	1	3	3	
Electrical Switchboard	1	2	2	
No Requirement for Multipurpose room and store				
Subtotal			213	
Circulation		15%	31.95	
Sub-Total			244.95	
Verandah			125	
Total Footprint			369.95	



Attachment 4



Attachment 5

PRELIMINARY ESTIMATE INFRASTRUCTURE PROJECTS BUILDING PROJECTS				
PROJECT (PR-3090): Gumblossom Reserve Multi Purpose Room Extension CONSTRUCTION START DATE : 2015/16		Signature/Date		
SITE INSPECTION DATE: - July 2015 File Ref (TRIM): 15/184893		GUMBLOSSOM MULTI PURPOSE ROOM EXTENSION VERSION 1 (NO NEW STORE)		
		Project Manager: King Cheong		
		Coordinator Building Projects: Mike Movaffaghi		
		Manager Infrastructure Projects: Jim Duff		
		Revision 2.0		
Item	Quantity	Rate	Total	Note
Demolition and Removals			\$7,000.00	Provisional Sum for removal of existing building parts, and reinstatement works to affected site and areas.
Site works			\$10,000.00	Provisional Sum for general site works, retaining walls and services connections
Site signboard				Required if utilise Grant money
Total External Works			\$17,000.00	
New extension	100	2350	\$235,000.00	New multi-purpose room. Based on Oldham Park construction tender
Verandah	22	500	\$11,000.00	
Total Building Works			\$246,000.00	
Total Construction Cost			\$263,000.00	
Cost Escalation		0%	\$0.00	Construction in 2015/16
SUB-TOTAL			\$263,000.00	
Consultancy Services		10%	\$26,300.00	
Energy Efficiency and ESD Initiatives		0%	\$0.00	
Artworks		0%	\$0.00	N/A
Furniture - Indoor			\$0.00	Not allowed
Furniture - Outdoor			\$0.00	Not allowed
Temporary Facilities Hire/Purchase			\$0.00	Not allowed
SUB-TOTAL			\$289,300.00	
CONTINGENCY		25%	\$72,325.00	
DESIGN FEES 3% of Total Construction Cost			\$0.00	
SUB-TOTAL			\$361,625.00	
PROJECT MANAGEMENT FEE 3% of Budget		3%	\$10,848.75	
PROJECT TYPE: NEW <input type="checkbox"/> RENEW <input type="checkbox"/> UPGRADE <input checked="" type="checkbox"/>				
TOTAL			\$372,473.75	
BUDGET REQUIRED - without CSRFF			\$373,000.00	
TOTAL BUDGET REQUIRED - with CSRFF			\$373,000.00	
COMMENTS: <p>1- This estimate is a Rough Order of Magnitude estimate prepared for budget purpose and is only to assist with high-level decision making on envisaged projects. This estimate carries an accuracy of -25% to +25%. Cost estimation for construction purpose requires detailed design, resources, and time, along with appropriate "design" budget.</p> <p>2-The total project figure may not be the total commitment figure. Client should consider all other possible relevant project costs such as the items not allowed for in this table and other non-building costs such as costs related to land purchasing/acquisition, public consultation, etc.</p>				
APPROVED ACTING DIRECTOR INFRASTRUCTURE:			DATE:	
CITY OF WANNEROO			TRIM 15/184893	



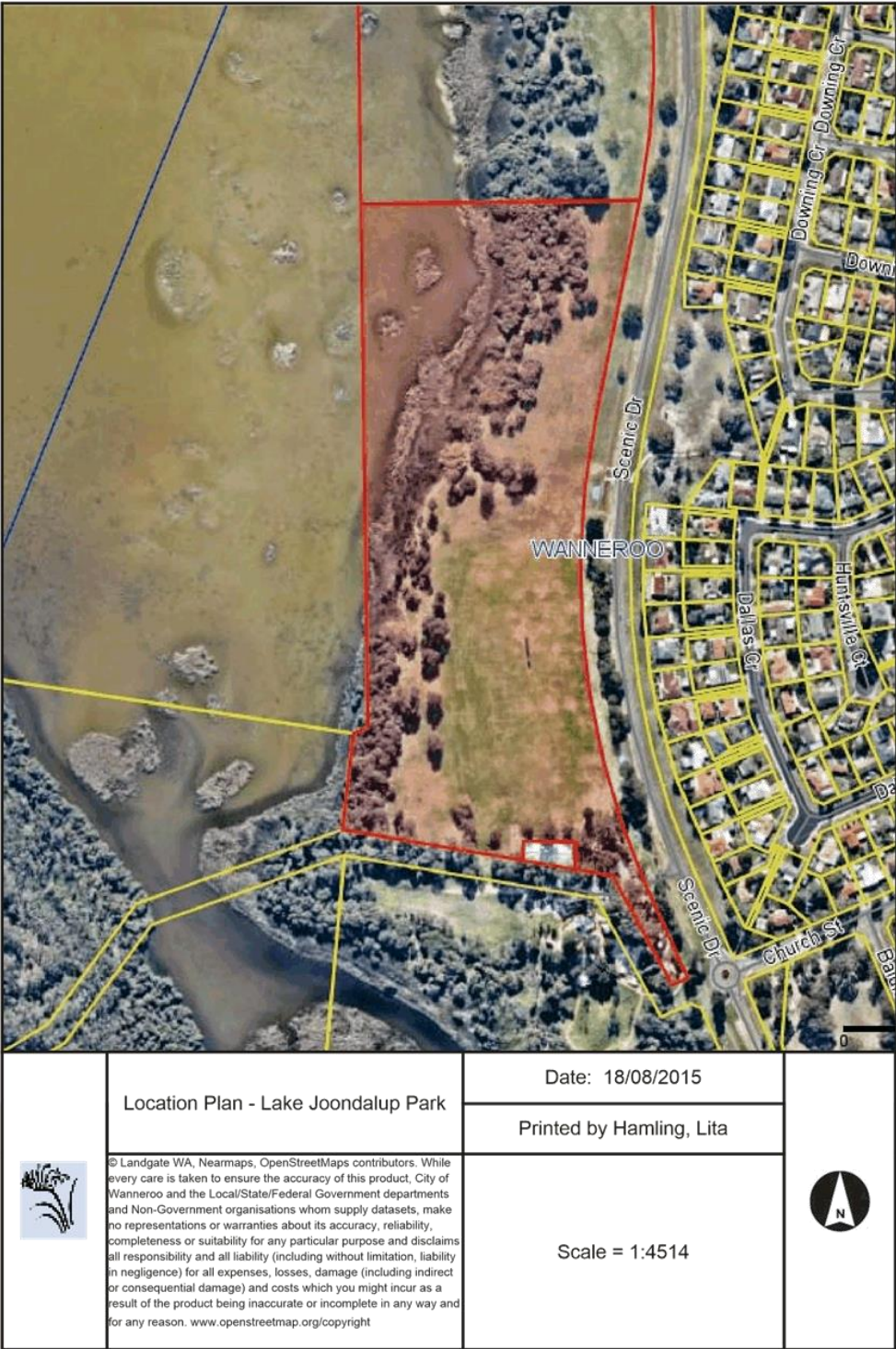
Attachment 7

Shellock Park Floodlighting Proposed Costings

PROJECT BUDGET

Project Description (detailed breakdown of project to be supplied)	\$ Cost ex GST	\$ Cost inc GST	Quote Used (list company name and quote no)
Preliminaries and Setting up	\$4,500	\$4,950	Previous Project Costs from Houghton Park and Oldham Park
New site main switch board	\$16,000	\$16,160	Previous Project Costs
New consumer mains	\$1,900	\$2,090	Previous Project Costs
New Sub mains to existing bore pump switchboard	\$1,600	\$1,760	Previous Project Costs
Sub circuit cabling to the floodlighting	\$18,000	\$18,180	Previous Project Costs
Lighting control and installation	\$6,400	\$7,040	Previous Project Costs
Underground conduits, trenching and pit system	\$20,100	\$22,110	Previous Project Costs
Trenching and backfilling and returfing and making good	2,900	\$3,190	Previous Project Costs
Floodlight poles foundation installation and disposal excavation soil	\$27,000	\$27,270	Previous Project Costs
Floodlights supply and installation	\$90,000	\$99,000	Previous Project Costs
Accessories and outlets and master keying	\$4,000	\$4,400	Previous Project Costs
Commissioning testing and aiming of floodlights (during the hours of darkness	\$9,000	\$9,900	Previous Project Costs
Maintenance /12 month defect and Maintenance Period	\$7,000	\$7,700	Previous Project Costs
As constructed drawings and operational Manuals	\$2,000	\$2,200	Previous Project Costs
Provisional Sum	\$600	\$660	Previous Project Costs
Project Signage	\$3000	\$3000	Allow \$3,000 ex GST if your project exceeds \$250,000
Sub Total	\$213,000	\$229,610	
Cost escalation	\$52,500	\$52,500	25% escalation advised by Wood and Grieve Engineers. 25% covers builder's margin, builders work, contingency and any price rises.
a) Total project expenditure	\$265,500	\$282,110	

Attachment 8



Attachment 9

15/24177



CITY OF WANNEROO ACTIVE RESERVES

LAKE JOONDALUP PARK

COST PLAN No. 1

MASTER PLAN ESTIMATE REV 0

FOR

CITY OF WANNEROO

16-Jan-15

**Ralph Beattie Bosworth
Construction Cost Consultants**

Ralph & Beattie Bosworth Pty Ltd as trustee for the Ralph & Beattie
Unit Trust No. 2 ABN 58 260 502 981

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Telephone 08 9321 2777 Facsimile 08 9481 1783
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Attachment 10

CITY OF WANNEROO ACTIVE RESERVES
LAKE JOONDALUP PARK
COST PLAN No. 1
MASTER PLAN ESTIMATE REV 0

**QUALITY MANAGEMENT**

16-Jan-15

Revision	Prepared By	Checked By	Issue Date	Comments
0	Giuseppe Costanzo	Matthew Buss	16-Jan-15	



Lake Joondalup Park, Wanneroo

Ref	Description	Total \$
	WANNEROO ACTIVE RESERVES	
	MASTERPLAN ESTIMATE REV 0	
	Job No: 17441	
	LAKE JOONDALUP PARK	
	MAIN SUMMARY	
XB	Outbuildings and Covered Ways	287,500
XR	Roads, Paths and Paved Areas	53,550
XL	Landscaping and Improvements	109,500
XE	External Electric Light and Power	283,000
PR	Preliminaries	59,450
	Net Project Cost	793,000
	Planning Contingency (5%)	40,000
	Design Contingency (10%)	80,000
	Construction Contingency (5%)	40,000
	Professional Fees (10%)	92,000
	Public art	Excluded
	Client agency costs	Excluded
	Land costs	Excluded
	Gross Project Cost	1,045,000
	Escalation to Tender (12 months)	27,000
	ESTIMATED TOTAL COMMITMENT (excl GST)	1,072,000
	GST	107,200
	ESTIMATED TOTAL COMMITMENT (Incl GST)	1,179,200

Lake Joondalup Park, Wanneroo

Ref	Description	Total \$
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NOTES

- 1 This Cost Plan assumes that the works would be competitively procured
- 2 This Cost Plan has been prepared without specialist consultant design / advice
- 3 Escalation has been allowed for 12 months in accordance with the AIQS Construction Cost Index
- 4 This estimate is based on the recommendation items noted on The City of Wanneroo Active Reserve
- 5 No allowances have been made for the following:
 - Land costs
 - Client agency costs
 - Removal of hazardous material / land remediation
 - Extensive bulk earthworks
 - Provision for subsoil drainage to oval
 - Cultural and heritage requirements



Lake Joondalup Park, Wanneroo

Ref	Description	Unit	Quantity	Rate \$	Sub-Total \$
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Outbuildings and Covered Ways

1	Refurbish existing toilet and changeroom facilities	m2	125	2,300.00	287,500
Sub-Total - Outbuildings and Covered Ways					287,500

Roads, Paths and Paved Areas

2	New 'nose in' car parking alongside Scenic Drive (23 bays) including site clearance, preparation and stormwater drainage	m2	420	85.00	35,700
3	Flush concrete kerbs including saw cutting existing bitumen road for neat junction	m	70	70.00	4,900
4	Concrete semi mountable kerbs	m	90	55.00	4,950
5	Traffic management services during car park construction	Item			8,000
Sub-Total - Roads, Paths and Paved Areas					53,550

Landscaping and Improvements

6	Allowance to upgrade existing irrigation services to oval for new hydrozoning	Item			95,000
7	New cricket wicket to centre of park	Item			12,000
8	Remove existing cricket wicket and make good	Item			2,500
Sub-Total - Landscaping and Improvements					109,500

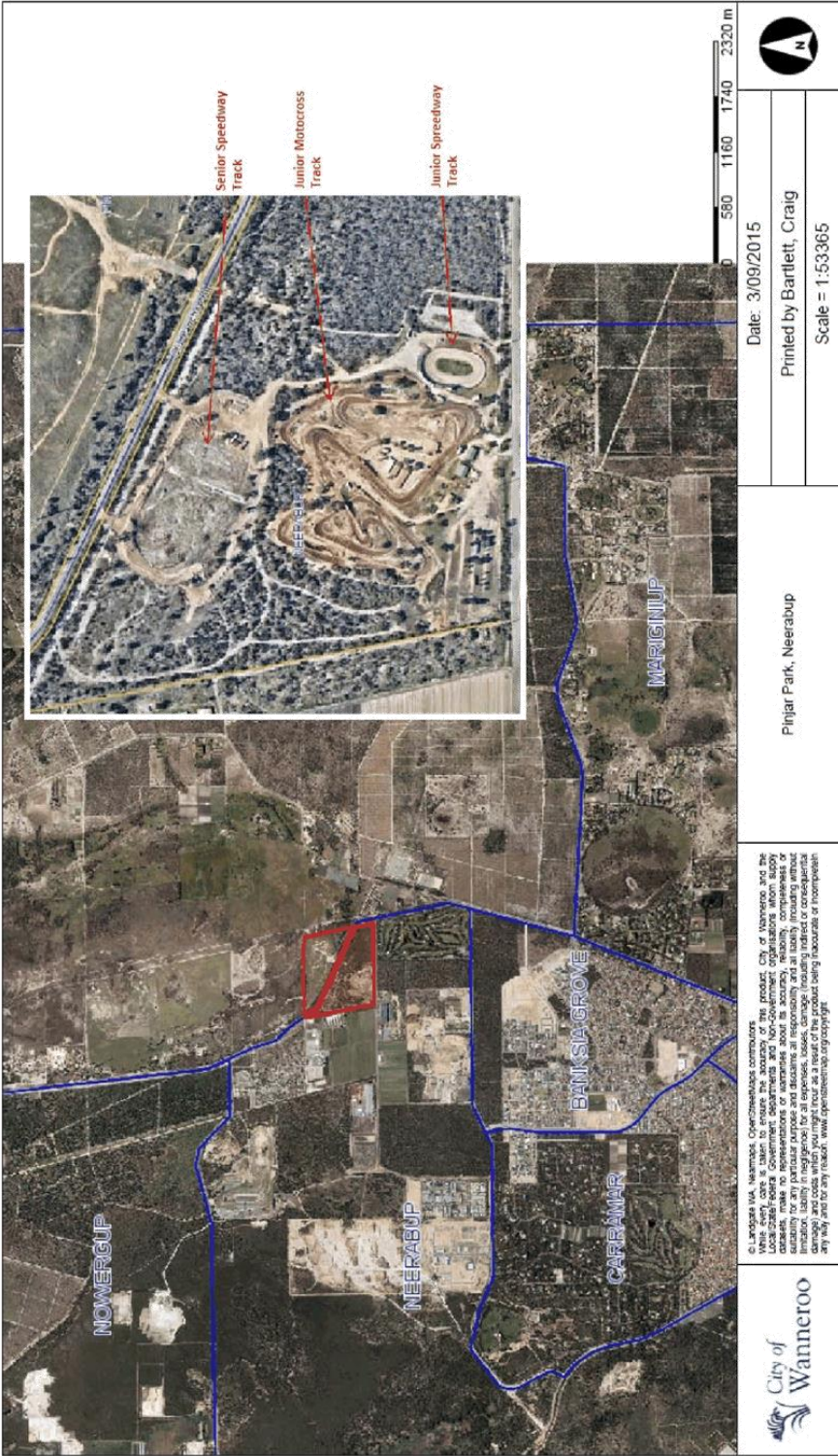
External Electric Light and Power

9	External 50 Lux floodlighting to oval	No	4	50,000.00	200,000
10	Remove existing oval lighting	No	2	1,500.00	3,000
11	Allowance for electrical headworks to service new floodlighting	Item			80,000
Sub-Total - External Electric Light and Power					283,000

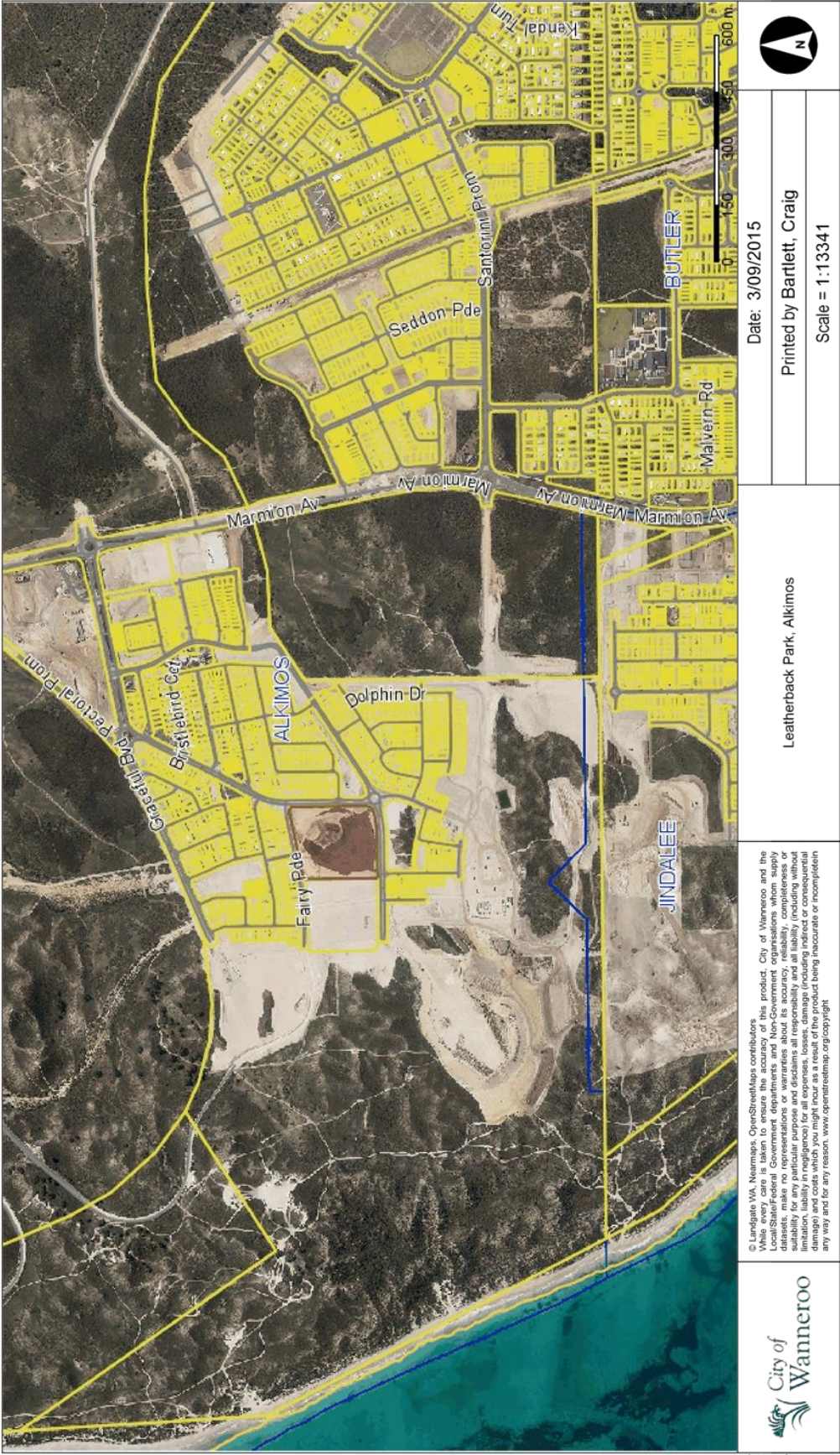
Preliminaries

**Lake Joondalup Park, Wanneroo**

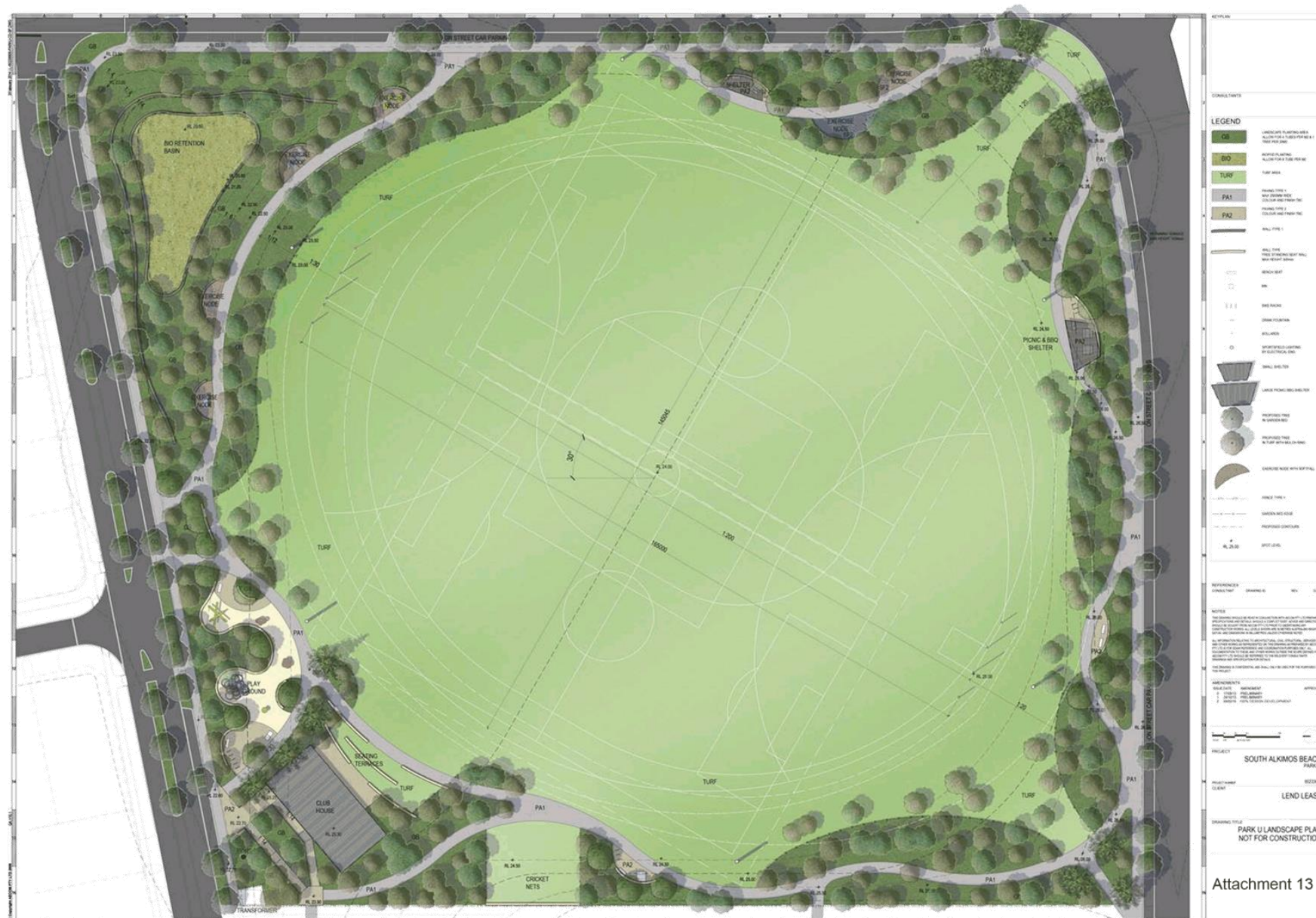
Ref	Description	Unit	Quantity	Rate \$	Sub-Total \$
12	General preliminaries	Item			59,450
Sub-Total - Preliminaries					59,450



Attachment 11



Attachment 12



Attachment 13



AREAS

	DATA	AFL	ACTUAL
TOILETS: M. F. D	-	10, 10, 5	8, 11, 7
STORE ROOM	4 x 20	10-20	3 x 20
CHANGE ROOMS	25	30	30
LOCKERS	20	20	20
IMPRES	20	20	20
FIRST AID ROOM	15	15	15
KITCHEN/KIOSK	25	25	25
MULTI-PURPOSE	100	100	90
ADMIN. OFFICE	-	15	-

REV.	DATE	DESCRIPTION
0	05-09-2015	ISSUED TO LEAD LEASE, TOILET LAYOUT ALTERED

PROJECT
ALKIMOS BEACH SPORTS PAVILION

LEATHERBACK PARK, CRN. PECTORAL PROM. AND FAIRY PARADE,
NIKIMOS

FLOOR PLAN OPTION 4B

ARMSTRONG
PARKIN
ARCHITECTS

SPANNIN ARCHITECTS	DATE: 29.06.2015		DRAWING NUMBER: ALK1_15	DRAWING TITLE: CONCEPT DESIGN
	PROJECT NUMBER:		DRAWING NUMBER: CD10	DRAWING SCALE: 1
	PROJECT NAME:		DRAWING NAME:	DRAWING DATE: 1/200 @ A3
	PROJECT ADDRESS:		DRAWING ADDRESS:	DRAWING AUTHOR:

41 High Street Fremantle
WESTERN AUSTRALIA
T 9403 1389 F 9403 1991
mail@architects.com.au

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AS/NZS 20 029 237 850



COST PLAN No. 1
STAGE 1 - CONCEPT ESTIMATE - REV 3

ALKIMOS BEACH SPORTS PAVILION

FOR



27 August 2015

Ralph Beattie Bosworth
Construction Cost Consultants

Ralph & Beattie Bosworth Pty Ltd as trustee for the Ralph & Beattie
Unit Trust No. 2 ABN 56 200 502 983

12 Kings Park Road West Perth Western Australia 6005
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LEATHERBACK PARK
ALKIMOS BEACH SPORTS PAVILION
COST PLAN No. 1
STAGE 1 - CONCEPT ESTIMATE - REV 3



QUALITY MANAGEMENT

27-Aug-15

Revision	Prepared By	Checked By	Issue Date	Comments
0	Daniel Tang	Matthew Buss	24-Jul-15	
1	Daniel Tang	Matthew Buss	27-Jul-15	
2	Daniel Tang	Matthew Buss	30-Jul-15	
3	Daniel Tang	Matthew Buss	27-Aug-15	

LEATHERBACK PARK
ALKIMOS BEACH SPORTS PAVILION
COST PLAN No. 1
STAGE 1 - CONCEPT ESTIMATE - REV 3



SUMMARY

27-Aug-15

Ref	Scope	Option 4A Rev 3 \$
1	BUILDING FACILITIES	1,063,000.00
2	EXTERNAL WORKS	52,000.00
3	EXTERNAL SERVICES	86,000.00
4	Sub Total	1,201,000.00
5	Locality Index (Perth)	n/a
6	NET PROJECT COST	1,201,000.00
7	Design Contingency	5% 61,000.00
8	Construction Contingency	5% 61,000.00
9	Client Contingency, Relocation Costs and Disbursements	Excluded
10	Headworks & Statutory Charges:	
	Western power - connection to existing transformer	25,000.00
	Water Corp	Excluded - Works completed
	Telstra - requirement for WiFi	10,000.00
	Alinta	Excluded - Assume no gas
11	ITC Equipment	Excluded
12	Audio visual equipment	Excluded
13	Allowance for Art	Excluded
14	Professional Fees and Disbursements	Allowance 140,000.00
15	GROSS PROJECT COST (At current Prices)	1,498,000.00
16	Escalation to Tender	Excluded
17	ESTIMATED TOTAL COMMITMENT	1,498,000.00
18	GST	149,800.00
19	TOTAL	1,647,800.00

OPTIONS

20	Option 1 - masonry cavity wall construction; face brickwork to external skin (feature wall)	m2	180	350.00	63,000.00
21	Option 2 - 0.7BMT profiled colorbond sheeting on stud framing; incl internal linings	m2	180	190.00	34,200.00

BUDGET ALLOWANCES

22	LOOSE FURNITURE AND EQUIPMENT	118,000.00
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LEATHERBACK PARK
 ALKIMOS BEACH SPORTS PAVILION
 COST PLAN No. 1
 STAGE 1 - CONCEPT ESTIMATE - REV 3



SUMMARY

27-Aug-15

Ref	Scope	Option 4A Rev 3 \$
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NOTES

- 22 The estimate is based on the following documentation dated 29 June 2015
 - Armstrong Parkin Architects drawings: CD10 - Floor Plan Option 4, CD11 Rev A - Site Plan, CD12 - Elevation
 - Armstrong Parkin Architects drawings: CD10 - Floor Plan Option 4A Rev 1
 - Armstrong Parkin Architects drawings: CD10 - Floor Plan Option 4A Rev 2
 - Armstrong Parkin Architects drawings: CD10 - Floor Plan Option 4A Rev 3
 - Armstrong Parkin Architects "Concept Design - Scope of Work" dated 14 July 2015
 - Option 1 included for rear wall
- 23 The estimate has been prepared without the benefit of specialist advice from Structural, Hydraulics, Electrical and Mechanical Engineer
- 24 The estimate has made an allowance of 7.5% and 5% for Design and Construction contingencies respectively
- 25 Professional fees have been allowed at 8% of the total construction cost
- 26 The estimate excludes the following:
 - Land Cost
 - Client Costs and Contingencies
 - Art allowances
 - Loose Furniture and Equipment (other than that noted in the estimate)
 - ITC Equipment
 - AV Equipment
 - Escalation to tender
 - Excavation in rock
 - Removal of hazardous materials
- 27 The estimate assumes that works will be competitively tendered
- 28 The estimate assumes that works will occur inside of normal working hours
- Rev 1 Changes
- 29 Correction of bulkhead allowance.
- 30 Inclusion of solar tubes in lieu of a portion of assumed window area.
- Rev 2 Changes
- 31 Delete soffit linings
- 32 External metal framing spandrel panel with Ampelite lining in lieu of cavity brickwork
- 33 Deletion of operable wall
- 34 Change shower tiling to 2100 high in lieu of 2400 high
- 35 Change wall tiling in kiosk to splashbacks only
- 36 Change rooms changed to mono sealed finish in lieu of floor tiling
- 37 Skiting to Multi-Purpose and Hall only
- 38 Deletion of ceiling finishes to external stores
- 39 Additional allowance for entry statement signage
- 40 Commercial kitchen equipments costs captured in "below the line" items
- 41 Additional allowance for ventilation to first aid room
- 42 Deletion of Air-Conditioning throughout in exception of Multi-purpose
- 43 Deletion of fire detection and fire hose reels
- 44 Reduced allowance for external lighting
- 45 Deletion of site preparation as this was advised that it had already been carried out
- 46 Changes in bulk excavation average depth to 1.0m in lieu of 0.5m
- 47 Deletion of external paving to footpaths as this was advised that it is part of the Landscaping Budget
- 48 Deletion of car park as this was advised that it is part of the Landscaping Budget
- 49 Deletion of fencing to car park as this was advised that it is part of the Landscaping Budget
- 50 Deletion of water connection as this was advised that it had already been carried out
- Rev 3 Changes
- 51 Changes in accordance with Armstrong Parkin drawings CD10 - Floor Plan Option 4A Rev 3

LEATHERBACK PARK
ALKIMOS BEACH SPORTS PAVILION
COST PLAN No. 1
STAGE 1 - CONCEPT ESTIMATE - REV 3



OPTION 4A - REV 3

27-Aug-15

Ref	Description	Unit	Qty	Rate (\$)	Sub-Total (\$)	Total (\$)
<u>BUILDING WORKS</u>						
<u>SUBSTRUCTURE</u>						
1	100 thick ground slab	m2	426	45.00	19,170.00	
2	Slab thickening	m	132	55.00	7,260.00	
3	Strip footing; 500 x 300 thick; SF1	m	117	75.00	8,775.00	
4	Pad footings; assume 1200 x 1200	No	36	300.00	10,800.00	46,005.00
<u>COLUMNS</u>						
5	Columns; 100 x 100 x 5.0 SHS; C1	t	2.06	6,700.00	13,802.00	
6	Holding down bolt assemblies	No	36	100.00	3,600.00	17,402.00
<u>UPPER FLOORS</u>						
7	No allowances	Note			n/a	
<u>STAIRCASES</u>						
8	No allowances	Note			n/a	
<u>ROOF</u>						
9	Roof structure; assume 25kg/m2	t	14.00	6,700.00	93,800.00	
10	Roof coverings; Colorbond, Anticon and safety mesh	m2	588	66.00	38,808.00	
11	Polycarb fascia panel	m2	128	110.00	14,080.00	
12	Roof plumbing	m2	588	25.00	14,700.00	
13	Soffit linings				Excluded	
14	Roof vents; allowance	No	2	3,500.00	7,000.00	
15	Solar tubes	No	10	500.00	5,000.00	
16	Roof safety system	Item	1	4,000.00	4,000.00	177,388.00
<u>EXTERNAL WALLS</u>						
17	Masonry cavity walls	m2	316	220.00	69,520.00	
18	Spandrel panel to top of wall; comprising metal stud framing with fibre cement lining	m2	168	165.00	27,720.00	97,240.00
<u>WINDOWS</u>						
19	External glazed screens; function area	m2	36	650.00	23,400.00	
20	Servery window; 2400 x 1500 high; kiosk	No	1	2,340.00	2,340.00	25,740.00
<u>EXTERNAL DOORS</u>						
21	Single external doors	No	6	1,200.00	7,200.00	
22	Double external doors	No	5	1,650.00	8,250.00	
23	External glazed doors	No	2	2,200.00	4,400.00	
24	Gate to umpire area	No	1	1,500.00	1,500.00	21,350.00
<u>INTERNAL WALLS</u>						
25	100 thick walls; stores	m2	56	110.00	6,160.00	
26	100 thick walls; ducts	m2	91	110.00	10,010.00	
27	100 thick walls; generally	m2	291	110.00	32,010.00	
28	Cavity walls	m2	21	110.00	2,310.00	50,490.00

LEATHERBACK PARK
 ALKIMOS BEACH SPORTS PAVILION
 COST PLAN No. 1
 STAGE 1 - CONCEPT ESTIMATE - REV 3



OPTION 4A - REV 3

27-Aug-15

Ref	Description	Unit	Qty	Rate (\$)	Sub-Total (\$)	Total (\$)
<u>INTERNAL SCREENS AND BORROWED LIGHTS</u>						
29	Internal glazed screen			Included with Windows above		
30	Toilet partitions	No	9	1,500.00	13,500.00	
31	Shower partitions	No	10	1,800.00	18,000.00	
32	Servery window; 2500 x 1500 high; kiosk	No	1	2,438.00	2,438.00	33,938.00
<u>INTERNAL DOORS</u>						
33	Internal single door	No	7	1,538.00	10,766.00	
34	Internal double doors	No	1	1,845.00	1,845.00	
35	Internal single door; fire rated	No	1	1,800.00	1,800.00	
36	Operable walls	Note			No allowance	14,411.00
<u>WALL FINISHES</u>						
37	Plaster	m2	1031	35.00	36,085.00	
38	Paint	m2	1094	10.00	10,940.00	
39	Wall tiling; showers 2100 high	m2	38	110.00	4,180.00	
40	Wall vinyl; splashbacks	m2	4	110.00	440.00	
41	Wall tiling; kiosk; splashbacks	m2	7	110.00	770.00	52,415.00
<u>FLOOR FINISHES</u>						
42	Vinyl flooring	m2	75	75.00	5,625.00	
43	Carpet floor finish; Multi-purpose only	m2	90	45.00	4,050.00	
44	Floor tilings	m2	85	120.00	10,200.00	
45	Concrete sealer; external stores, change rooms	m2	176	26.00	4,576.00	
46	Entrance mats	No	4	769.00	3,076.00	
47	Skirting; allowance	Item	1	3,000.00	3,000.00	30,527.00
<u>CEILING FINISHES</u>						
48	Suspended ceiling; acoustic	m2	113	120.00	13,560.00	
49	Suspended ceiling; MR plasterboard	m2	189	105.00	19,845.00	
50	Allowance for bulkheads	Item	1	10,000.00	10,000.00	
51	Access hatches; allowance	No	10	256.00	2,560.00	45,965.00
<u>FITMENTS</u>						
52	Fitments; M and F ablutions; toilet roll holder, mirrors, soap dispensers, etc	No	2	2,500.00	5,000.00	
53	Fitments; UAT; toilet roll holder, mirrors, soap dispensers, etc	No	1	2,000.00	2,000.00	
54	Fitments; umpire; toilet roll holder, mirrors, soap dispensers, etc	No	1	1,500.00	1,500.00	
55	Fitments; 1st Aid; allowance	Item	1	3,500.00	3,500.00	
56	Bench seating; changing	m	29	450.00	13,050.00	
57	Coat hook rail; changing	m	29	150.00	4,350.00	
58	Baby change table	No	1	750.00	750.00	
59	General notice boards, pinboards, etc; allowance	Item	1	3,000.00	3,000.00	
60	Signage; allowance	Item	1	3,000.00	3,000.00	36,150.00
<u>SPECIAL EQUIPMENT</u>						
61	Stainless steel benching; kitchen	m	12	1,100.00	13,200.00	
62	Cooker; commercial	No	1	10,000.00	10,000.00	
63	Shelving; allowance	m	12	450.00	5,400.00	
64	Island unit; 1200 x 1200	No	1	1,845.00	1,845.00	30,445.00

LEATHERBACK PARK
 ALKIMOS BEACH SPORTS PAVILION
 COST PLAN No. 1
 STAGE 1 - CONCEPT ESTIMATE - REV 3



OPTION 4A - REV 3

27-Aug-15

Ref	Description	Unit	Qty	Rate (\$)	Sub-Total (\$)	Total (\$)
<u>SANITARY FIXTURES</u>						
65	WC and cistern	No	9	1,100.00	9,900.00	
66	WC and cistern; UAT	No	1	1,200.00	1,200.00	
67	Wash hand basin	No	9	600.00	5,400.00	
68	Wash hand basin; UAT	No	1	650.00	650.00	
69	Wash hand basin; kiosk and 1st aid	No	2	600.00	1,200.00	
70	Urinal	No	6	650.00	3,900.00	
71	Kitchen sink; kiosk	No	2	1,500.00	3,000.00	
72	Cleaners sink; with grate	No	1	850.00	850.00	26,100.00
<u>SANITARY PLUMBING</u>						
73	WC and cistern	No	9	1,000.00	9,000.00	
74	WC and cistern; UAT	No	1	1,000.00	1,000.00	
75	Wash hand basin	No	9	550.00	4,950.00	
76	Wash hand basin; UAT	No	1	550.00	550.00	
77	Wash hand basin; kiosk and 1st aid	No	2	550.00	1,100.00	
78	Urinal	No	6	550.00	3,300.00	
79	Kitchen sink; kiosk	No	2	550.00	1,100.00	
80	Cleaners sink; with grate	No	1	550.00	550.00	
81	Floor waste	No	8	450.00	3,600.00	25,150.00
<u>WATER SUPPLY</u>						
82	Cold water service	No	31	350.00	10,850.00	
83	Hot water service	No	15	350.00	5,250.00	
84	Hot water heating; allowance	Item	1	15,000.00	15,000.00	31,100.00
<u>GAS SUPPLY</u>						
85	No allowances	Note			n/a	
<u>SPACE HEATING</u>						
86	No allowances	Note			n/a	
<u>VENTILATION</u>						
87	WC ventilation	No	6	3,500.00	21,000.00	
88	Kiosk	No	1	5,000.00	5,000.00	
89	First aid	No	1	3,500.00	3,500.00	
90	Range hood	No	1	15,000.00	15,000.00	44,500.00
<u>EVAPORATIVE COOLING</u>						
91	No allowances	Note			n/a	
<u>AIR-CONDITIONING</u>						
92	Air conditioning; cassette units; Multi purpose	No	3	10,000.00	30,000.00	30,000.00
<u>FIRE PROTECTION</u>						
93	Fire extinguishers and blankets; allowance	Item	1	1,500.00	1,500.00	1,500.00
<u>ELECTRIC LIGHT AND POWER</u>						
94	Electrical services; allowance	m2	426	250.00	106,500.00	
95	Lighting to verandah; allowance	Item	1	5,000.00	5,000.00	111,500.00
<u>COMMUNICATIONS</u>						
96	Communications; allowance	Item	1	10,000.00	10,000.00	10,000.00

Alkimos Beach Sports Pavilion - Cost Plan 1 - Concept Estimate - Rev 3

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LEATHERBACK PARK
 ALKIMOS BEACH SPORTS PAVILION
 COST PLAN No. 1
 STAGE 1 - CONCEPT ESTIMATE - REV 3

**OPTION 4A - REV 3**

27-Aug-15

Ref	Description	Unit	Qty	Rate (\$)	Sub-Total (\$)	Total (\$)
<u>SPECIAL SERVICES</u>						
97	Security system; allowance	m2	426	15.00	6,390.00	
98	CCTV and digital recording	Note			Excluded	6,390.00
99	Rounding					294.00
100	Sub-Total					966,000.00
101	Preliminaries		10%			97,000.00
102	TO SUMMARY					1,063,000.00

LEATHERBACK PARK
 ALKIMOS BEACH SPORTS PAVILION
 COST PLAN No. 1
 STAGE 1 - CONCEPT ESTIMATE - REV 3



OPTION 4A - REV 3

27-Aug-15

Ref	Description	Unit	Qty	Rate (\$)	Sub-Total (\$)	Total (\$)
<u>EXTERNAL WORKS</u>						
103	Site clearance / preparation	Note		Excluded - Works Complete		
104	Bulk earthworks; assume average 1.0m thick	m3	560	25.00	14,000.00	
105	External concrete insitu paving; verandah	m2	134	55.00	7,370.00	
106	External paving; footpath; No allowance	Note			Excluded	
107	Car parking; visitors; No allowance	Note			Excluded	
108	Fencing, No allowance	Note			Excluded	
109	Bin store; complete	Item	1	10,000.00	10,000.00	
110	Make good to surrounding landscaping				Excluded	
111	External furniture and Sundry Metalworks	Note			Excluded	
112	Entry statement signage; allowance	Item	1	15,000.00	15,000.00	
113	Rounding				630.00	47,000.00
114	Sub-Total					47,000.00
115	Preliminaries		10%			5,000.00
116	TO SUMMARY					52,000.00

<u>EXTERNAL SERVICES</u>						
117	Stormwater; allowance	Item	1	10,000.00	10,000.00	
118	Sewer; allowance	Item	1	20,000.00	20,000.00	
119	Water; allowance for connection to water meter	Item	1	10,000.00	10,000.00	
120	External fire services	Note			Excluded	
121	External electrical services; incoming; allowance	Item	1	25,000.00	25,000.00	
122	External lighting; building mounted; allowance	Item	1	5,000.00	5,000.00	
123	External communications; incoming	Item	1	7,500.00	7,500.00	
124	Rounding				500.00	78,000.00
125	Sub-Total					78,000.00
126	Preliminaries		10%			8,000.00
127	TO SUMMARY					86,000.00



Sanpoint Pty Ltd ABN 62 052 314 682
 64 Mill Point Road, South Perth WA 6151
 P: (08) 6436 1111 F: (08) 9367 2034

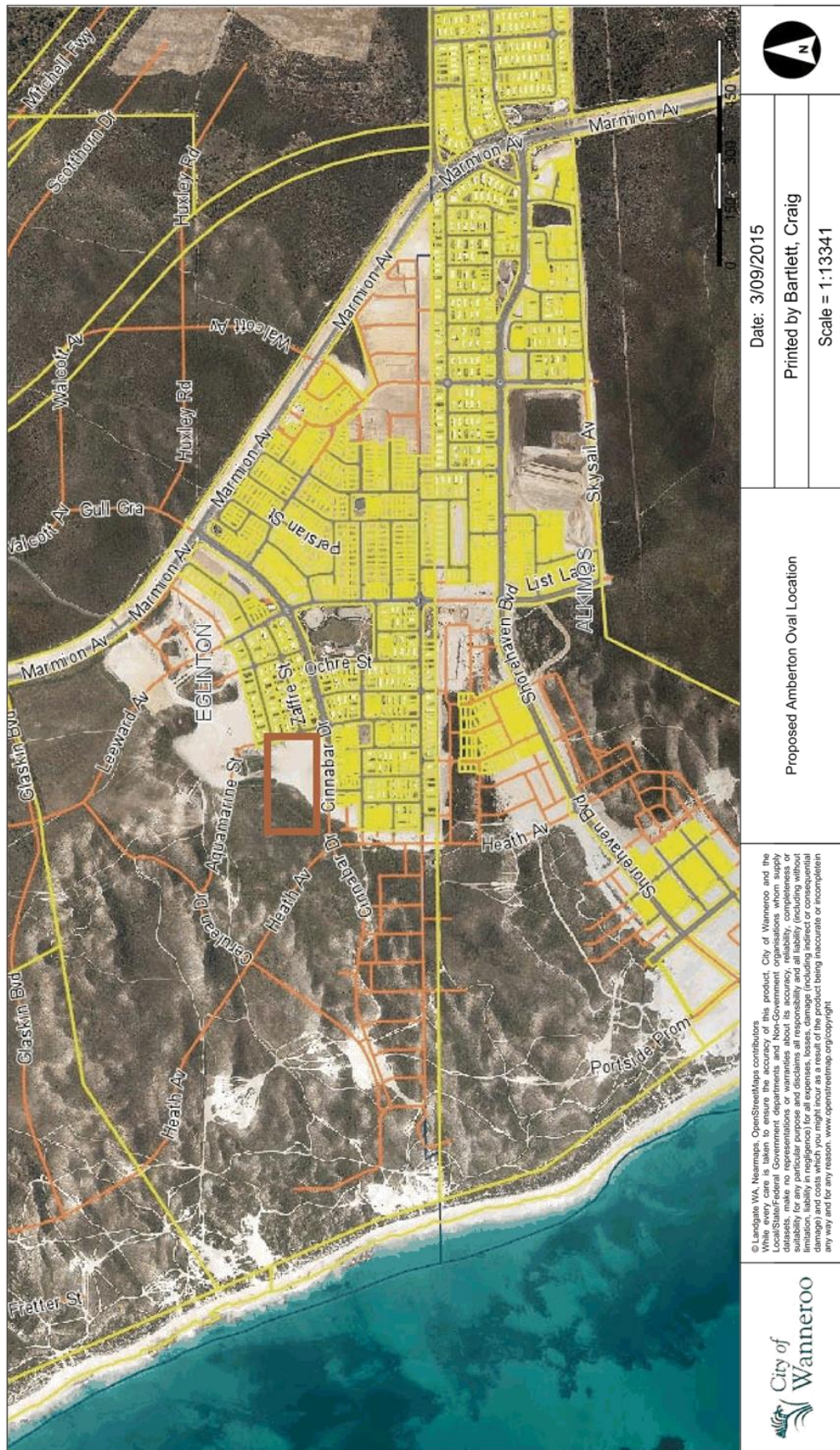
VARIATION QUOTATION

REQUEST NO.	22 (R1)	JOB No.	10.1075
DATE	28/07/2015		
ATTENTION	Faron Mengler		
CLIENT	Lend Lease		
FAX / EMAIL	Faron.Mengler@aecom.com		
YOUR REFERENCE	Email		
PREPARED BY	Wills Pendergast		
PROJECT NAME	South Alkimos Beach - Park U		
DETAILS OF VARIATION	ADDITIONS \$	DEDUCTIONS \$	
Oval Lighting 4 x oval lights & footings + structural certification	\$ 190,131.80		
Please Note: 1. All cable access has already been installed. We have allowed to extend these conduits back to the Lighting DB. 2. We have assumed the Lighting DB will be located adjacent to the Irrigation DB and SMSB. We have also assumed that conduits can be run from the oval directly across the current LD Total site compound. 3. Switching will be provided to allow 50 or 100% of lights to be operated. 4. We have allowed the '3 light switching as used by the City of Wanneroo as per previous projects Stiles have delivered and the correspondence supplied. 5. We have allowed to run the supply for the distribution board from the new Site Main Switchboard. 6. We also recommend placing the PE cell on the switchboard to allow easier maintenance. 7. While every effort will be made to minimise any damage to the existing turf, no allowance has been made for any repairs or reinstatement that may be required. 8. We have allowed for a standard vertical pile footing. Should rock be encountered such that it prevents a vertical pile, a slab footing may be needed and would be a deemed a variation. 9. In line with the City of Wanneroo's Floodlighting Policy (as supplied via email by LD Total), lighting will be compliant to Australian Standard 2560.2.3, Amateur Level Ball and Physical Training, being 50 lux. However the towers and associated electrical infrastructure is designed in such a way as to allow for an upgrade to Club Competition and Match Practice standard of 100 lux. 10. Please note we have not allowed for excavation of the footings in rock or other hard ground. Additional costs may be incurred if we are required to use rock breakers, etc. We have allowed for a standard vertical pile footing. If a shallow slab-style footing is required due rock/hard ground additional costs will be incurred			
Pursuant to AS 2124 Clause 35.5, the Contractor claims an Extension of Time for Practical Completion due to the above works. Total extension of time claimed:..... days			
TOTALS	\$ 190,131.80	\$ -	
NETT VARIATION	excluding G.S.T. : \$ 190,131.80		
	G.S.T. being 10% : \$ 19,013.18		
TOTAL NETT VARIATION	including G.S.T. : \$ 209,144.98		

AUTHORITY TO PROCEED

(Signature for Client's Representative)

(Date)



Attachment 15



Location Plan in Amberton



LEGEND

1	Playing Fields - AFL, Cricket & Soccer Fields
2	Playing Fields - AFL, Rugby Fields, Soccer Fields and Little Athletics
3	Cricket Nets (x3) - Concrete, Astroturf and Fenced Areas
4	Multi-Use Court - Subject to Discussion/Approval of Education Department
5	Feature Playground Area
6	Exercise Station & Fitness Zone
7	Shelter, BBQ & Picnicking Area
8	Drainage Basins
9	Retaining Walls and Planting
10	Car Parking - 42 Bays
11	Car Parking - 114 Bays
12	Clubhouse - Subject to Separate Approval and Funding
13	Grove of native trees
14	Adjacent School Site
15	BMX and Scooter Path

Attachment 16



Amberton Playing Fields - Landscape Plan

Subject to City of Wanneroo - Development Approval

REV C - 25TH MARCH 2015
10.1124 - DETAILED DRAWING



Attachment 17

Cost Estimation Amberton Ovals Buildings

Extract from RBB Preliminary Cost Estimation

SCOPE		TOTAL
Multipurpose Building		\$ 810,000.00
Change Rooms Building		\$ 1,264,000.00
Stores Building		\$ 86,000.00
External Works		\$ 343,000.00 *
External Services		\$ 156,000.00
Subtotal		\$ 2,659,000.00
Design Contingency	10%	\$ 265,900.00
Construction Contingency	7.50%	\$ 199,425.00
Western Power		\$ 25,000.00
Water Corp		\$ 20,000.00
Telstra		\$ 5,000.00
Alinta		\$ 5,000.00
Subtotal		\$ 3,179,325.00
Professional Fees	10%	\$ 317,932.50
NET PROJECT COSTS		\$ 3,497,257.50
Escalation	2%	\$ 69,945.15
Estimated Total Commitment		\$ 3,567,202.65

* Refer 15/442411. Costs for "Multi-use court" in the External Works section (page 14), has been removed, as this is the responsibility of the Department of Education

	Qty	Supply	Install	Supply & Install	Total
Switchboard					
SM/SB	1	\$ 15,000.00	\$ 2,500.00	\$ 17,500.00	\$ 43,000.00
DB	3	\$ 7,500.00	\$ 1,000.00	\$ 8,500.00	\$ 25,500.00
Lighting					
Pole Top Lights	32	\$ 3,000.00	\$ 500.00	\$ 3,500.00	\$ 112,000.00
Lighting Control Gear	8	\$ 1,250.00	\$ 500.00	\$ 1,750.00	\$ 14,000.00
Steel Lighting Towers (fixed)	7	\$ 20,000.00	\$ 5,000.00	\$ 25,000.00	\$ 175,000.00
Steel Light Poles (fixed)	4	\$ 10,000.00	\$ 2,500.00	\$ 12,500.00	\$ 50,000.00
	0	\$ -	\$ -	\$ -	\$ -
Cable & Duct					
80P	520	\$ 9.00	\$ 10.00	\$ 19.00	\$ 9,880.00
63P	370	\$ 6.00	\$ 10.00	\$ 16.00	\$ 5,920.00
4x1C 240sqmm	10	\$ 280.00	\$ 250.00	\$ 530.00	\$ 5,300.00
4x1C 95sqmm	520	\$ 70.00	\$ 10.00	\$ 80.00	\$ 41,600.00
4C+E 35sqmm	370	\$ 40.00	\$ 10.00	\$ 50.00	\$ 18,500.00
Misc Earth Cable	1	\$ 500.00	\$ 10.00	\$ 510.00	\$ 510.00
Pits					
Plastic + concrete lid	14	\$ 300.00	\$ 150.00	\$ 450.00	\$ 6,300.00
Earth Pit	1	\$ 150.00	\$ 100.00	\$ 250.00	\$ 250.00
Site Works					
Trenching, sand bed, backfill	800	\$ -	\$ 25.00	\$ 25.00	\$ 20,000.00
Contractor					
Site Mob & Transport	1	\$ -	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00
PM & Liaise	1	\$ -	\$ 1,000.00	\$ 1,000.00	\$ 1,000.00
Traffic Management	0	\$ -	\$ -	\$ -	\$ -
Testing & Commissioning	1	\$ -	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00
As Con etc	1	\$ -	\$ 750.00	\$ 750.00	\$ 750.00
Professional Fees (3E Consulting Design Fees)					
Concept Planning (Phase 1)	1	\$ -	\$ -	\$ 4600	\$ 4,600.00
Detail Design	1	\$ -	\$ -	\$ 15,400	\$ 15,400.00

Total	\$ 528,510.00
Contingency	\$ 26,425.50
Grand Total	\$ 554,935.50
GST	\$ 55,493.55
Grand Total	\$ 610,429.05
	Oval/Hard Court Lighting

PROJECT: Amberton - Playing Fields

CLIENT: Stockland WA Development Pty Ltd.

CONSULTANT: Cossill & Webley Consulting Engineers

COST ESTIMATE - CLUBROOMS AND CHANGE ROOMS

ITEM	DESCRIPTION	AMOUNT
1	SEWER	\$96,250
3	WATER	\$53,750
4	POWER	\$30,000
5	GAS	\$40,000
Total Construction Costs		\$220,000
6	Coningency (10%)	\$22,000
7	Professional Fees	\$15,972
TOTAL COSTS		\$257,972
GST		\$25,797
TOTAL INCL GST		\$283,769

PROJECT: Amberton - Playing Fields
 CLIENT: Stockland WA Development Pty Ltd.
 CONSULTANT: Cossill & Webley Consulting Engineers

CURRENT SCHEDULE REVISION: 1

AMBERTON - CLUBROOMS SERVICING COST ESTIMATE					
ITEM	DESCRIPTION	QTY	UNIT	RATE	AMOUNT
1	SEWER				
	Pumps - type and Size to be confirmed	2	no.	\$15,000.00	\$30,000.00
	Wet Well - Size to be confirmed	1	item	\$30,000.00	\$30,000.00
	Supply and install PVC Pipe	125	m	\$250.00	\$31,250.00
	Connection to existing	1	item	\$5,000.00	\$5,000.00
	SUBTOTAL - SITEWORKS				\$96,250.00
2	WATER				
	Supply and Install Pipe	175	m	\$250.00	\$43,750.00
	Water Corporation to provide connection and meter	1	item	\$10,000.00	\$10,000.00
	SUBTOTAL - WATER				\$53,750.00
3	POWER				
	Supply and install cable			<i>refer 3E costings</i>	
	Switchboard - Provisional Allowance	1	Item	\$30,000.00	\$30,000.00
	SUBTOTAL - STORMWATER DRAINAGE				\$30,000.00
4	GAS				
	Supply and install pipe	150	m	\$200.00	\$30,000.00
	Meter - Provisional Allowance	1	item	\$10,000.00	\$10,000.00
	SUBTOTAL - GAS				\$40,000.00